

6TH FLOOR OFFICE RENOVATION ARLINGTON HIGH SCHOOL

869 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

MARCH 27, 2011

ISSUED FOR CONSTRUCTION

TABLE OF CONTENTS

- Cover - Table of Contents
- A0.1 Code Plan/Phasing Plan/Site Plan
- AD1.1 Existing/Demo Floor Plan
- AD1.2 Existing/Demo Reflected Ceiling Plan
- A1.1 Proposed Floor Plan
- A1.2 Proposed Reflected Ceiling Plan
- A1.3 Roof Plan
- A1.4 Schedules, types and details

- FP 1.1 6th Floor Sprinkler Revisions Fire Protection

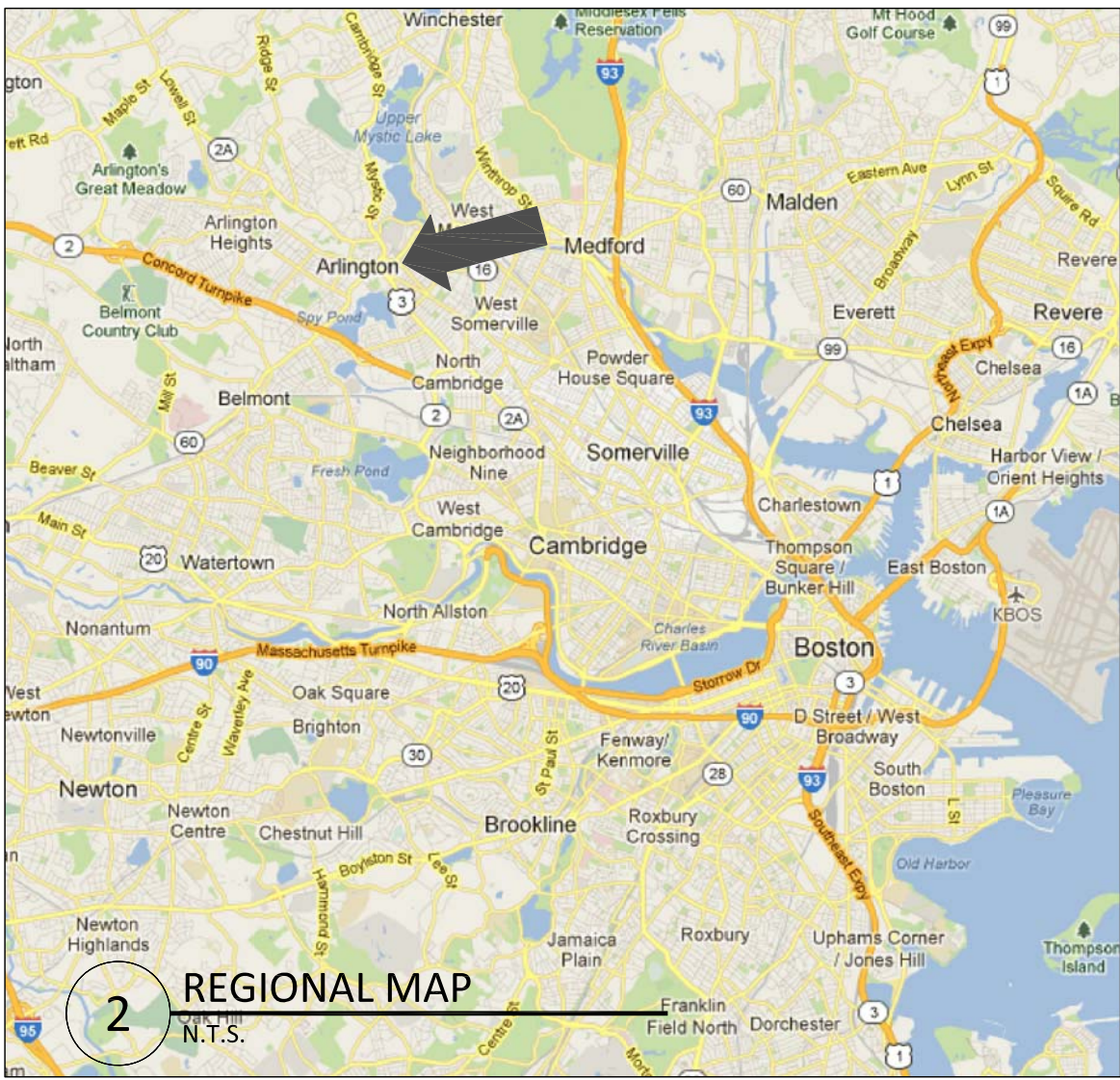
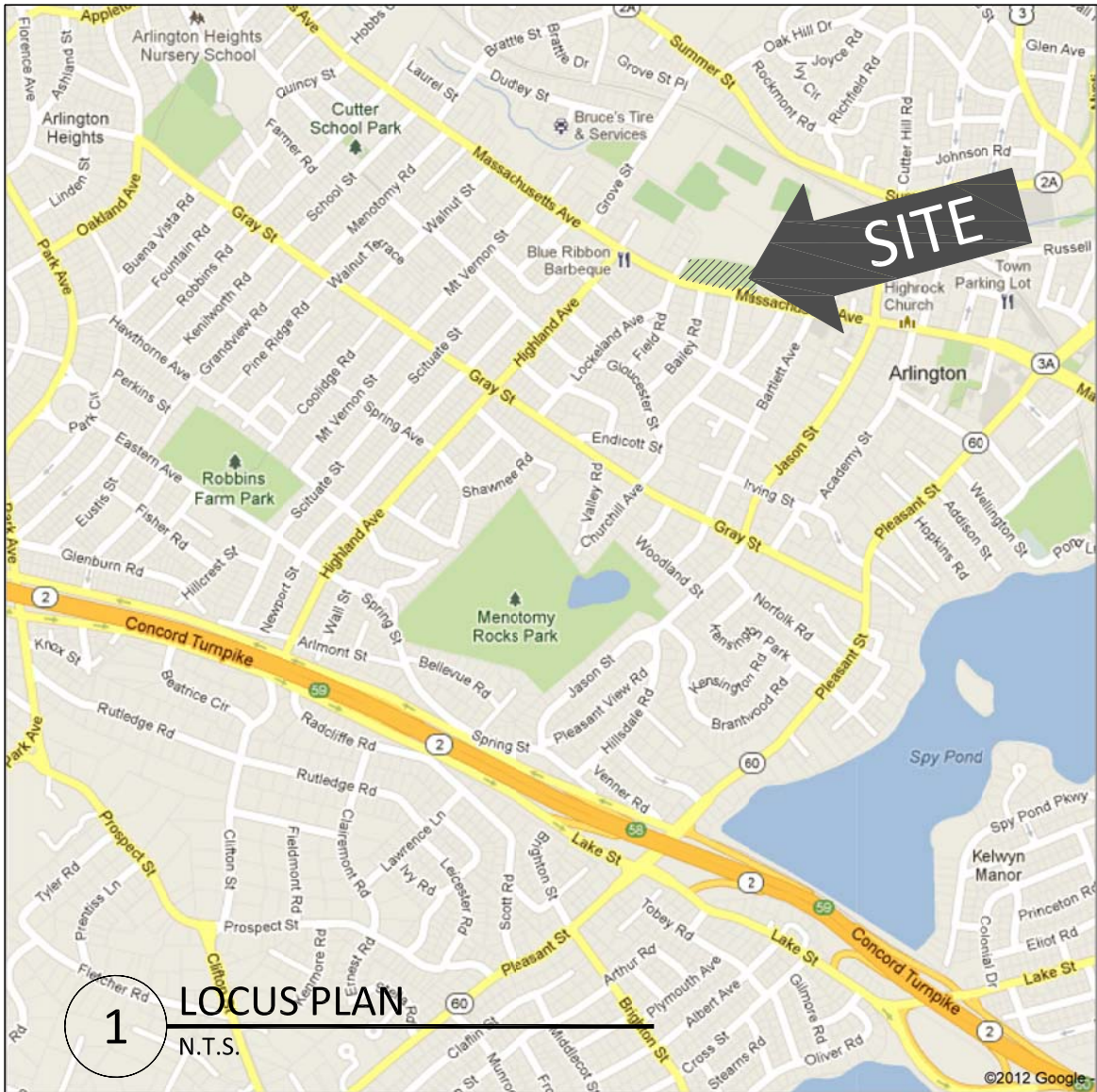
- M0.1 HVAC Legend, Schedules and General Notes
- MD1.1 HVAC 6th Floor Existing Conditions and Demolition Plan
- M1.1 HVAC 6th Floor Ductwork Ventilation Layout
- M1.2 HVAC 6th Floor Variable Refrigerant Flow and Piping Layout
- M1.3 HVAC Partial Roof Plans
- M2.1 HVAC 6th Floor Existing Conditions and Demolition Plan
- M3.1 HVAC Controls Diagram
- M3.2 HVAC VRF System Schematic DCU Layout

- VS.1 Vibration and Seismic
- VS.2 Vibration and Seismic

- E0.1 Symbol List, Lighting Fixture Schedule and Notes
- ED1.1 Demolition Plan - Electrical
- E1.1 New Lighting Plan - Electrical
- E2.1 New Power Plan - Electrical
- E3.1 Partial Fire Alarm Riser, Mechanical Schedule and One Line Riser Diagram

ARCHITECT:
TUROWSKI2 ARCHITECTURE, Inc.
313 WAREHAM ROAD
P.O. BOX 1290
MARION, MA 02738
p. 508-758-9777
f. 508-748-2444

M/E/P/FP ENGINEER:
GARCIA GALUSKA DESOUSA, INC.
370 FAUNCE CORNER ROAD
DARTMOUTH, MA 02747
p. 508-998-5700
f. 508-998-0883



ALTERNATES

ALTERNATE 1: Deduction of work. Eliminate work associated with creating rooms 608C and 609C from project. Refer to Alternate Floor Plan for extent of reduced work. Eliminate all sprinkler upgrades.

ALTERNATE 2: Deduction of work. Eliminate new roof top unit and modify associated work. Refer to Alternate Roof Plan for extent of reduced scope.



Turowski2 Architecture
 P.O. Box 1290
 313 Wareham Road
 Marion, MA 02738
 508.758.9777 phone
 508.748.2444 fax
 www.t2architecture.com
 CONSULTANT:

STAMP:

REVISIONS

NO.	DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476

TITLE:
**CODE PLAN/
 PHASING PLAN/
 SITE PLAN**

JOB NUMBER:
 12-15

DRAWN BY:
 MED

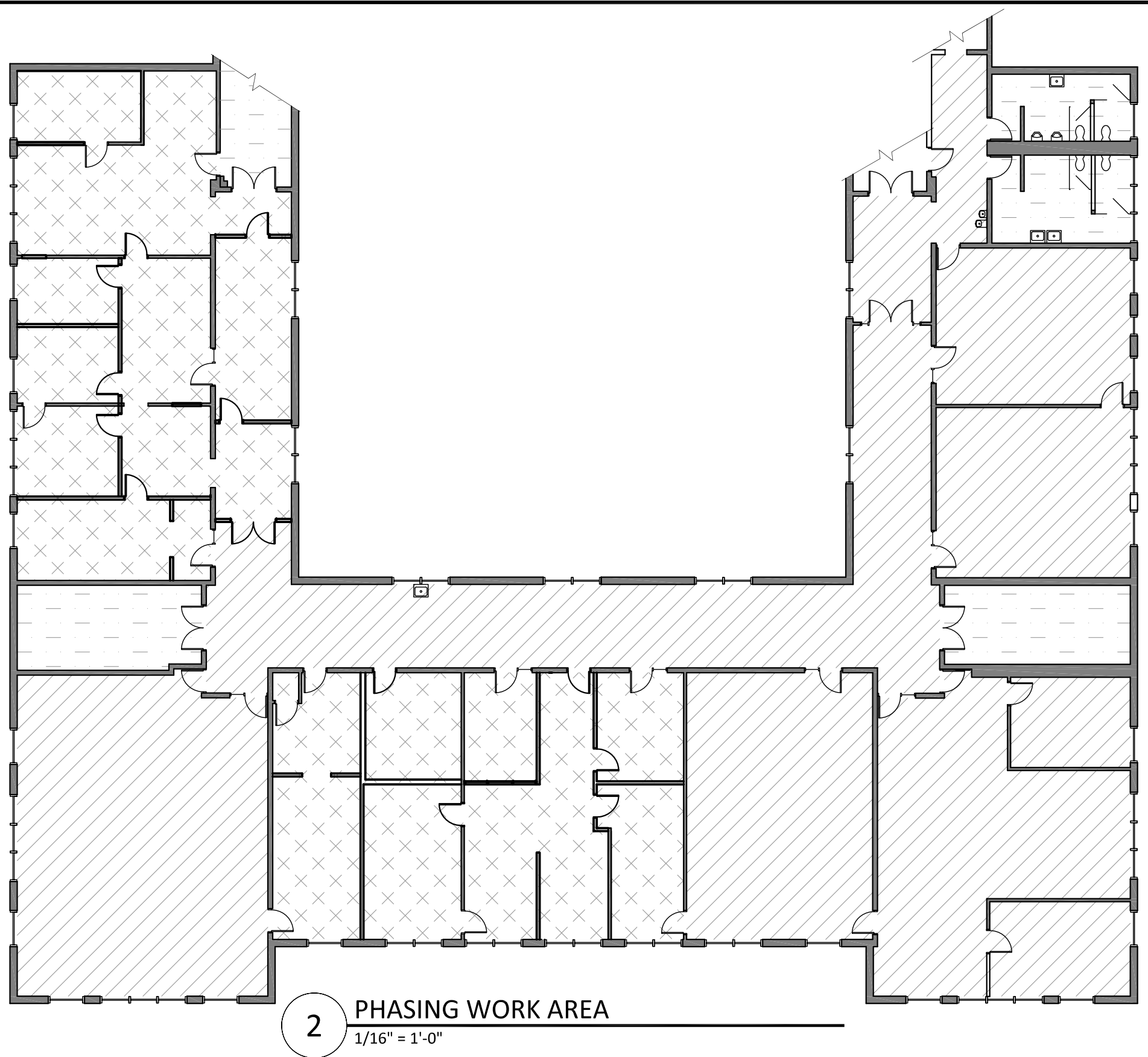
CHECKED BY:
 PJT

DATE:
 March 27, 2013

SCALE:
 AS NOTED

SHEET NO.:

