

# WHITTEMORE-ROBBINS CARRIAGE HOUSE REHABILITATION