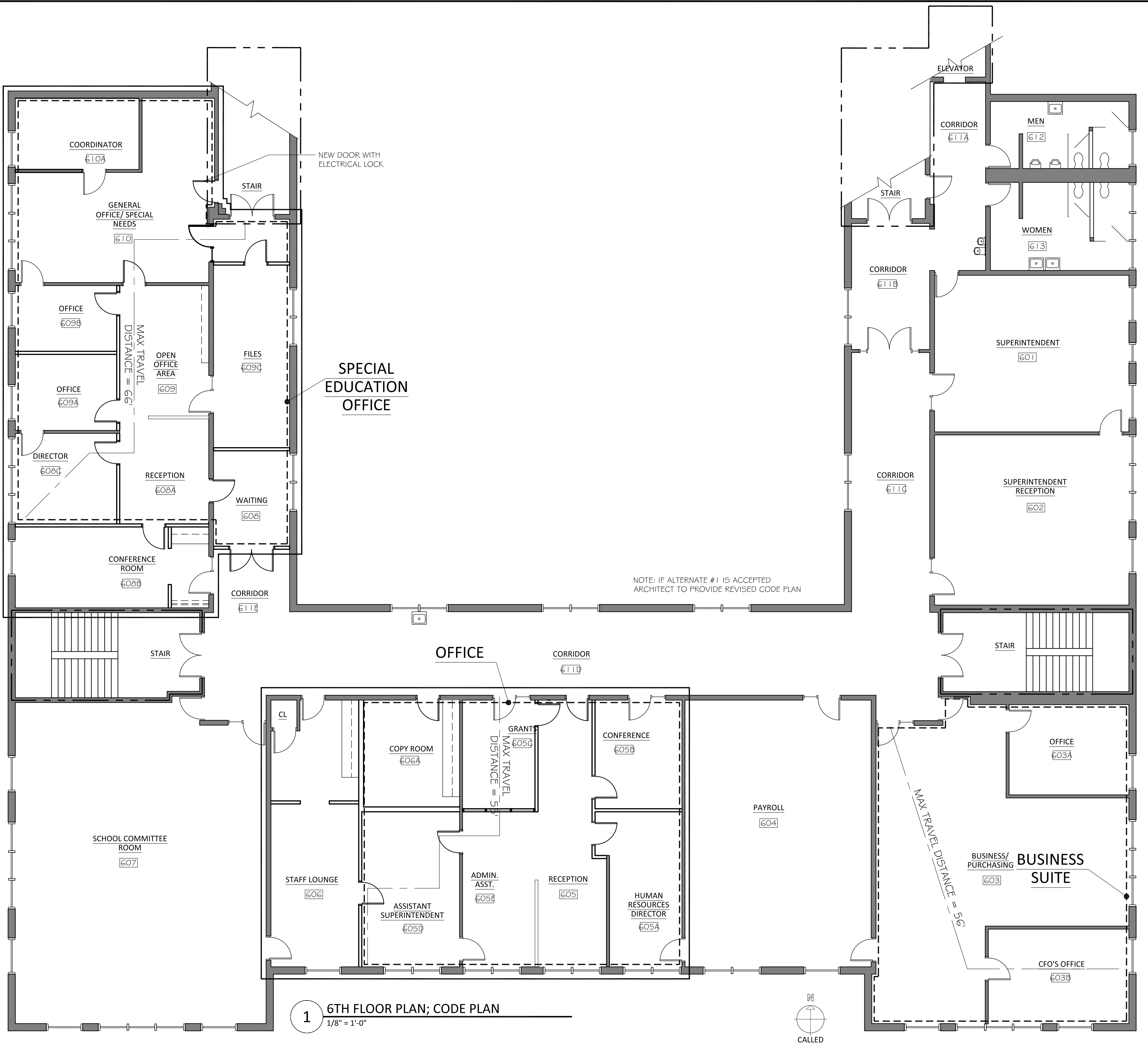
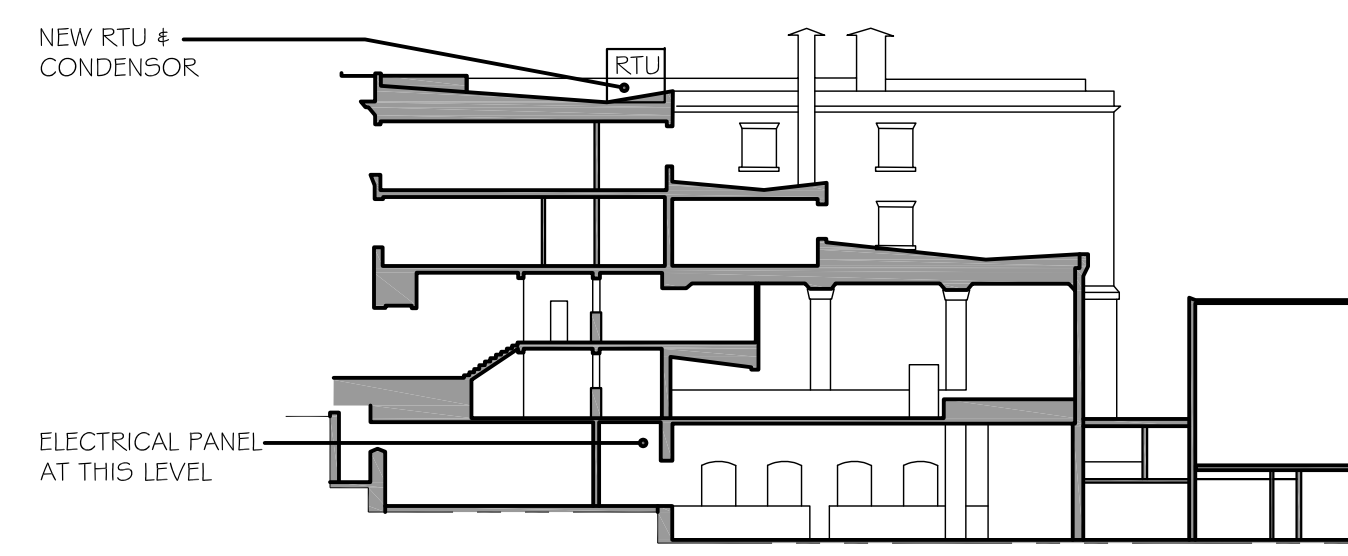
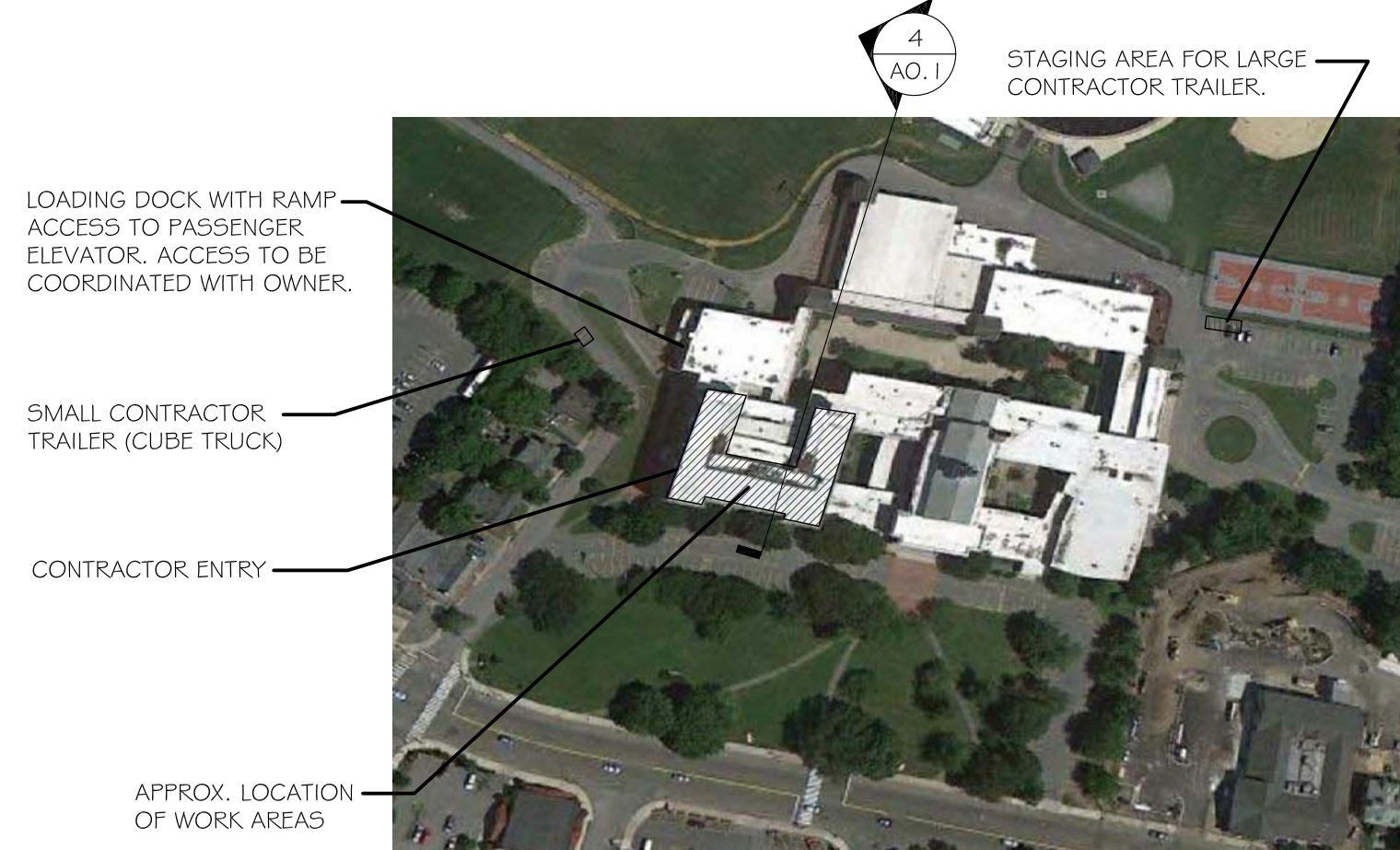
A0.1



PHASE PLAN - AREA LEGEND:

- PHASE 1: PARTIAL OCCUPANCY. ANTICIPATE UNOCCUPIED OFFICES FOR A DURATION OF 2 WEEKS, TO BE COORDINATED WITH THE OWNER. DURING WHICH INVASIVE CONSTRUCTION/DEMOLITION MAY OCCUR. OTHERWISE ALL WORK MUST ACCOMMODATE OCCUPANCY, BE SEPARATELY SCHEDULED OR OCCUR OUTSIDE OF BUSINESS HOURS (9AM-5PM). CORRIDORS SHALL REMAIN OPEN AND PASSABLE FOR THE ENTIRE DURATION OF THE PROJECT UNLESS COORDINATED WITH THE OWNER, FIRE DEPARTMENT AND INSPECTIONAL SERVICES.
- PHASE 2: NO ACCESS RESTRICTIONS.
- PHASE 3: RESTRICTED ACCESS. MAINTAIN EGRESS AT ALL TIMES.

PHASING: SPECIFIC AREAS OF THE 6TH FLOOR WILL BE SUBJECT TO SCHEDULING CONSTRAINTS: THE GENERAL CONTRACTOR WILL PROVIDE A SCHEDULE OF PROPOSED WORK TO ACCOMMODATE PARTIAL OCCUPANCY IN AREAS NOTED ABOVE. ORDER OF PHASING TO BE DETERMINED BY THE GC AND APPROVED AND COORDINATED WITH THE OWNER PRIOR TO THE START OF WORK.



- LEGEND:**
- EXISTING WALL:
 - NEW WALL:
 - 2 HOUR WALL (PER 1978 CONST. DOC.):
 - RECONFIGURED AREA:
 - OFFICE AREA:

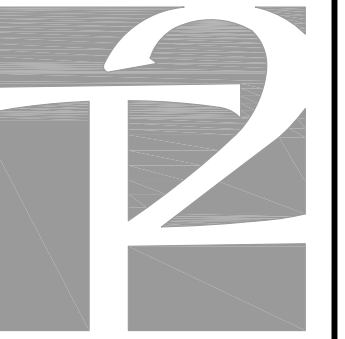
BUILDING SUMMARY

PROJECT DESCRIPTION: LEVEL 2 ALTERATIONS: HVAC SYSTEM REPLACEMENT + RECONFIGURATION OF 4,122 SF

BUILDING CODE:	780 CMR, 8TH EDITION
CONSTRUCTION TYPE:	5. SPRINKLERED
OCCUPANCY GROUP:	B, ACCESSORY TO E
GROSS SQUARE FEET:	14,496 SQ. FT.
TOTAL OCCUPANTS:	238
TOTAL EGRESS CAPACITY:	1440
TYPICAL STAIR WIDTH:	4'-10"
TYPICAL STAIR DOOR WIDTH:	6'-0"
TYPICAL DOOR WIDTH:	3'-0"

OCCUPANCY COUNTS

SUITE/ROOM	SF	OCCUPANCY TYPE	SF/PERSON	OCCUPANTS	REQUIRED EXITS
SPECIAL EDUCATION OFFICE	1922	B	100 SF/P	20	1
CONFERENCE ROOM	285	B - CONF.	15 SF/P	20	
SCHOOL COMMITTEE ROOM	1512	B - CONF.	15 SF/P	101	2
STAFF LOUNGE	437	B - CONF.	15 SF/P	30	
OFFICE	1308	B	100 SF/P	14	1
PAYROLL	936	B - CONF.	100 SF/P	10	
BUSINESS OFFICE	1512	B	100 SF/P	16	1
SUPERINTENDENT RECEPTION	630	B	100 SF/P	7	
SUPERINTENDENT	580	B - CONF.	15 SF/P	20	



Turowski2 Architecture

P.O. Box 1290
313 Wareham Road
Marion, MA 02738

508.758.9777 phone
508.748.2444 fax
www.t2architecture.com

CONSULTANT:

STAMP:

REVISIONS

NO. DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
869 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

TITLE:
EXISTING/
DEMO
FLOOR PLAN

JOB NUMBER:
12-15

DRAWN BY:
MED

CHECKED BY:
PJT

DATE:
March 27, 2013

SCALE:
AS NOTED

SHEET NO.:

AD1.1



GENERAL NOTES - DEMO:

1. REFER TO SPEC. SECTION 003100-PROJECT INFORMATION, 020800-ASBESTOS ABATEMENT, 020820-MISCELLANEOUS HAZARDOUS MATERIALS REMOVAL FOR HAZARDOUS MATERIAL HANDLING REQUIREMENTS.
2. ALL DEMOLITION THAT DISTURBS HAZARDOUS MATERIAL MUST BE PERFORMED UNDER CONTAINMENT.
3. PROTECT OWNERS FIXED EQUIPMENT LEFT IN PLACE DURING DEMOLITION.
4. SEE MEP/FP DRAWINGS FOR ADDITIONAL DEMO SCOPE.

DEMO KEY NOTES:

- 1. THE CONTRACTOR SHALL REMOVE ALL CARPET AND ASSOCIATED ADHESIVE WITHIN FULL CONTAINMENT WITH NEGATIVE AIR FILTRATION (AS AN ENGINEERING CONTROL). CARPET MAY BE DISPOSED OF AS GENERAL CONSTRUCTION WASTE IF NO DISTURBANCE IS MADE TO UNDERLYING ASBESTOS - CONTAINING FLOOR TILE.
- 2. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL LOOSE/DAMAGED VINYL ASBESTOS FLOOR TILE RESULTING FROM CARPET REMOVAL (WITHIN FULL CONTAINMENT) TO ESTABLISH SOUND BASE FOR NEW CARPET.
- 3. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL LOOSE/DAMAGED VINYL ASBESTOS FLOOR TILE RESULTING FROM WALL REMOVAL (WITHIN FULL CONTAINMENT) TO ESTABLISH SOUND BASE FOR NEW CARPET.
- 4. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF TOP LAYER VINYL ASBESTOS FLOOR TILE ONLY LEAVING MASTIC ADHESIVE (WITHIN FULL CONTAINMENT) TO EXISTING UNDERLAYMENT TO ACCOMMODATE NEW WALLS.
- 5. THE HAZARDOUS MATERIALS ABATEMENT CONTRACTOR SHALL REMOVE AND DISPOSE OF 4 SF OF ALL FLOORING LAYERS (TO EXISTING SUBFLOOR) TO FACILITATE CORE DRILLING ON ALL FLOORS. REMOVAL SHALL OCCUR WITHIN (6) MINI-ENCLOSURE CONTAINMENTS WHERE NOTED FOR NEW ELECTRICAL CONDUIT EXTENDING FROM 6TH FLOOR TO BASEMENT.

GENERAL KEY NOTES:

- 1. WHILE UNDER CONTAINMENT GC TO PATCH FLOORING WITH NEW RESILIENT FLOORING TO ESTABLISH ENCAPSULATION AND A SOUND BASE FOR NEW CARPET...

ALTERNATES

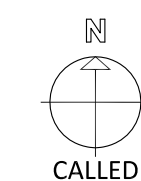
ALTERNATE 1: DEDUCTION OF WORK, ELIMINATE WORK ASSOCIATED WITH CREATING ROOMS 606C AND 609C FROM PROJECT. REFER TO ALTERNATE FLOOR PLAN FOR EXTENT OF REDUCED WORK. ELIMINATE ALL SPRINKLER UPGRADES.

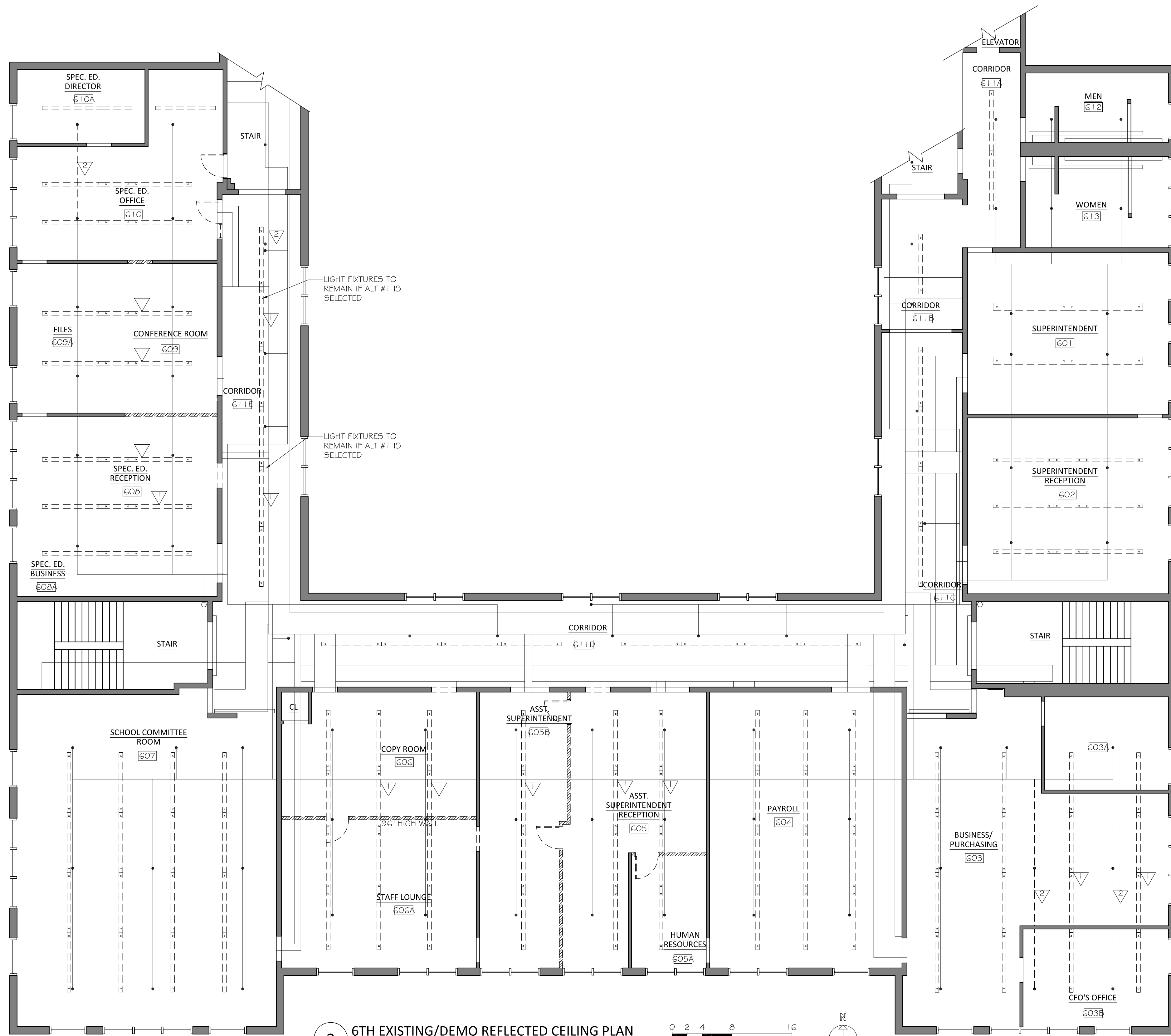
ALTERNATE 2: DEDUCTION OF WORK, ELIMINATE NEW ROOF TOP UNIT AND MODIFY ASSOCIATED WORK. REFER TO ALTERNATE ROOF PLAN FOR EXTENT OF REDUCED SCOPE.

DEMO LEGEND:

- EXISTING WALL: [Solid line]
- DEMO WALL: [Dashed line]
- DEMO DOOR AND FRAME: [Dashed line with arrow]
- DEMO FLOORING: [Dotted line]

1 6TH FLOOR EXISTING/DEMO PLAN
1/8" = 1'-0"





2 6TH EXISTING/DEMO REFLECTED CEILING PLAN
 1/8" = 1'-0"
 0 2 4 8 16
 CALLED

ALTERNATES
ALTERNATE 1: DEDUCTION OF WORK. ELIMINATE WORK ASSOCIATED WITH CREATING ROOMS 608C AND 609C FROM PROJECT. REFER TO ALTERNATE FLOOR PLAN FOR EXTENT OF REDUCED WORK. ELIMINATE ALL SPRINKLER UPGRADES.
ALTERNATE 2: DEDUCTION OF WORK. ELIMINATE NEW ROOF TOP UNIT AND MODIFY ASSOCIATED WORK. REFER TO ALTERNATE ROOF PLAN FOR EXTENT OF REDUCED SCOPE.

- GENERAL NOTES - RCP DEMO:**
- EXISTING CEILING JOISTS 16" O.C., TYP.
 - ELECTRICAL TO REUSE EXISTING PENDANT LOCATIONS TO GREATEST EXTENT POSSIBLE.
 - COVER PLATES TO BE INSTALLED AT UNUSED EXISTING PENDANT LOCATIONS.
 - PROTECT EXISTING EQUIPMENT TO REMAIN IN AREAS TO RECEIVE PAINT.

- DEMO RCP KEYNOTES**
- REMOVE EXISTING LIGHT FIXTURES. SEE ELECTRICAL.
 - REMOVE SPRINKLER. SEE FIRE PROTECTION.

- DEMO LEGEND:**
- PENDANT LIGHT FIXTURES: [Symbol]
 - SPRINKLER LINES: [Symbol]
 - DEMO SPRINKLER LINES: [Symbol]
 - DEMO WALL: [Symbol]
 - EXISTING MECH: [Symbol]

Turowski2 Architecture
 P.O. Box 1290
 313 Wareham Road
 Marion, MA 02738
 508.758.9777 phone
 508.748.2444 fax
 www.t2architecture.com
 CONSULTANT:

STAMP:

REVISIONS

NO.	DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476

TITLE:
EXISTING/DEMO REFLECTED CEILING PLAN

JOB NUMBER:
 12-15

DRAWN BY:
 MED

CHECKED BY:
 PJT

DATE:
 March 27, 2013

SCALE:
 AS NOTED

SHEET NO:

AD1.2



Turowski2 Architecture

P.O. Box 1290
313 Wareham Road
Marion, MA 02738

508.758.9777 phone
508.748.2444 fax
www.t2architecture.com

CONSULTANT:

STAMP:

REVISIONS

NO. DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
869 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

TITLE:
PROPOSED FLOOR PLAN

JOB NUMBER:
12-15

DRAWN BY:
MED

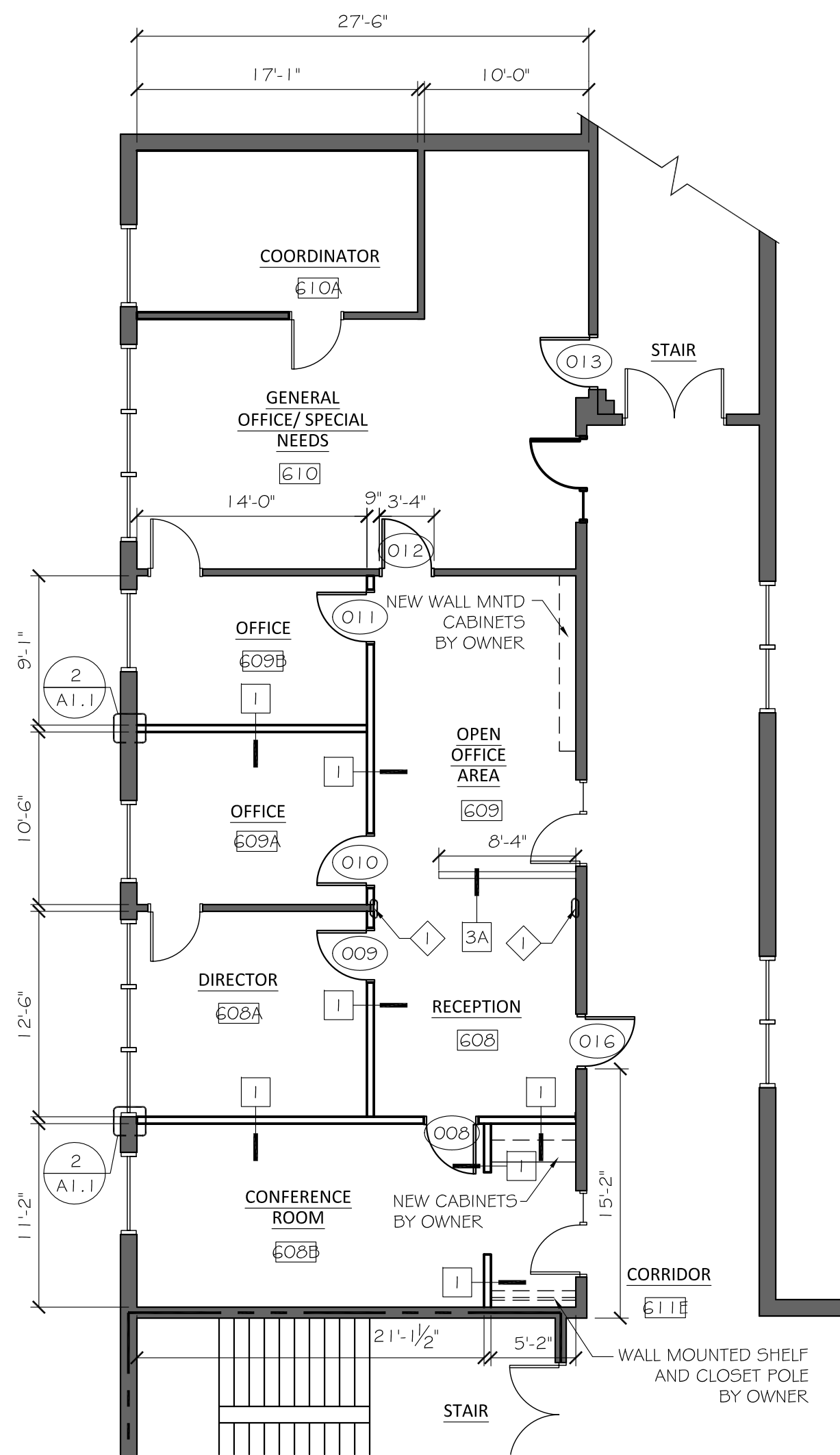
CHECKED BY:
PJT

DATE:
March 27, 2013

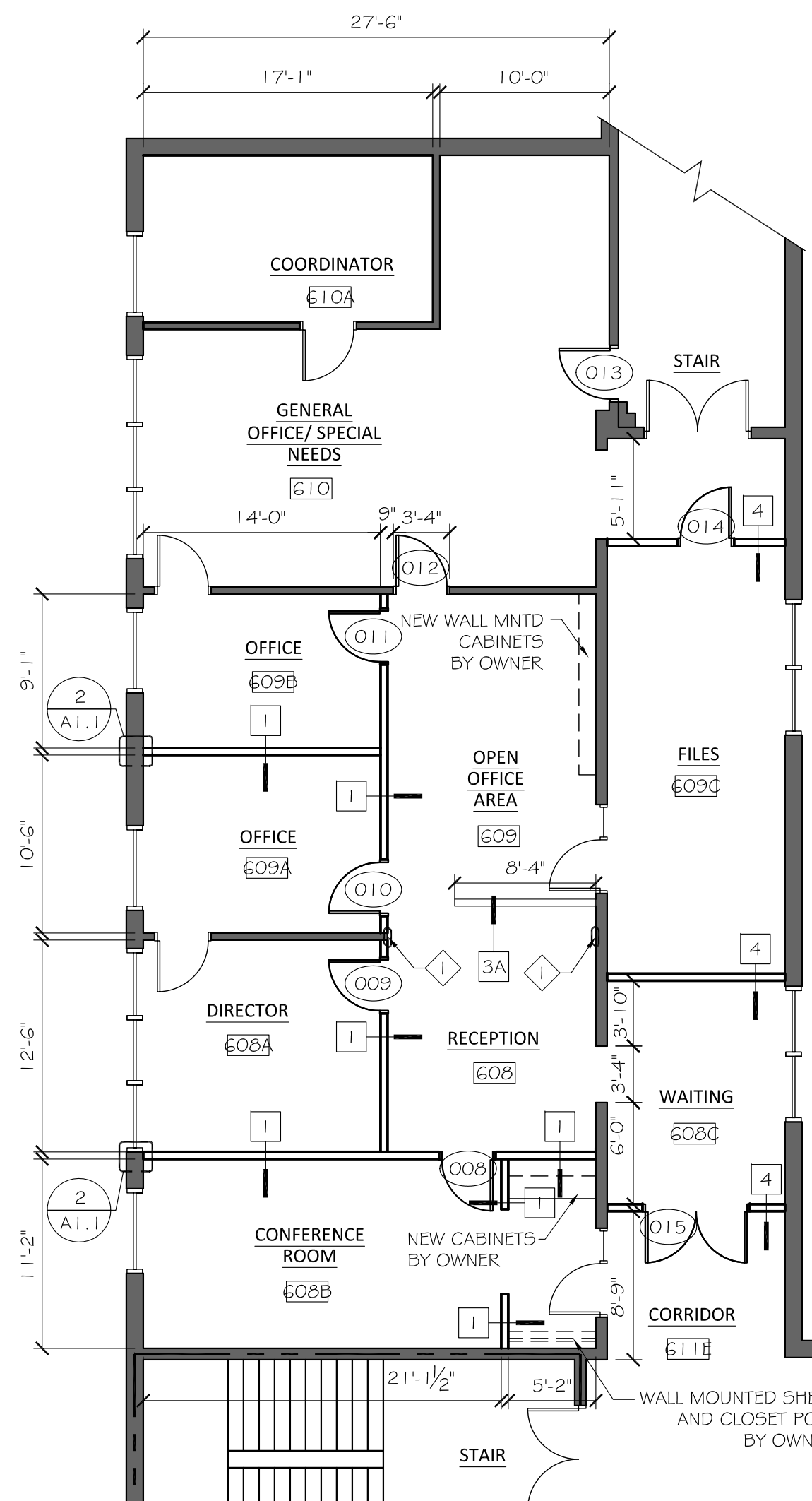
SCALE:
AS NOTED

SHEET NO.:

A1.1



1A 6TH FLOOR PROPOSED PLAN - ALTERNATE #1
1/8" = 1'-0"



1 6TH FLOOR PROPOSED PLAN - BASE BID
1/8" = 1'-0"

ALTERNATES

ALTERNATE 1: DEDUCTION OF WORK. ELIMINATE WORK ASSOCIATED WITH CREATING ROOMS G08C AND G09C FROM PROJECT. REFER TO ALTERNATE FLOOR PLAN FOR EXTENT OF REDUCED WORK. ELIMINATE ALL SPRINKLER UPGRADES.

ALTERNATE 2: DEDUCTION OF WORK. ELIMINATE NEW ROOF TOP UNIT AND MODIFY ASSOCIATED WORK. REFER TO ALTERNATE ROOF PLAN FOR EXTENT OF REDUCED SCOPE.

GENERAL NOTES:

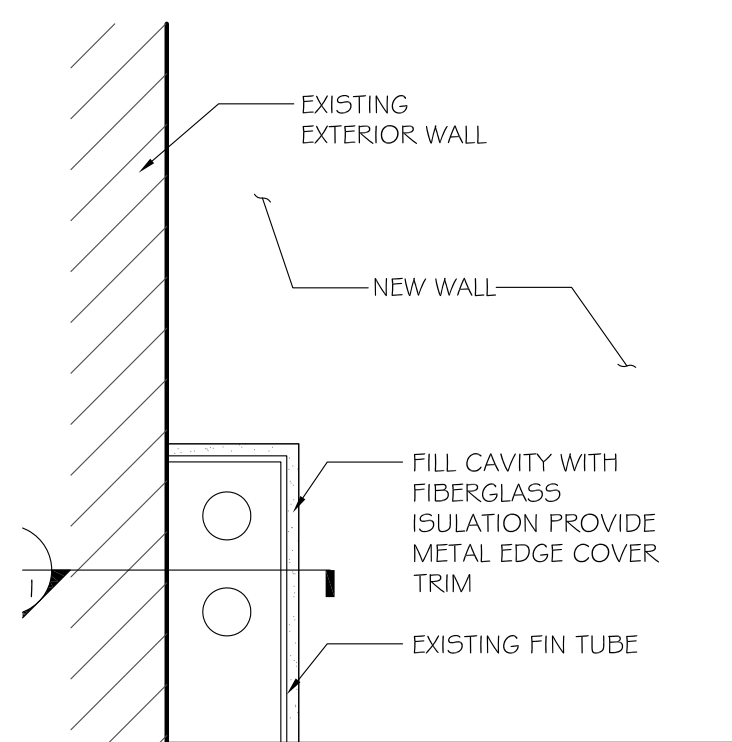
- 1. GC PROVIDE BLOCKING FOR OWNER FURNISHED AND INSTALLED WORK.
- 2. PROTECT OWNERS FIXED EQUIPMENT LEFT IN PLACE
- 3. SEE SHEET A1.4 FOR WALL TYPES

KEY NOTES:

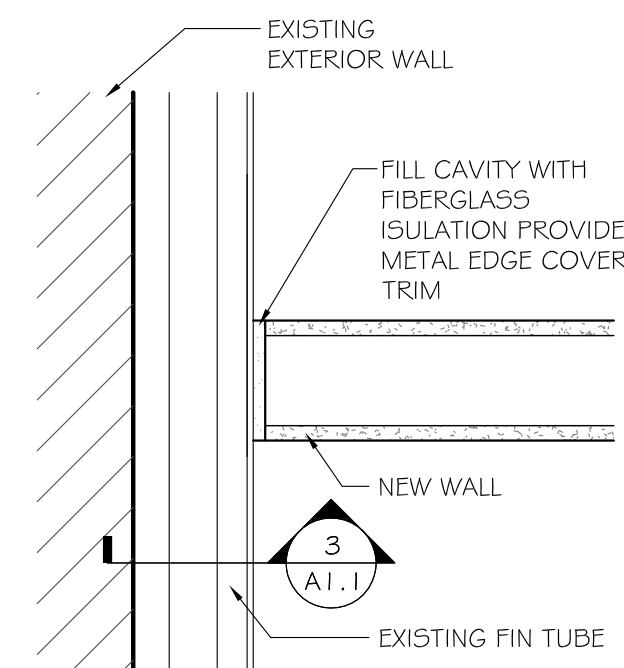
- ◇ PATCH GYP BD WALL, WHERE EXIST WALL WAS REMOVED, TO MATCH EXISTING

WALL LEGEND:

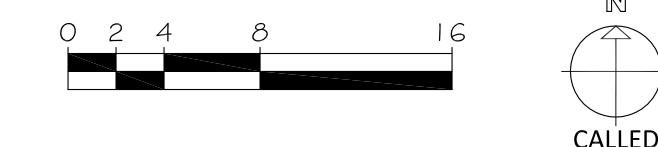
- EXISTING WALL: [Solid line]
- NEW WALL: [Dashed line]
- 2 HOUR WALL: [Dashed line with dots]



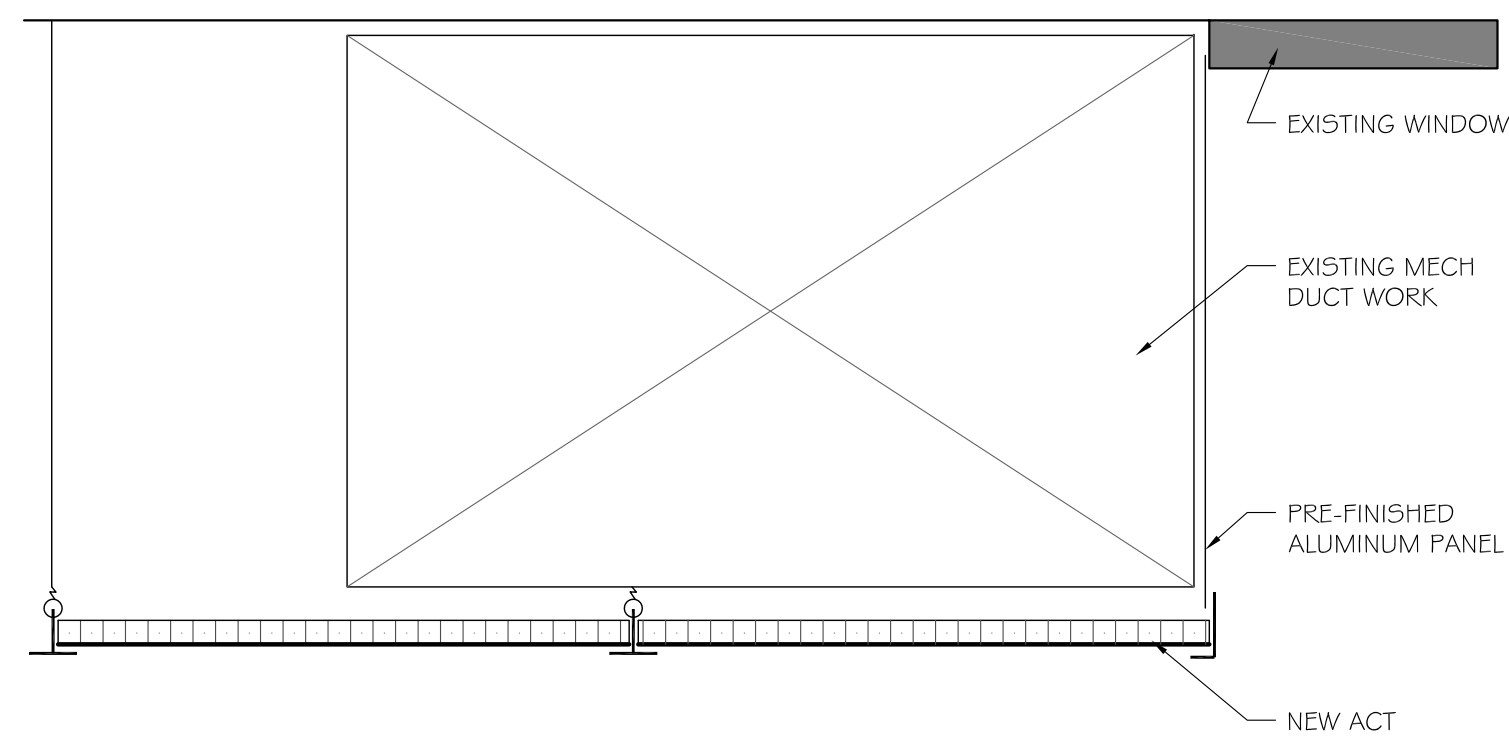
3 FIN TUBE SOUND PROOFING DETAIL
1 1/2" = 1'-0"



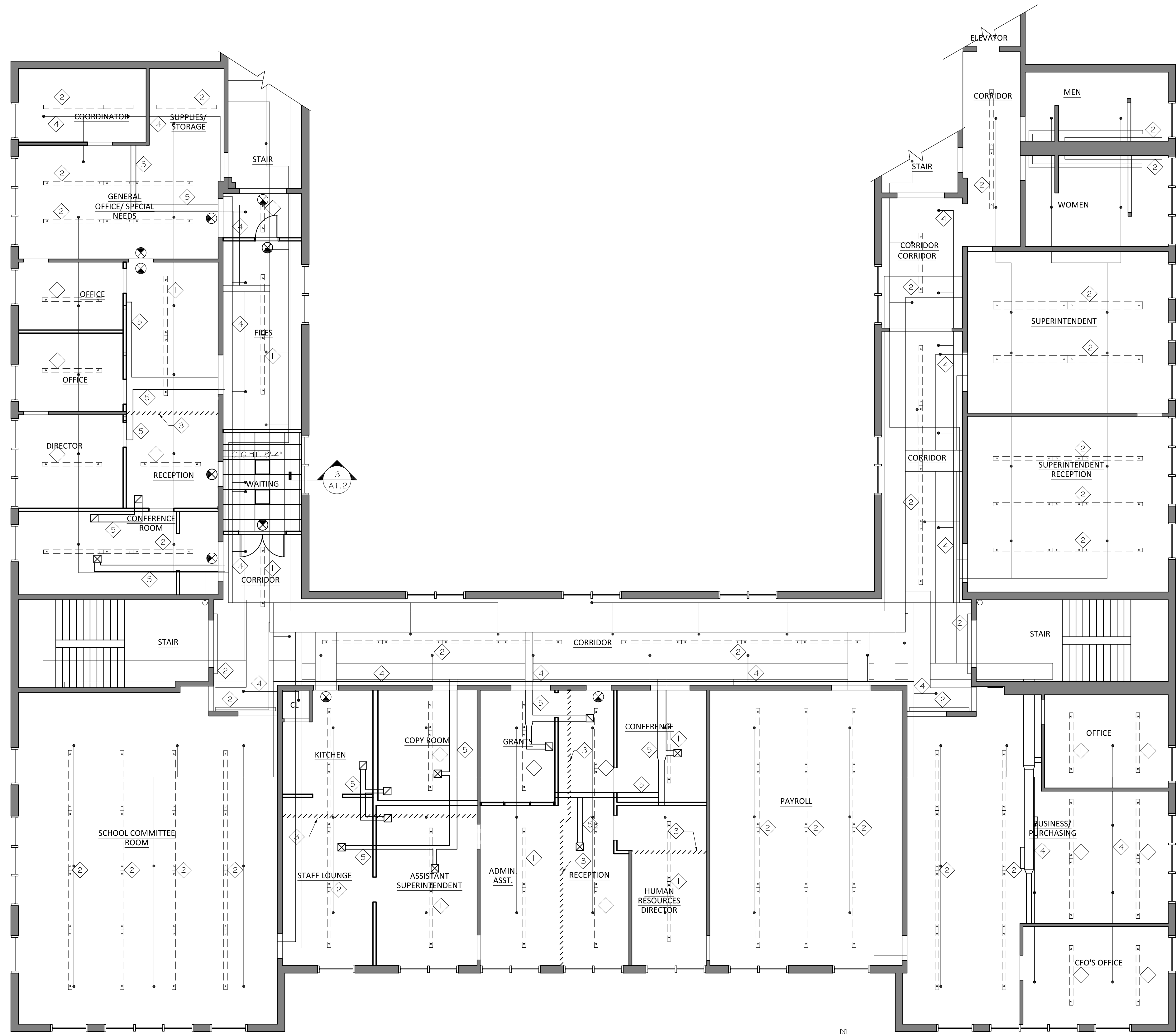
2 FIN TUBE SOUND PROOFING DETAIL
1 1/2" = 1'-0"



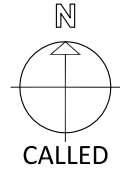
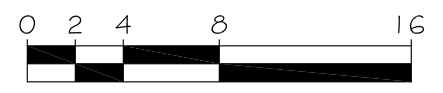
CALL



3 SOFFIT DETAIL
1 1/2" = 1'-0"



2 6TH PROPOSED REFLECTED CEILING PLAN - BASE BID
1/8" = 1'-0"



ALTERNATES

ALTERNATE 1: DEDUCTION OF WORK. ELIMINATE WORK ASSOCIATED WITH CREATING ROOMS 608C AND 609C FROM PROJECT. REFER TO ALTERNATE FLOOR PLAN FOR EXTENT OF REDUCED WORK. ELIMINATE ALL SPRINKLER UPGRADES.

ALTERNATE 2: DEDUCTION OF WORK. ELIMINATE NEW ROOF TOP UNIT AND MODIFY ASSOCIATED WORK. REFER TO ALTERNATE ROOF PLAN FOR EXTENT OF REDUCED SCOPE.

KEY NOTES

- 1 NEW LIGHT FIXTURES REFER TO ELEC DWGS
- 2 EXISTING LIGHT FIXTURES
- 3 PATCH GYP BD CEILING TO MATCH EXISTING; WHERE WALL WAS REMOVED.
- 4 NEW SPRINKLER REFER TO MECH DWGS
- 5 NEW MECH

LEGEND:

- PENDANT LIGHT FIXTURES:
- 2x2 RECESSED LIGHT FIXTURES WITH 2x2 SUSPENDED ACOUSTIC CEILING:
- EXIT SIGN:
- SPRINKLER LINES:
- EXISTING MECH:
- NEW MECH:

GENERAL NOTES:

1. PROTECT EXISTING EQUIPMENT TO REMAIN IN AREAS TO RECEIVE PAINT.

Turowski2 Architecture
P.O. Box 1290
313 Wareham Road
Marion, MA 02738
508.758.9777 phone
508.748.2444 fax
www.t2architecture.com
CONSULTANT:

STAMP:

REVISIONS

NO. DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
869 MASSACHUSETTS AVENUE
ARLINGTON, MA 02476

TITLE:
PROPOSED REFLECTED CEILING PLAN

JOB NUMBER:
12-15

DRAWN BY:
MED

CHECKED BY:
PJT

DATE:
March 27, 2013

SCALE:
AS NOTED

SHEET NO.:

A1.2



Turowski2 Architecture

P.O. Box 1290
313 Wareham Road
Marion, MA 02738

508.758.9777 phone
508.748.2444 fax
www.t2architecture.com

CONSULTANT:

STAMP:

REVISIONS

NO.	DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476

TITLE:
ROOF PLAN

JOB NUMBER:
12-15

DRAWN BY:
MED

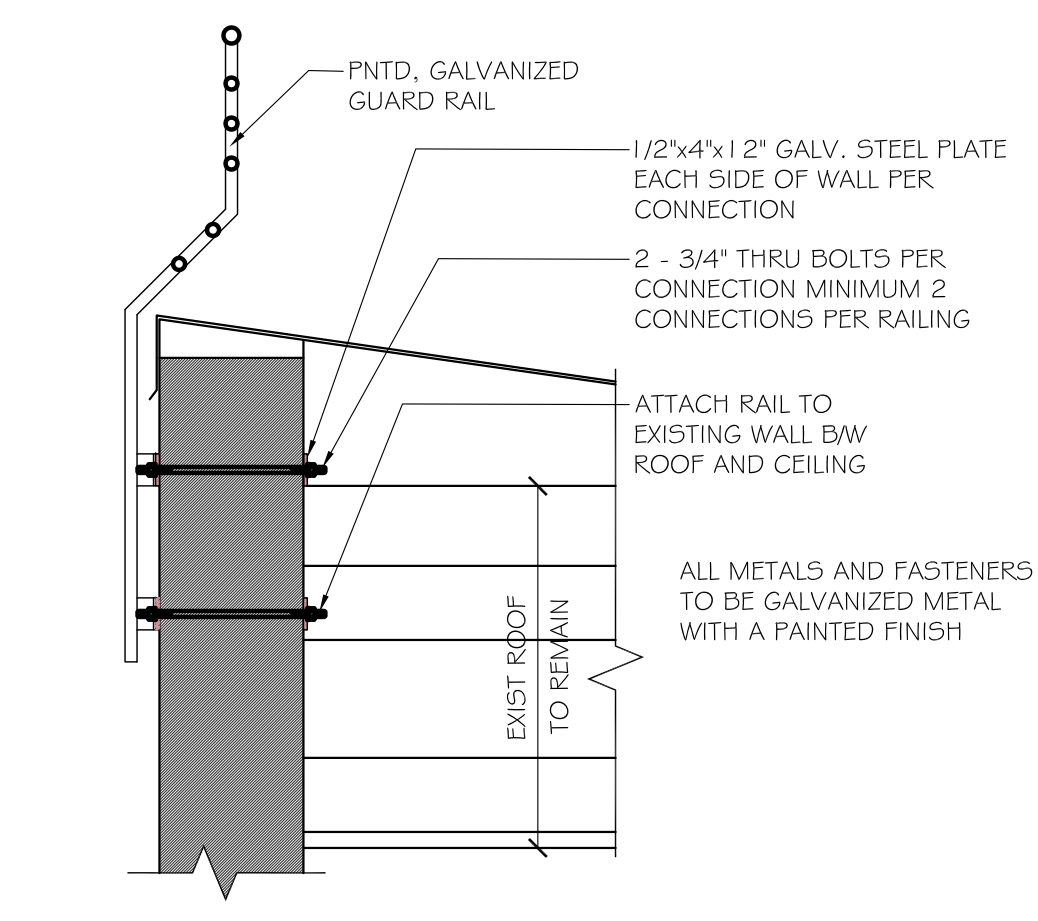
CHECKED BY:
PJT

DATE:
March 27, 2013

SCALE:
AS NOTED

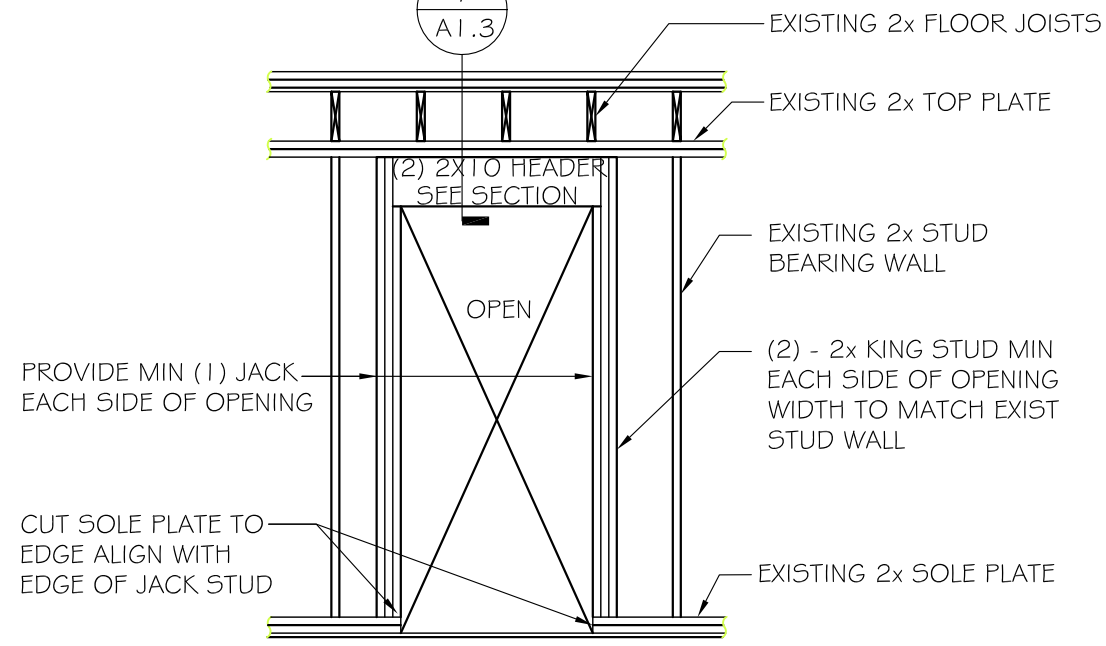
SHEET NO.:

A1.3

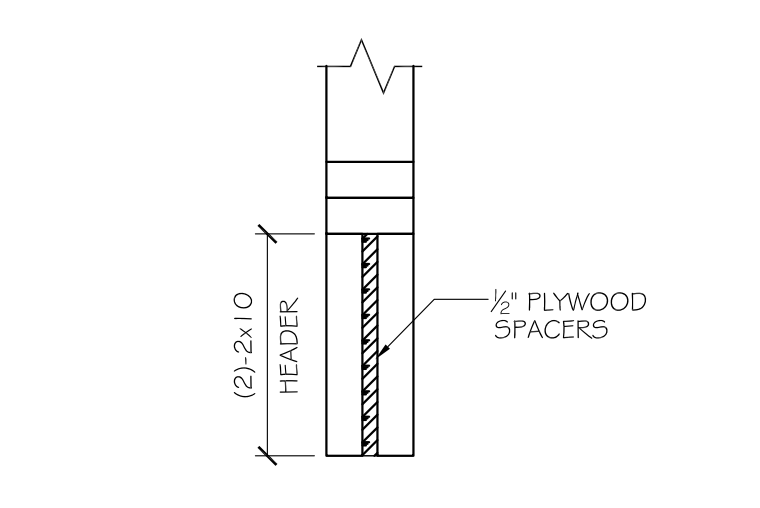


5 ROOF UNIT SUPPORT DETAIL - ALTERNATE #2
1/2" = 1'-0"

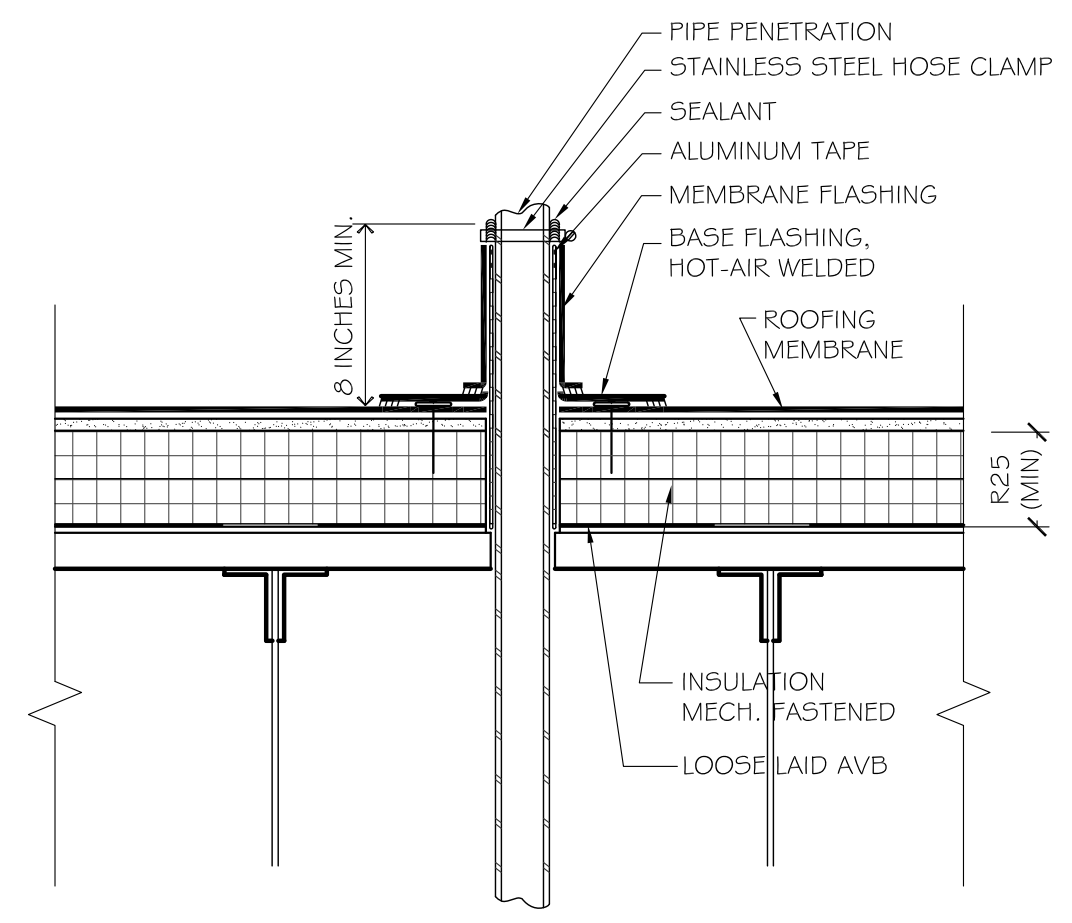
- PROCEDURE
1. SHORE FLOOR AND STUD BEARING WALLS ABOVE
 2. REMOVE EXIST SHEATHING AND STUDS
 3. ADD FRAMING FOR NEW OPENING
 4. REPLACE OR ADD SHEATHING FOR WALLS
 5. REMOVE SHORING



6 NEW OPENING IN EXISTING STUD BEARING WALL
1/2" = 1'-0"

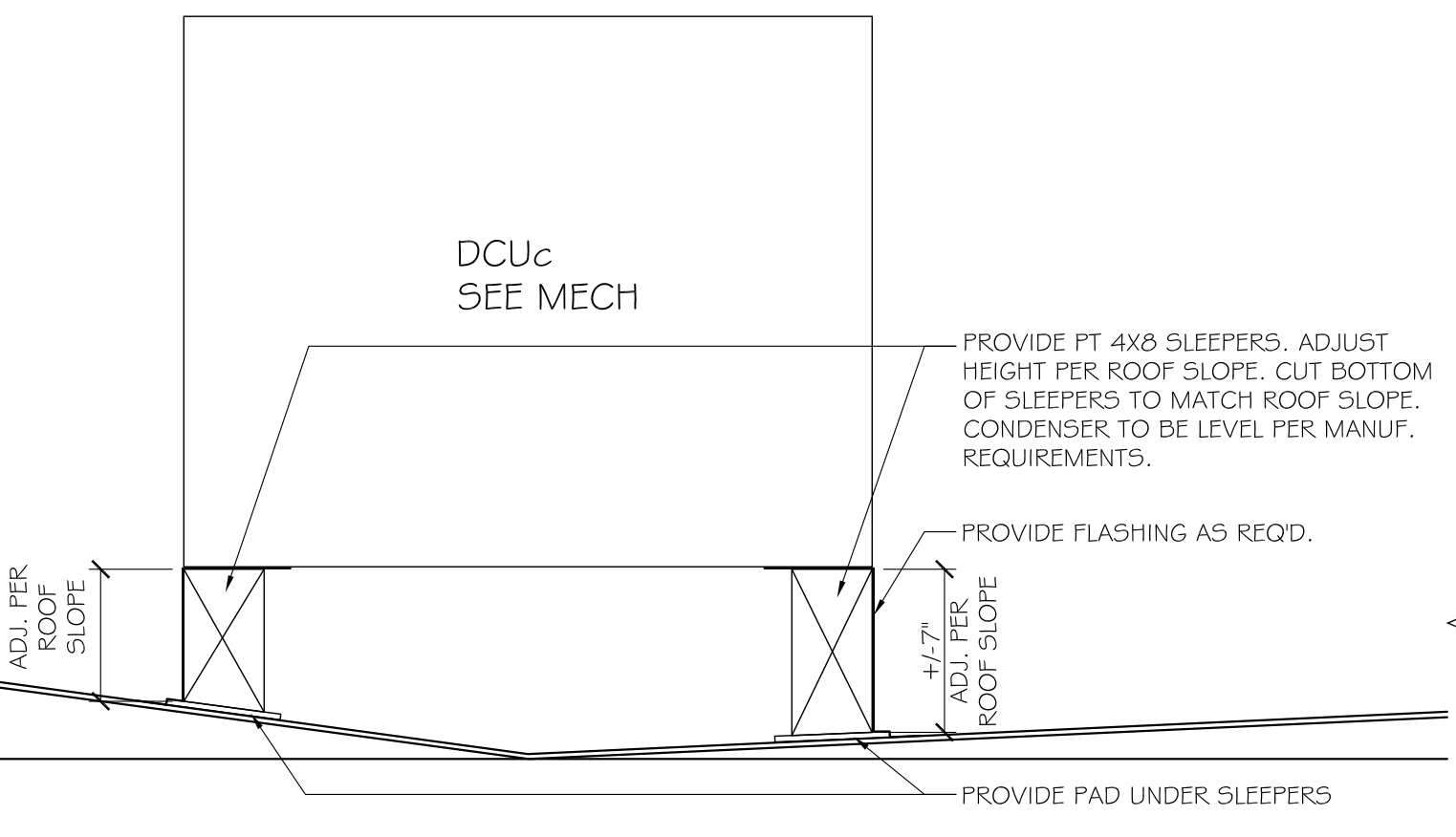


7 TYPICAL BUILT UP HEADER SECTION
1 1/2" = 1'-0"

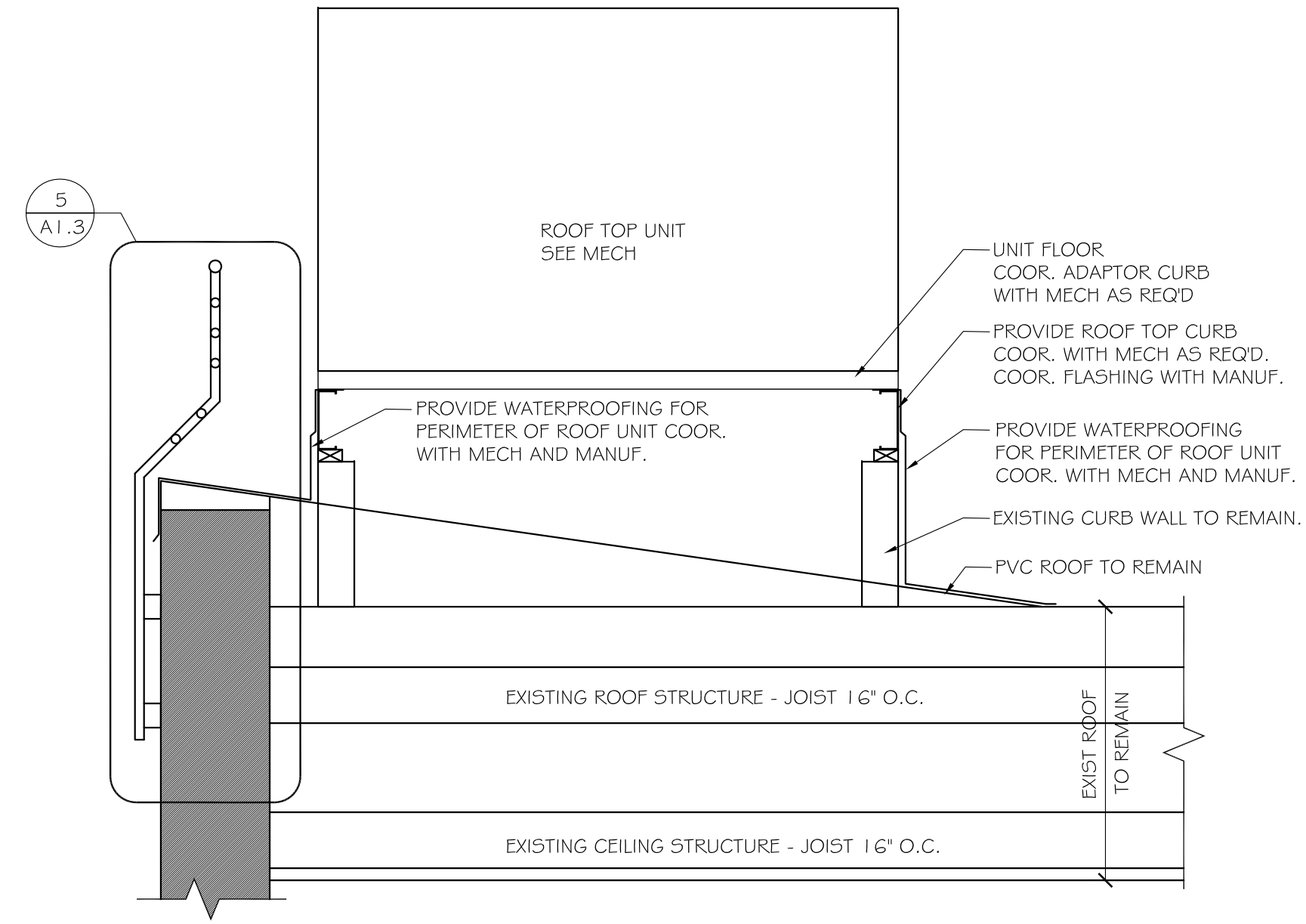


- NOTES:
- 1) ALUMINUM TAPE IS REQUIRED IF EXISTING PENETRATION IS CONTAMINATED.
 - 2) VAPOR BARRIER SHALL BE SEALED AT EDGES.

2 PIPE PENETRATION FLASHING
1 1/2" = 1'-0"

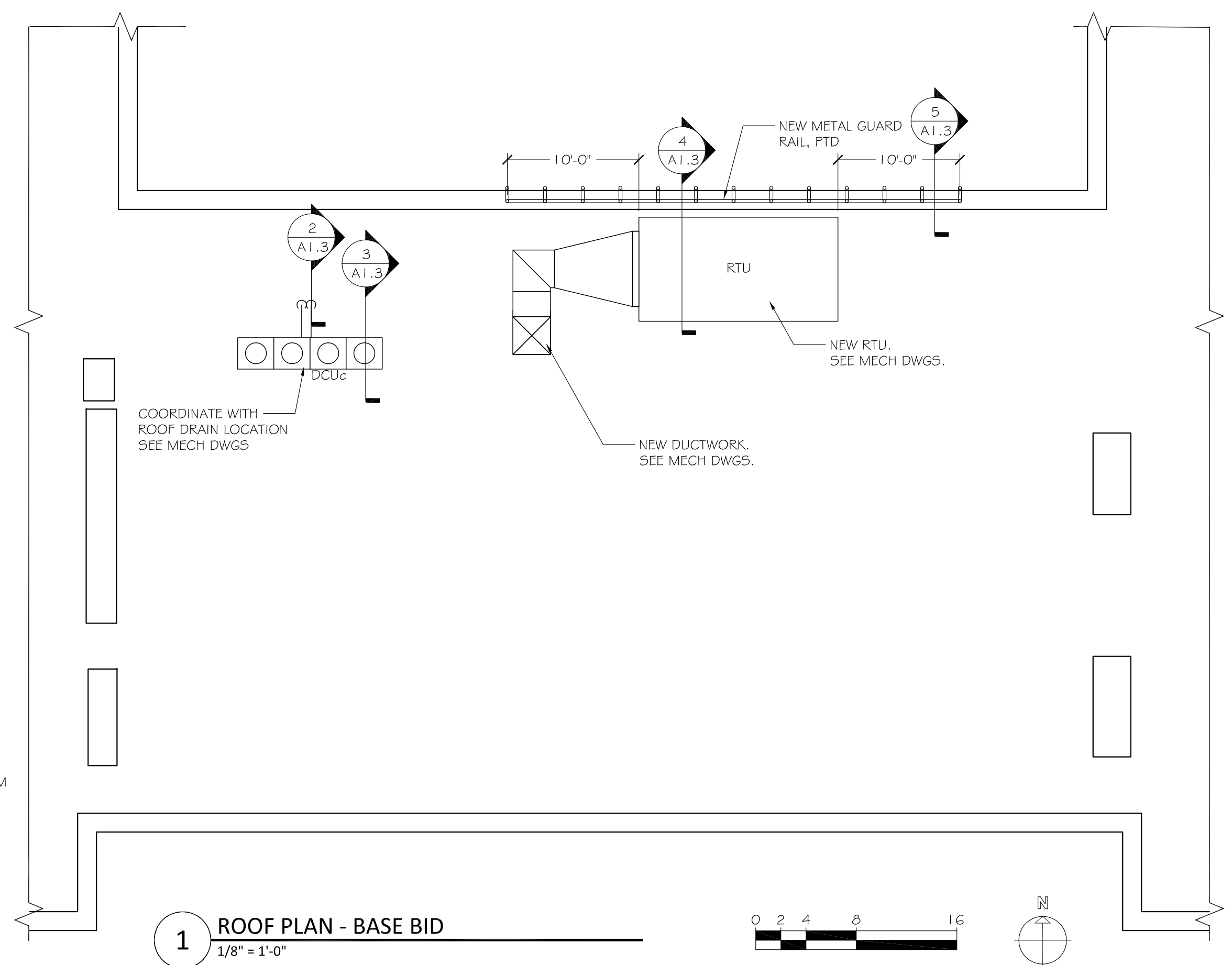


3 CONDENSOR SLEEPER SUPPORTS
1 1/2" = 1'-0"

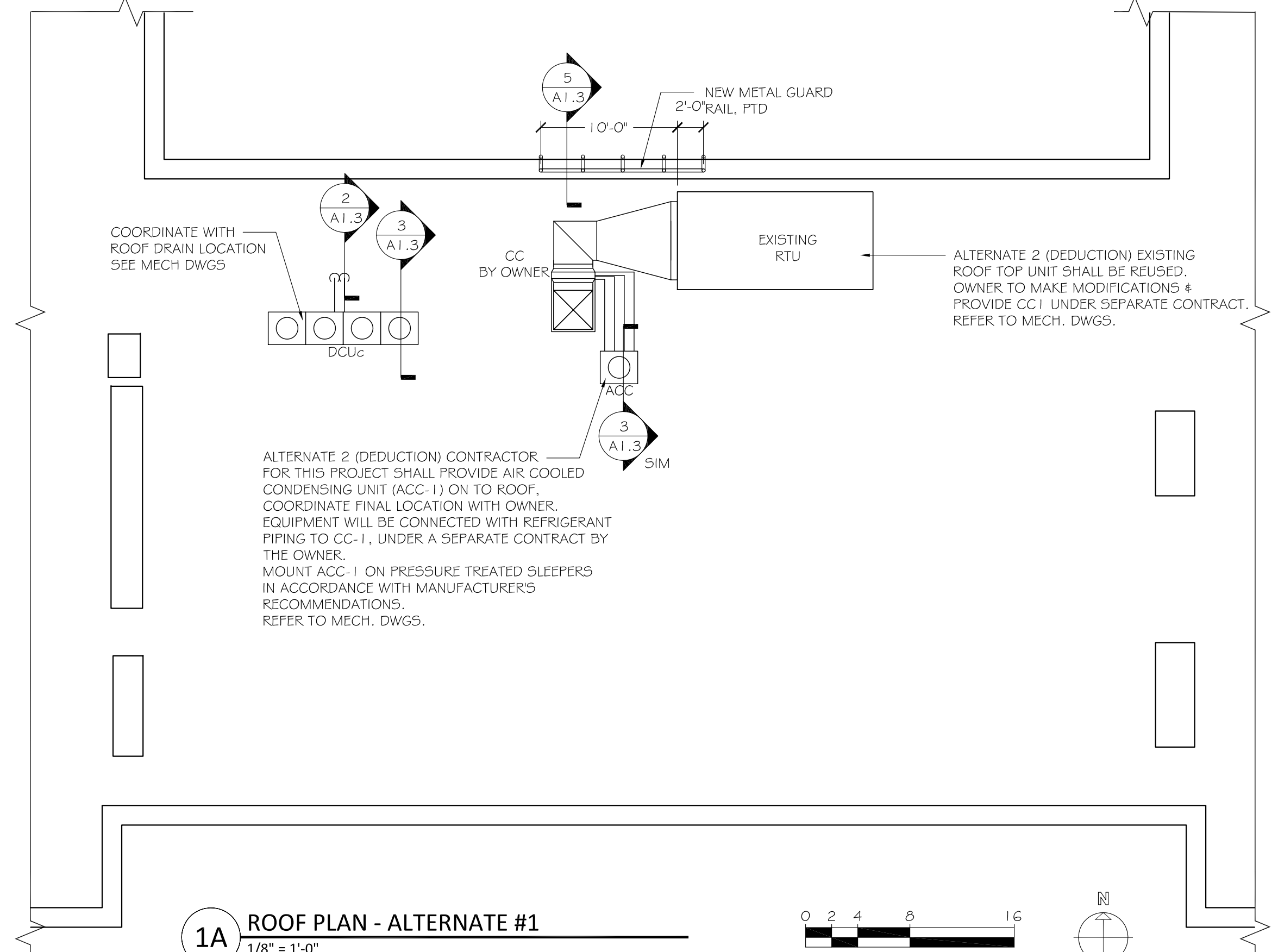
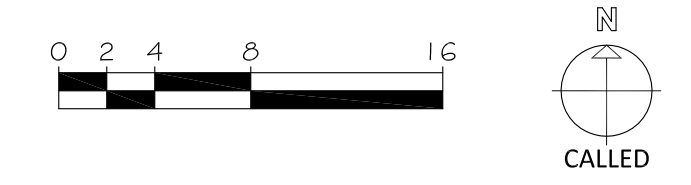


4 ROOF UNIT SUPPORT DETAIL - ALTERNATE #2
1/2" = 1'-0"

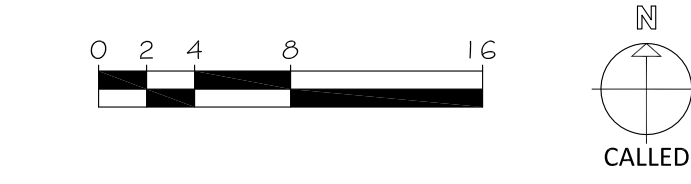
- GENERAL NOTES:
1. EXISTING ROOF TO BE PROTECTED.
 2. REFER TO SPEC. SECTION 003100-PROJECT INFORMATION, 020800-ASBESTOS ABATEMENT, 020820-MISCELLANEOUS HAZARDOUS MATERIALS REMOVAL FOR HAZARDOUS MATERIAL HANDLING REQUIREMENTS.



1 ROOF PLAN - BASE BID
1/8" = 1'-0"



1A ROOF PLAN - ALTERNATE #1
1/8" = 1'-0"



ROOM FINISH SCHEDULE

ROOM	FLOOR	CEILING	HEIGHT	WALL	NORTH	EAST	SOUTH	WEST	BASE	COMMENTS
# NAME										
601 SUPERINTENDENT	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
602 SUPERINTENDENT RECEPTION	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
603 BUSINESS/PURCHASING	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
603A OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
603B CFP'S OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
604 PAYROLL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
605B CONFERENCE	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
605A HUMAN RESOURCES DIRECTOR	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
605 RECEPTION	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
605E ADMIN ASST.	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
605C GRANTS	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
605D ASST. SUPERINTENDENT	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
606A COPY ROOM	VCT	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
605 STAFF LOUNGE	VCT	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
607 SCHOOL COMMITTEE ROOM	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
608 RECEPTION	CARPET	ACT	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
608B CONFERENCE ROOM	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
608A DIRECTOR	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
608C WAITING	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
609 OPEN OFFICE AREA	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
609A OFFICE	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
609B OFFICE	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
609C FILES	VCT	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
610 GENERAL OFFICE/SPECIAL NEEDS	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
610A COORDINATOR	CARPET	PAINTED	EXIST	PAINTED	PAINTED	PAINTED	PAINTED	PAINTED	VINYL	
611 CORRIDOR	EXIST	PTD/ALT	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	VINYL	BASE BID - PAINT NEW PIPING; ALT #1-PAINT ALL PIPING

NOTES:

1. ALL NEW PIPING AND DUCTWORK TO BE PAINTED
2. TOUCH UP PAINT TO MATCH EXISTING AT ALL NEW EQUIPMENT AND AREAS DISTURBED IN ROOMS NOT TO RECEIVE PAINT.
3. NEW DUCTWORK AND EXPOSED CONDUIT IN ROOMS NOT TO RECEIVE PAINT SHALL BE PAINTED TO MATCH EXISTING.

DOOR SCHEDULE

#	TO	LOCATION	WIDTH	HEIGHT	SIZE	MATERIAL	THICKNESS	TYPE	MATERIAL	FRAME	HEAD	JAMB	THRESHOLD	HDWR SET	FIRE RATING	SIGNAGE	COMMENTS
001	RECEPTION	CORRIDOR	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	3	HM	B	2A	4A	5	04	-	BY OWNER	NONE
002	CONFERENCE	RECEPTION	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	1	3	-	03	-	BY OWNER	NONE
003	HR DIRECTOR	RECEPTION	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	1	3	-	01	-	BY OWNER	NONE
004	ASST SUPERINTENDENT	RECEPTION	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	1A	3A	-	01	-	BY OWNER	NONE
005	ASST SUPERINTENDENT	STAFF LOUNGE	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	4	HM	B	1	3	5	01	-	BY OWNER	NONE
006	COPY ROOM	CORRIDOR	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	2A	4A	5	02	-	BY OWNER	NONE
007	RECEPTION	GRANT	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	1	3	-	02	-	BY OWNER	NONE
008	CONFERENCE	RECEPTION	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	3	HM	B	1	3	-	03	-	BY OWNER	NONE
009	DIRECTOR	RECEPTION	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	C	1	3	-	01	-	BY OWNER	NONE
010	OFFICE	OPEN OFFICE	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	C	1	3	-	01	-	BY OWNER	NONE
011	OFFICE	OPEN OFFICE	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	C	1	3	-	01	-	BY OWNER	NONE
012	GENERAL OFFICE	OPEN OFFICE	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	1	3	5	03	-	BY OWNER	NONE
013	STAIRS	GENERAL OFFICE	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	2	HM	B	1A	3A	5	06	90 MIN	BY OWNER	NONE
014	GENERAL OFFICE	FILES	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	4	HM	B	1	3	5	02	-	BY OWNER	DOOR NOT USED IF ALT #1 IS SELECTED
015	CORRIDOR	WAITING	6'-0"	7'-0"	6'-0" x 7'-0"	WOOD	1-3/4"	1	HM	A	1	3	5	05	-	BY OWNER	DOOR NOT USED IF ALT #1 IS SELECTED
ALTERNATE #1																	
016	CORRIDOR	RECEPTION	3'-0"	7'-0"	3'-0" x 7'-0"	WOOD	1-3/4"	1	HM	B	2A	4A	5	04	-	BY OWNER	DOOR USED IF ALT #1 IS SELECTED

DOOR SCHEDULE NOTES

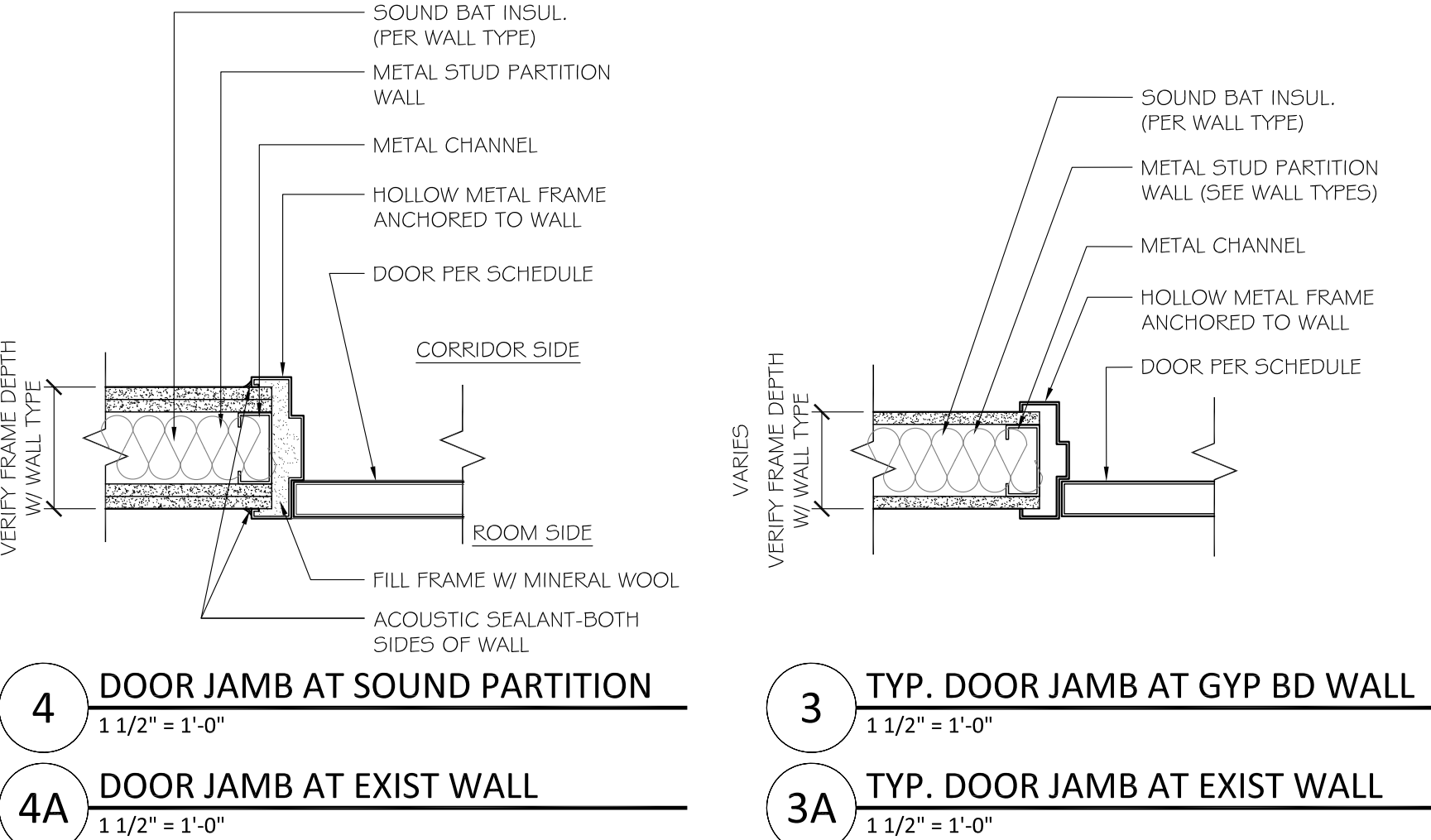
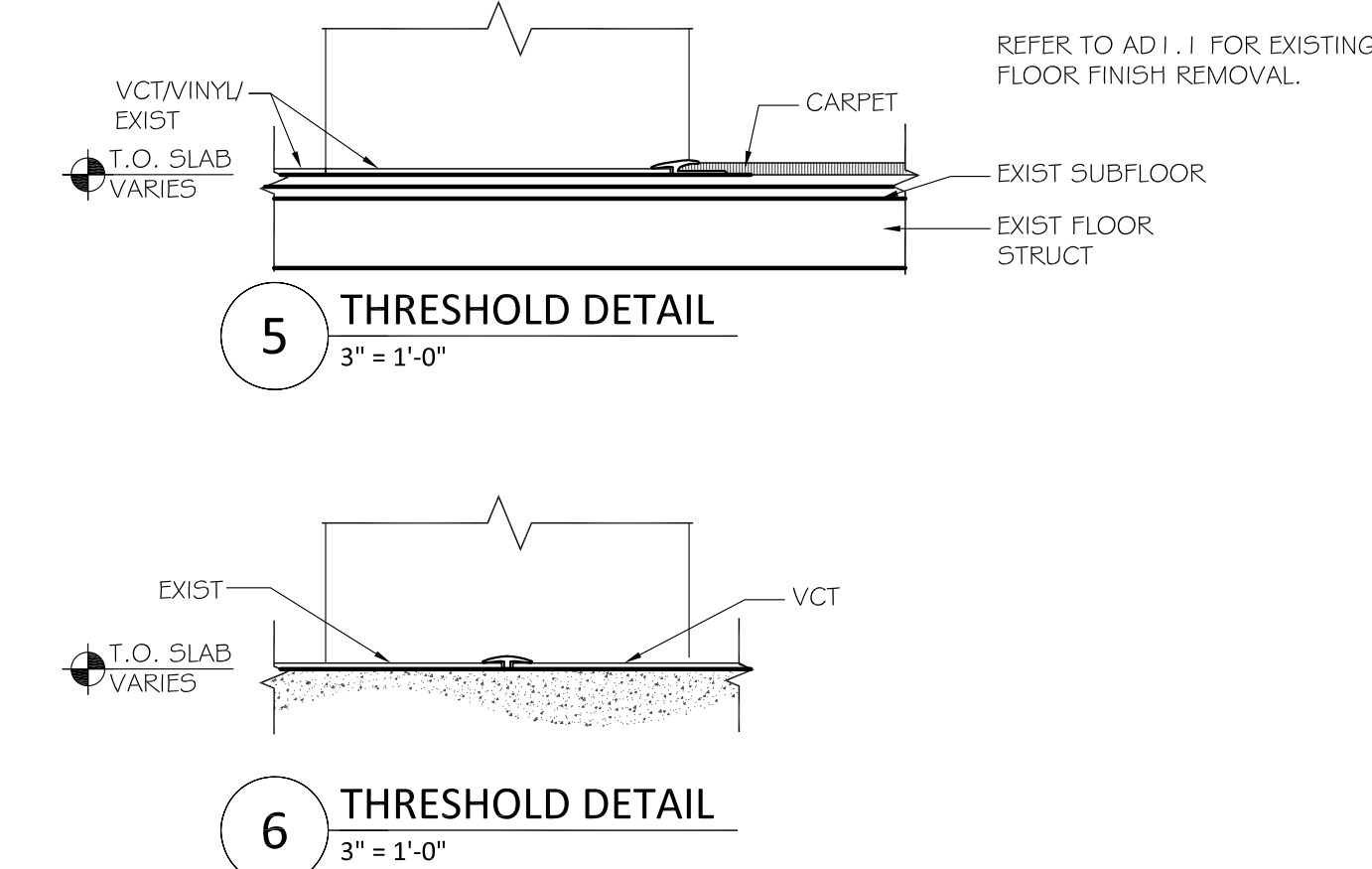
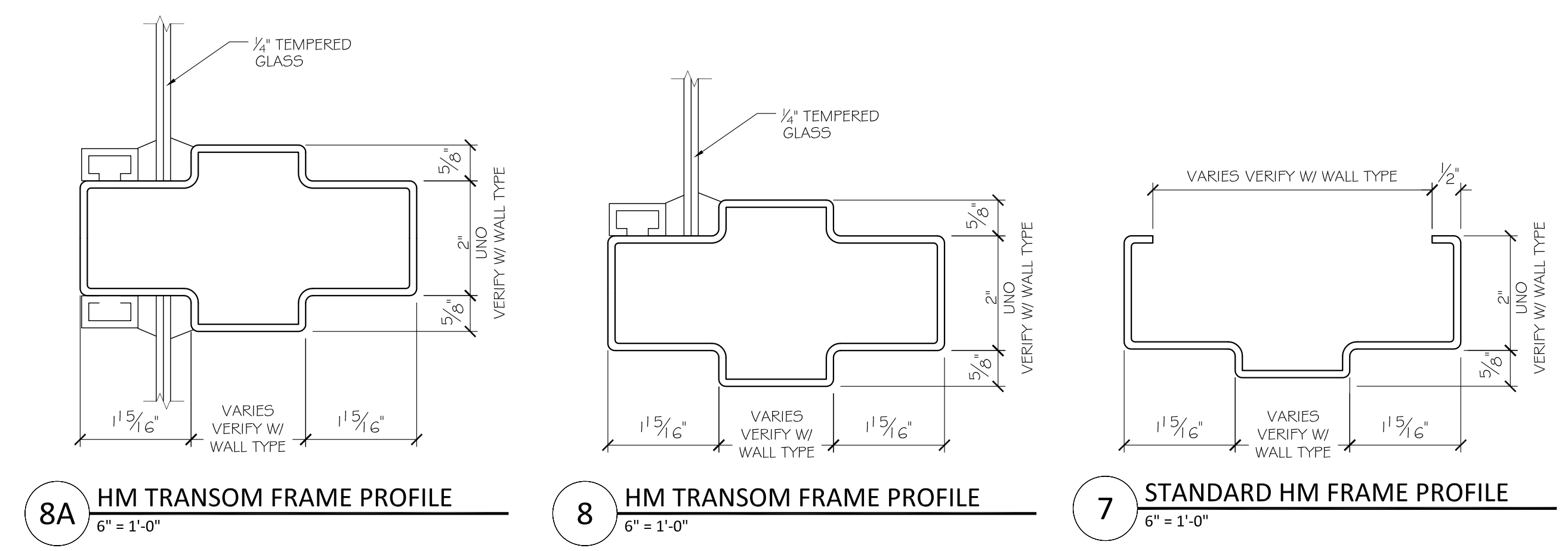
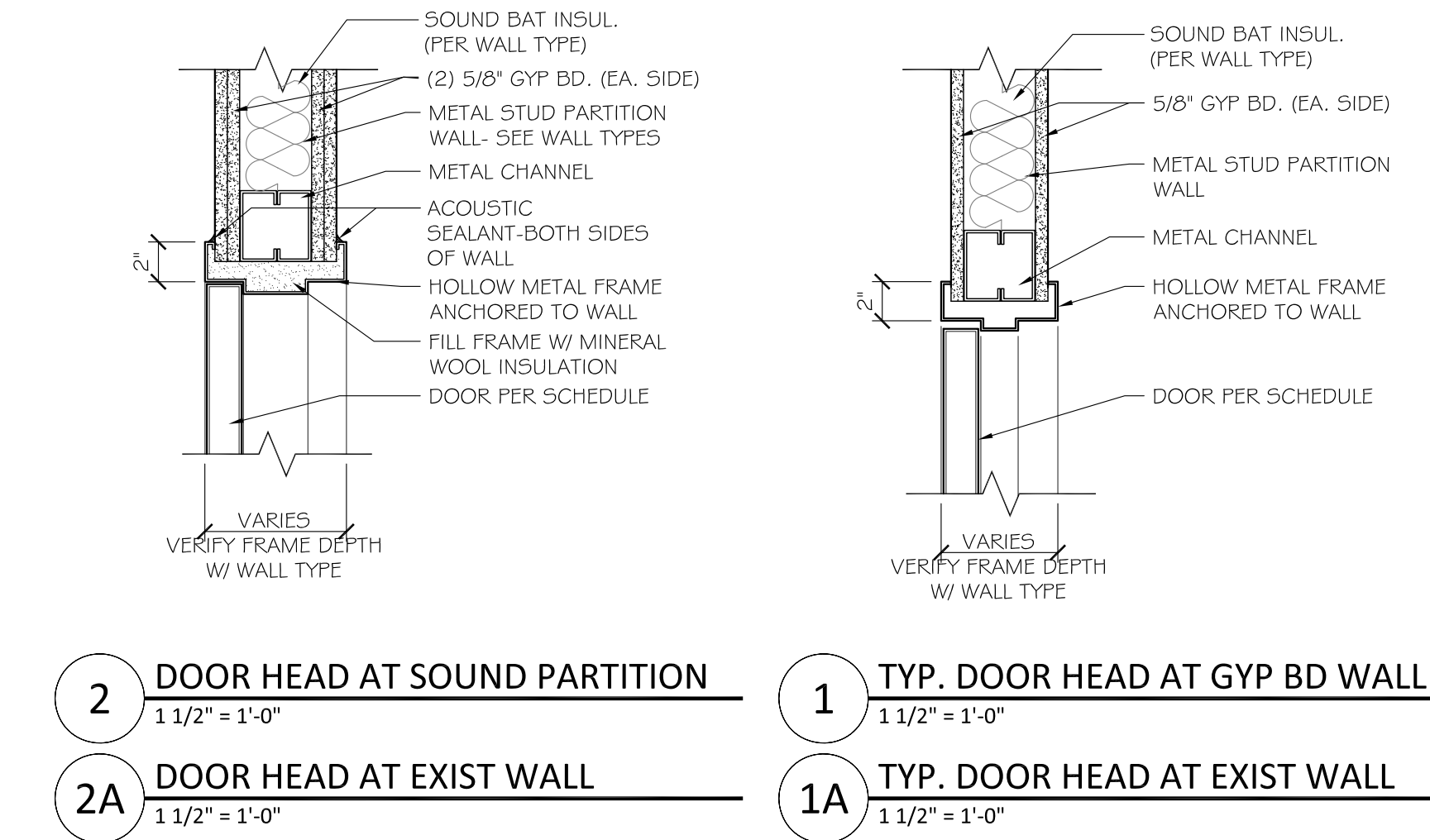
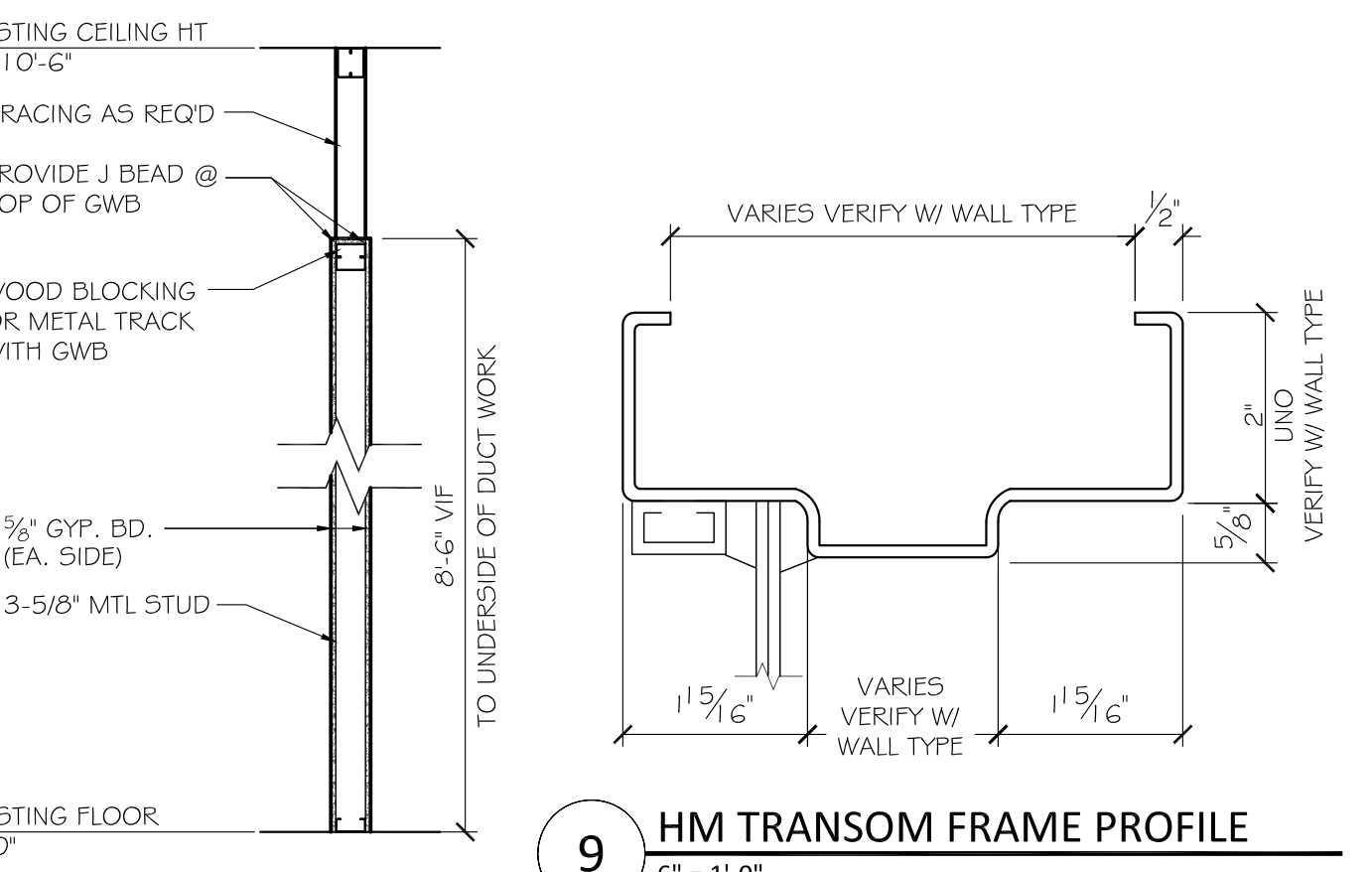
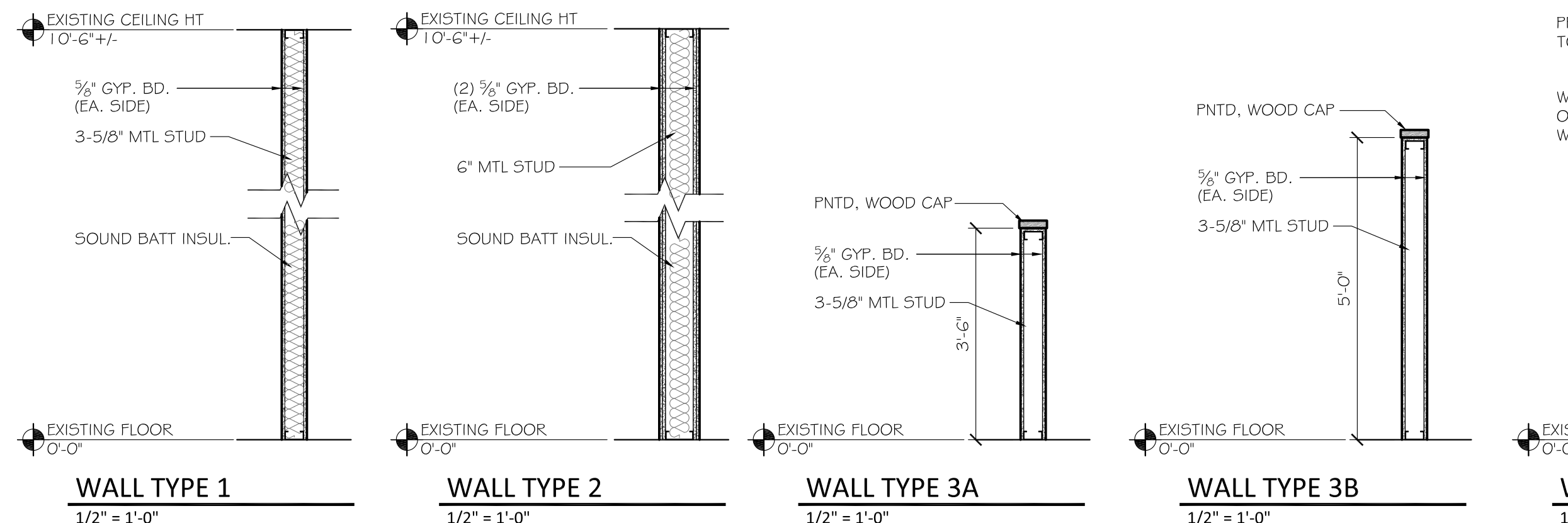
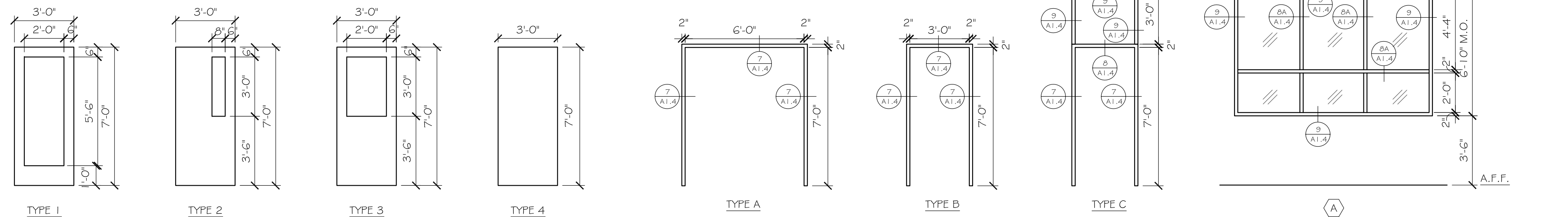
1. GO TO VERIFY THICKNESSES OF ALL EXISTING WALLS AND DOORS, AND SIZE OF ALL OPENINGS.
2. GO TO MATCH DOOR SIZE WITH EXISTING DOOR SIZE. VERIFY IN FIELD.

WINDOW SCHEDULE

#	ROUGH OPENING	STYLE	MATERIAL	ELEVATION	HEAD	JAMB	SILL	COMMENTS	
A	10'-0"	6'-10"	FIXED	HM	A	9/A1.4	8A&9/A1.4	9/A1.4	NONE

WINDOW SCHEDULE NOTES

1. GO TO VERIFY THICKNESSES OF ALL EXISTING WALLS AND SIZE OF ALL OPENINGS.
2. LITE PATTERNS AS SHOWN ON WINDOW TYPE ELEVATIONS
3. DETAILS REFER TO SHEET A-1.4 UNLESS OTHERWISE NOTED.
4. ALL WINDOWS TO BE FACTORY PRIMED ON INTERIOR FOR FIELD PAINTING.



Turowski2 Architecture
 P.O. Box 1290
 313 Wareham Road
 Marion, MA 02738
 508.758.9777 phone
 508.748.2444 fax
 www.t2architecture.com

STAMP:

REVISIONS

NO.	DATE:

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476

TITLE:
SCHEDULES, TYPES & DETAILS

JOB NUMBER:
 12-15

DRAWN BY:
 MED

CHECKED BY:
 PJT

DATE:
 March 27, 2013

SCALE:
 AS NOTED

SHEET NO.:

A1.4



Turowski2 Architecture
 P.O. Box 1290
 313 Wareham Road
 Marion, MA 02738
 508.758.9777 phone
 508.748.2444 fax
 www.t2architecture.com



GARCIA+GALUSKA+DESOUZA
 CONSULTING ENGINEERS INC.
 200 Francis Drive, North Attleboro, MA 01940-1271
 508-848-0100 • Fax: 508-848-0101 • Email: info@ggdeso.com

REVISIONS
 NO. DATE

6TH FLOOR OFFICE RENOVATION
ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476

TITLE:
6TH FLOOR SPRINKLER REVISIONS
FIRE PROTECTION

JOB NUMBER:
 12-15

DRAWN BY:
 REJ

CHECKED BY:
 CMG

DATE:
 March 27, 2013

SCALE:
 AS NOTED

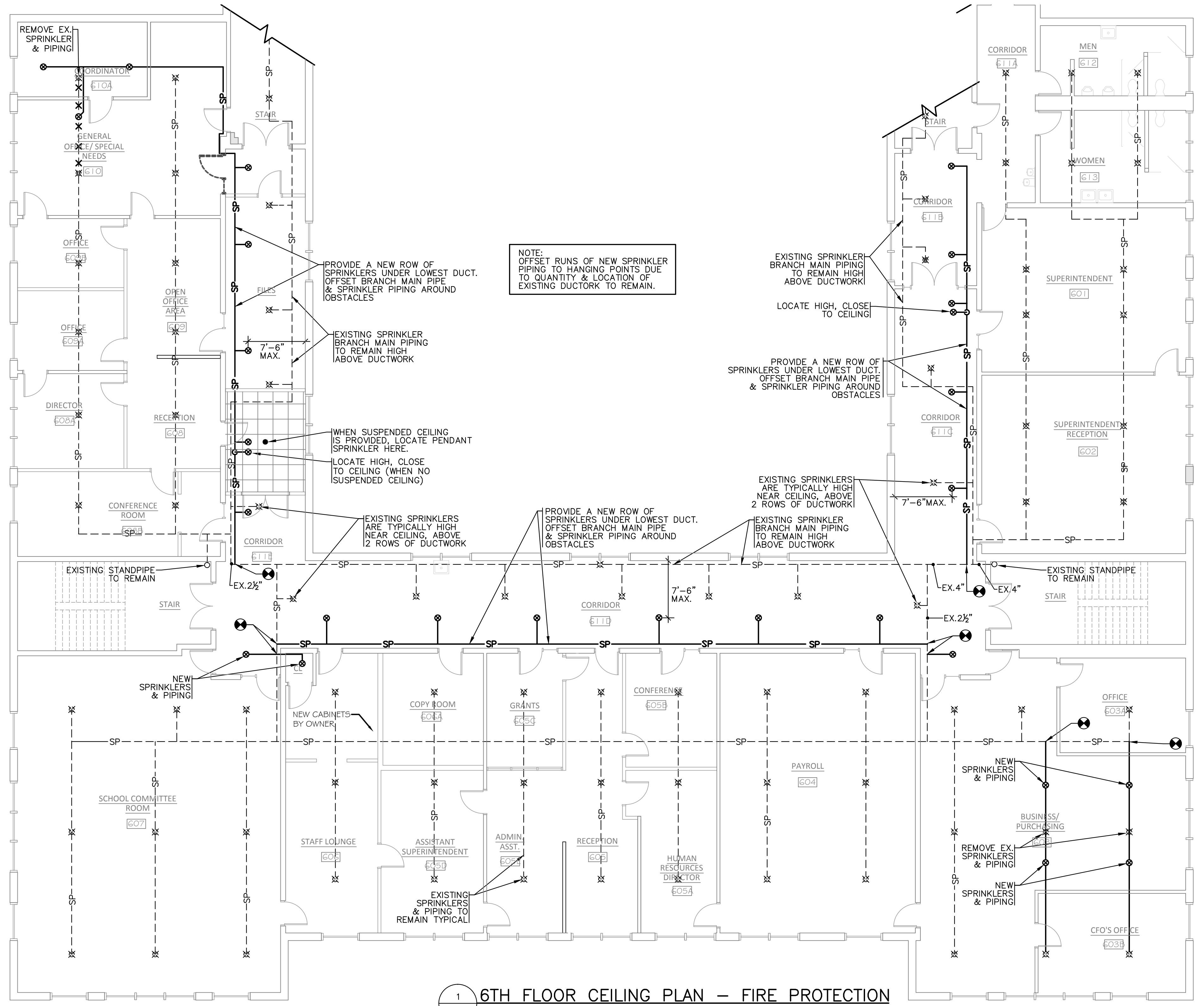
SHEET NO:
FP-1.1

LEGEND

SYMBOL	ABBREV	DESCRIPTION
---	NEW	NEW WORK (DARK)
---	EX	EXISTING WORK (LIGHT)
F	F	FIRE LINE ABV. GRADE
SP	SP	SPRINKLER LINE (WET)
D	D	SPRINKLER LINE (DRY)
▲ EC	EC	SIDEWALL SPRINKLER HEAD EXTENDED COVERAGE
● EC	EC	PENDANT SPRINKLER HEAD EXTENDED COVERAGE
●		PENDANT SPRINKLER HEAD
⊙		EXPOSED UPRIGHT SPRINKLER HEAD
▲ D		DRY SIDEWALL SPRINKLER HEAD
● D		DRY PENDANT SPRINKLER HEAD IN CEILING
⊙ D		DRY EXPOSED UPRIGHT SPRINKLER HEAD
⊙ D		DRY CONCEALED PENDANT SPRINKLER HEAD
⊗		EXISTING SPRINKLERHEAD TO REMAIN
○ DP, DN		PIPE DROP OR DOWN
○ UP		PIPE RISE OR UP
┘		TEE LOOKING DOWN
┘		CAP ON END OF PIPE
CV		CHECK VALVE
SCV		SUPERVISED CONTROL VALVE
FS		FLOW SWITCH
TYP.		TYPICAL
AFF		ABOVE FINISHED FLOOR
PC		PLUMBING CONTRACTOR
FPC		FIRE PROTECTION CONTRACTOR
GC		GENERAL CONTRACTOR
HVAC		HEAT, VENT & AIR COND. CONTRACTOR
EC		ELECTRICAL CONTRACTOR
EXP		EXPOSED
⊗		SCVA SPRINKLER FLOOR CONTROL VALVE ASSEMBLY

NOTE: NOT ALL SYMBOLS LISTED ARE APPLICABLE TO THIS PROJECT.

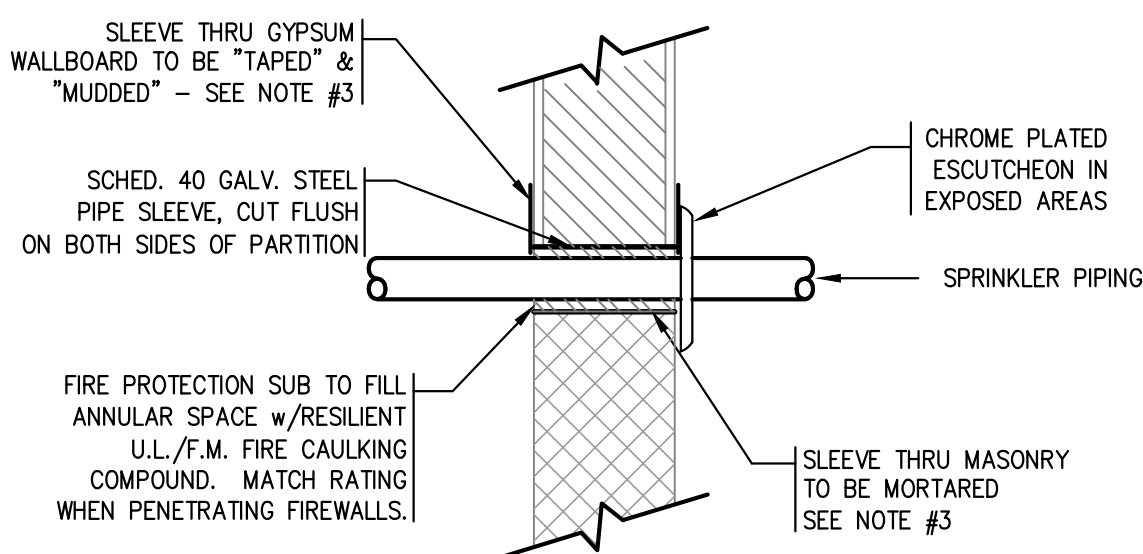
- THE FIRE PROTECTION DRAWINGS ARE DIAGRAMMATIC AND ARE TO BE USED FOR THE PURPOSE OF ESTABLISHING GENERAL LOCATIONS OF PIPING RUNS, SIZES OF PIPING, AND QUANTITIES OF FIXTURES AND EQUIPMENT TO BE FURNISHED HEREIN. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS FOR EXACT LOCATIONS OF ALL SPRINKLER HEADS, AND EQUIPMENT, INCLUDING MOUNTING HEIGHTS. IN THE EVENT OF CONFLICT OR IF DIMENSIONS ARE NOT SHOWN, OBTAIN FIELD DIRECTIVE FROM THE ARCHITECT AS TO THE LOCATIONS OF ALL VISIBLE EQUIPMENT.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR CEILING HEIGHTS AND AND LAYOUTS. REFER TO THE RESPECTIVE HVAC AND ELECTRICAL DRAWINGS FOR LIGHTING, DIFFUSER AND REGISTER LAYOUTS IN CEILINGS AND FOR PIPING, DUCTWORK AND EQUIPMENT AT CEILINGS FOR COORDINATION PURPOSES. IN THE EVENT OF CONFLICT OR IF DIMENSIONS ARE NOT SHOWN, OBTAIN FIELD DIRECTIVE FROM THE ARCHITECT AS TO THE LOCATIONS OF ALL VISIBLE EQUIPMENT.
- THE SPRINKLER CONTRACTOR SHALL PROVIDE AS PART OF THIS CONTRACT ALL SPRINKLERS BELOW FIXED OBSTRUCTIONS 48" AND LARGER AS REQUIRED BY NFPA 13, 8.6.5.3.3. IT IS THE RESPONSIBILITY OF THE SPRINKLER CONTRACTOR TO PROVIDE THE REQUIRED SPRINKLERS AND ALL ASSOCIATED PIPING, FITTINGS, HANGERS, ETC. FOR A COMPLETE INSTALLATION.
- SPECIFIC ATTENTION IS DIRECTED TO THE REQUIREMENTS OF MBC 914.7, 3305.3, 3306.1, AND NFPA 241-2004 REGARDING THE MAINTENANCE OF FIRE PROTECTION SYSTEMS DURING CONSTRUCTION AND DEMOLITION. MAINTAIN THE SYSTEMS AS REQUIRED BY THESE STANDARDS AS A MINIMUM.
- REFER TO NFPA 13 TABLE 8.3.2.5(d) FOR TEMPERATURE RATING OF SPRINKLERS BASED ON DISTANCE FROM HEAT SOURCES SUCH AS HEATING DUCTS, DIFFUSERS AND UNIT HEATERS.
- THE SPRINKLER CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING THE SPRINKLER SYSTEM BACK ON LINE AND OPERATIONAL AT THE END OF EACH WORKING DAY
- PAY ALL COSTS ASSOCIATED WITH ACTIVATING & DEACTIVATING THE FIRE ALARM SYSTEM TO PERFORM THE SPRINKLER WORK.
- SPRINKLER CONTRACTOR IS TO PROTECT EXISTING SPRINKLER PIPING AND HEADS TO REMAIN. CONTRACTOR IS TO FIX ALL LEAKS THAT OCCUR IN THE EXISTING SYSTEM AT NO COST TO THE OWNER.



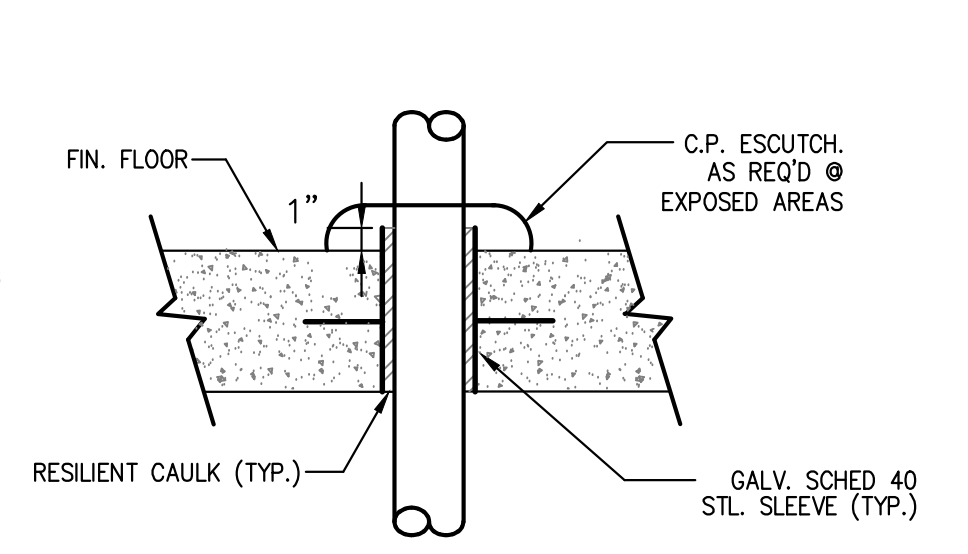
1 6TH FLOOR CEILING PLAN - FIRE PROTECTION
 FP1.1 SCALE: 1/8" = 1'-0"

- NOTES:
- ALL PIPING PENETRATING ALL PARTITIONS, WHETHER FIRE OR SMOKE RATED OR NOT, CONCEALED OR EXPOSED, SHALL BE SLEEVED AS DETAIL.
 - WHERE CONC. WALLS, SLABS, ETC., ARE CORE DRILLED, INSTALL SLEEVE FLUSH WITH BOTH SIDES, CAULKED & LEADED IN PLACE.
 - REFER TO DIVISION 4 & 9 FOR PROCEDURES & METHODS OF PATCHING AROUND SLEEVES AT GYPSUM, PLASTER & MASONRY. REFER TO SPECS FOR DELINEATION OF RESPONSIBILITY
 - SLEEVES SHALL BE SIZED TO PROVIDE MIN. 1" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D. FOR PIPING UP TO 3" IN SIZE. PROVIDE 2" CLEARANCE BETWEEN PIPE O.D. & SLEEVE I.D. FOR PIPING 4" IN SIZE AND GREATER.

SLEEVE NOTES



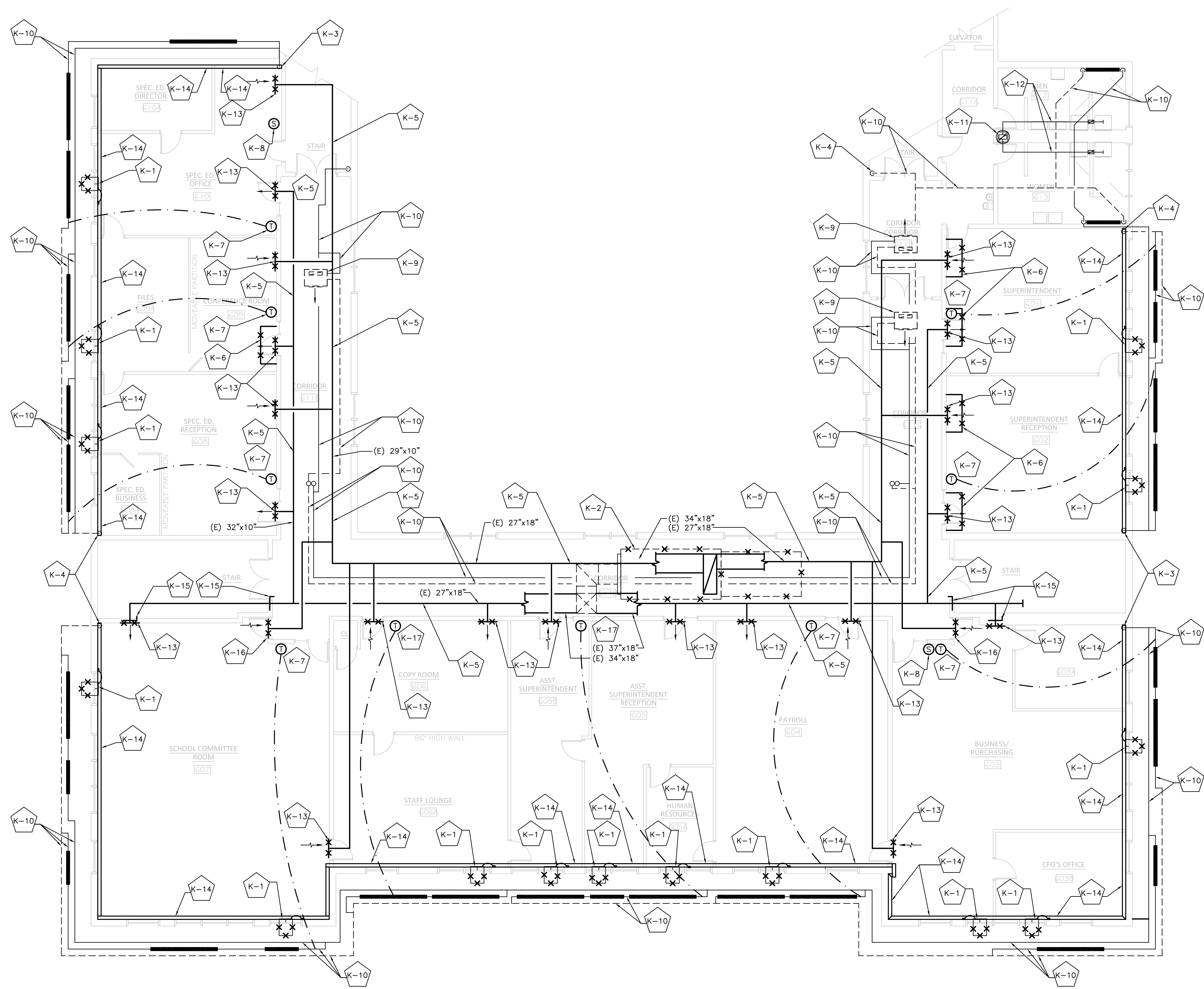
2 TYPICAL SLEEVE CONDITION DETAILS
 FP1.1 N.T.S.



3 TYPICAL END-OF-LINE BRANCH PIPE HANGER DETAIL
 FP1.1 SCALE: N.T.S.

NOTE: TO BE USED AT ALL END-OF-LINE BRANCH HANGERS THROUGHOUT PROJECT

ALTERNATES
 ALTERNATE #1: ELIMINATE ALL SPRINKLER WORK.
 ALTERNATE #2: DOES NOT APPLY TO WORK OF THIS SECTION



- DEMOLITION KEY NOTES:**
- K-1 EXISTING WINDOW AIR CONDITIONING UNIT TO BE REMOVED BY OWNER.
 - K-2 **BASE BID:** EXISTING JACKSON CHURCH H&V UNIT TO BE REMOVED INCLUDING ALL ASSOCIATED APPURTENANCES. ROOF PENETRATION TO BE REUSED WITH NEW UNIT. REFER TO NEW WORK PLANS FOR ADDITIONAL INFORMATION. **ALTERNATE 2:** REFER TO ROOF PLAN FOR ADDITIONAL INFORMATION ON DEMOLITION BASED ON ALTERNATE.
 - K-3 EXISTING HEATING HOT WATER SUPPLY (HHWS) DN TO REMAIN.
 - K-4 EXISTING HEATING HOT WATER RETURN (HHWR) DN TO REMAIN.
 - K-5 EXISTING DUCTWORK TO REMAIN.
 - K-6 EXISTING METAL DEFLECTOR ON EXISTING GRILLES TO BE REMOVED.
 - K-7 EXISTING PNEUMATIC THERMOSTATS TO REMAIN.
 - K-8 EXISTING WALL MOUNTED BMS SYSTEM ROOM TEMPERATURE SENSOR TO BE REPLACED IN KIND BY ORIGINAL EQUIPMENT PROVIDER (AEM CONTROLS). EXISTING HOT WATER UNIT HEATERS SERVING CORRIDORS TO REMAIN.
 - K-9 EXISTING HOT WATER UNIT HEATERS SERVING CORRIDORS TO REMAIN.
 - K-10 EXISTING HEATING HOT WATER PIPING AND ALL RELATED APPURTENANCES SUCH AS HANGERS, INSULATION AND VALVES TO REMAIN.
 - K-11 EXISTING TOILET ROOM EXHAUST SYSTEM TO REMAIN.
 - K-12 EXISTING DUCTWORK AND EXHAUST GRILLES TO REMAIN.
 - K-13 EXISTING WALL MOUNTED SUPPLY AND RETURN GRILLES TO BE REMOVED. REFER TO NEW WORK PLANS FOR ADDITIONAL INFORMATION.
 - K-14 EXISTING WALL MOUNTED FIN TUBE PIPING AND HANGERS TO REMAIN.
 - K-15 EXISTING FIRE DAMPER LOCATED IN EXISTING SUPPLY AIR DUCT AT STAIRWAY PENETRATION TO REMAIN.
 - K-16 EXISTING RETURN GRILLE TO BE REMOVED. VERIFY IN FIELD SIZE OF EXISTING GRILLE FOR SAME SIZE REPLACEMENT OF NEW GRILLE W/ DAMPER.
 - K-17 EXISTING PNEUMATIC THERMOSTAT MOUNTED ON EXISTING INTEGRAL CLASSROOM PANEL. INTEGRAL CLASSROOM PANEL REMOVED BY ELECTRICAL CONTRACTOR. EXISTING THERMOSTAT MOUNTED ON PANEL SHALL BE SALVAGED FOR REUSE ONCE CLASSROOM PANEL HAS BEEN REMOVED. INSTALL IN THE SAME APPROXIMATE LOCATION. HVAC CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR.

DEMOLITION GENERAL NOTE:

1. EXISTING WALL MOUNTED THERMOSTATS SERVING PERIMETER FIN TUBE RADIATION TO REMAIN. WHERE CLASSROOM BOARD ARE BEING REMOVED BY ELECTRICAL CONTRACTOR, THERMOSTAT SHALL BE REMOVED AND RE-INSTALLED ON WALL IN THE SAME APPROXIMATE LOCATION. CONFIRM WITH ARCHITECT CLASSROOM BOARD REMOVAL IMPACTING EXISTING THERMOSTATS.



Turowski2 Architecture
 P.O. Box 1290
 313 Wareham Road
 Marion, MA 02738
 508.758.9777 phone
 508.748.2444 fax
 www.t2architecture.com



GARCIA-GALUSKA-DESOUZA
 CONSULTING ENGINEERS, INC.
 500 Federal Street, Suite 2000, Boston, MA 02111
 617-552-1271
 617-552-1272
 Fax: 617-552-1273

STAMP:

REVISIONS	NO.	DATE

**6TH FLOOR OFFICE RENOVATION
 ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476**

TITLE:
**HVAC 6TH FLOOR
 EXISTING CONDITIONS
 AND DEMOLITION
 PLAN**

JOB NUMBER:
 12-15

DRAWN BY:
 BDM

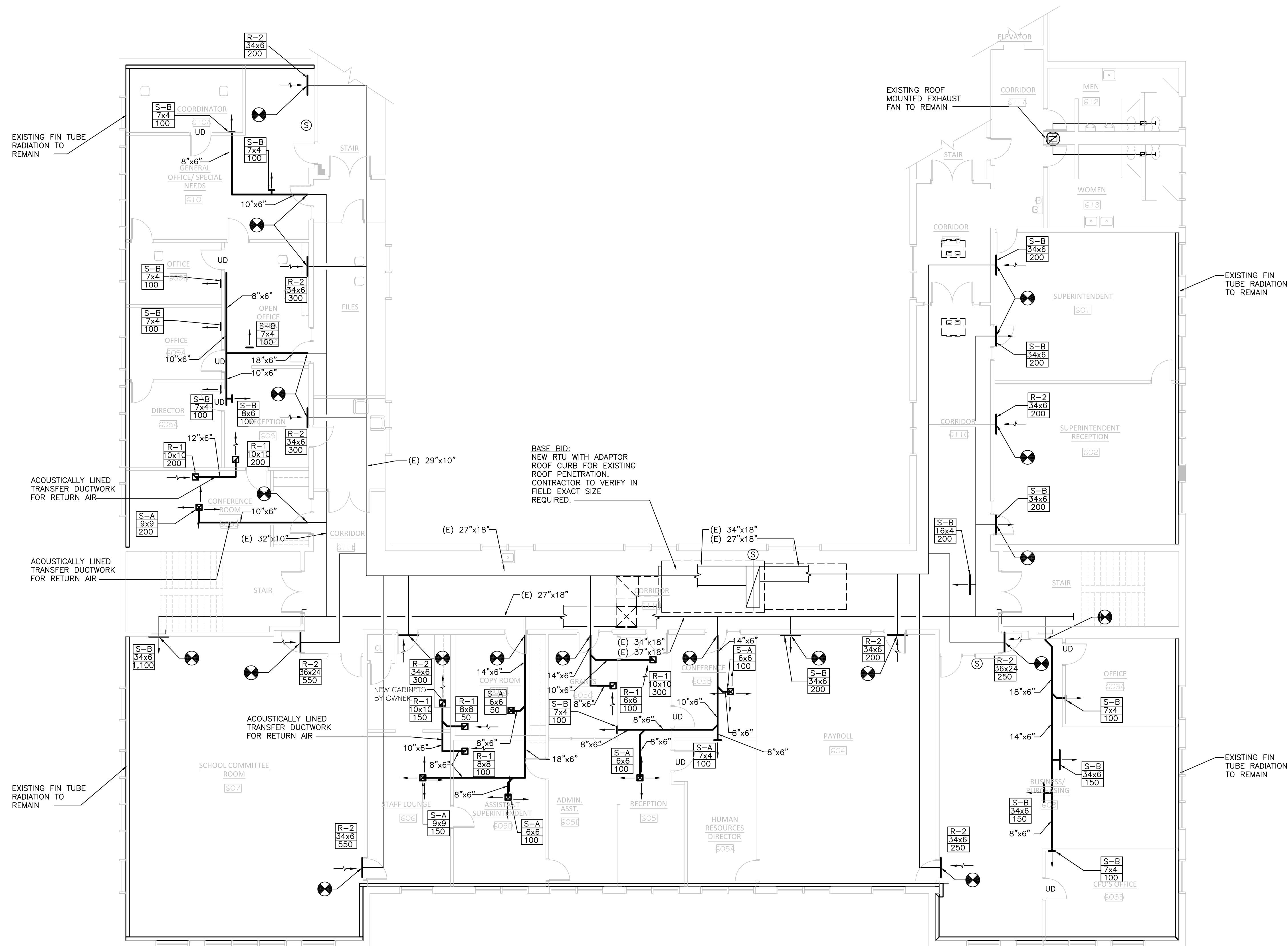
CHECKED BY:
 BDM

DATE:
 March 27, 2013

SCALE:
 AS NOTED

SHEET NO.:

MD-1.1



NEW WORK NOTES:

1. ALL EXPOSED DUCTWORK & RELATED APPURTENANCES SHALL BE PAINTED. FINISH SHALL BE APPROVED BY THE ARCHITECT. CONFIRM PRIMING AND PAINTING REQUIREMENTS WITH ARCHITECTURAL SPECIFICATIONS.
2. CONDENSATE FROM DCUE UNITS SHALL RISE INTO THE ATTIC SPACE TO RUN HORIZONTAL.
3. HORIZONTAL CONDENSATE RUNS SHALL BE PITCHED MINIMUM 1/8"=1'-0". CLEANOUTS SHALL BE PROVIDED AT EVERY CHANGE OF DIRECTION IN CONDENSATE PIPING
4. CP-1 SHALL BE MOUNTED BELOW CEILING IN EACH SPACE TO REMAIN IN AN ACCESSIBLE LOCATION.
5. REFRIGERANT LINES AND CONDENSATE PIPING FOR UNITS MOUNTED ON NEW WALLS SHALL HAVE PIPING CONCEALED TO THE GREATEST EXTENT POSSIBLE. PIPING TO EQUIPMENT MOUNTED ON EXISTING TO REMAIN WALLS SHALL BE CONCEALED BY PIPING ENCLOSURE, FINISH SHALL BE APPROVED BY ARCHITECT.
6. PROVIDE ALL DUCT TRANSITIONS, FITTINGS & OFFSETS REQUIRED FOR EXISTING TO NEW DUCTWORK CONNECTIONS. TYPICAL FOR ALL NEW DUCTWORK CONNECTIONS AS WELL.
7. PROVIDE DUCT CONNECTIONS FROM NEW GRILLE TO NEW OR EXISTING DUCTWORK. DUCTWORK SHALL BE FULL WIDTH AND HEIGHT OF GRILLE, MOUNTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
8. PROVIDE ISOLATION VALVES AT EACH DUCTLESS COOLING INDOOR EVAPORATOR (DCUE) FOR SERVICING.



Turowski2 Architecture
 P.O. Box 1290
 313 Wareham Road
 Marion, MA 02738

508.758.9777 phone
 508.748.2444 fax
 www.t2architecture.com

CONSULTANT:



GARCIA-GALUSKAS-DESOUZA INC.
 CONSULTING ENGINEERS
 200 Francis Center Road, Southwick, MA 01075-1271
 401-585-5100 • FAX 401-585-0851 • Email: info@g-g-d.com

STAMP:

REVISIONS

NO.	DATE

**6TH FLOOR OFFICE RENOVATION
 ARLINGTON HIGH SCHOOL
 869 MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476**

TITLE:
**HVAC 6TH FLOOR
 DUCTWORK
 VENTILATION
 LAYOUT**

JOB NUMBER:
 12-15

DRAWN BY:

CHECKED BY:

DATE:
 March 27, 2013

SCALE:
 AS NOTED

SHEET NO.:

M-1.1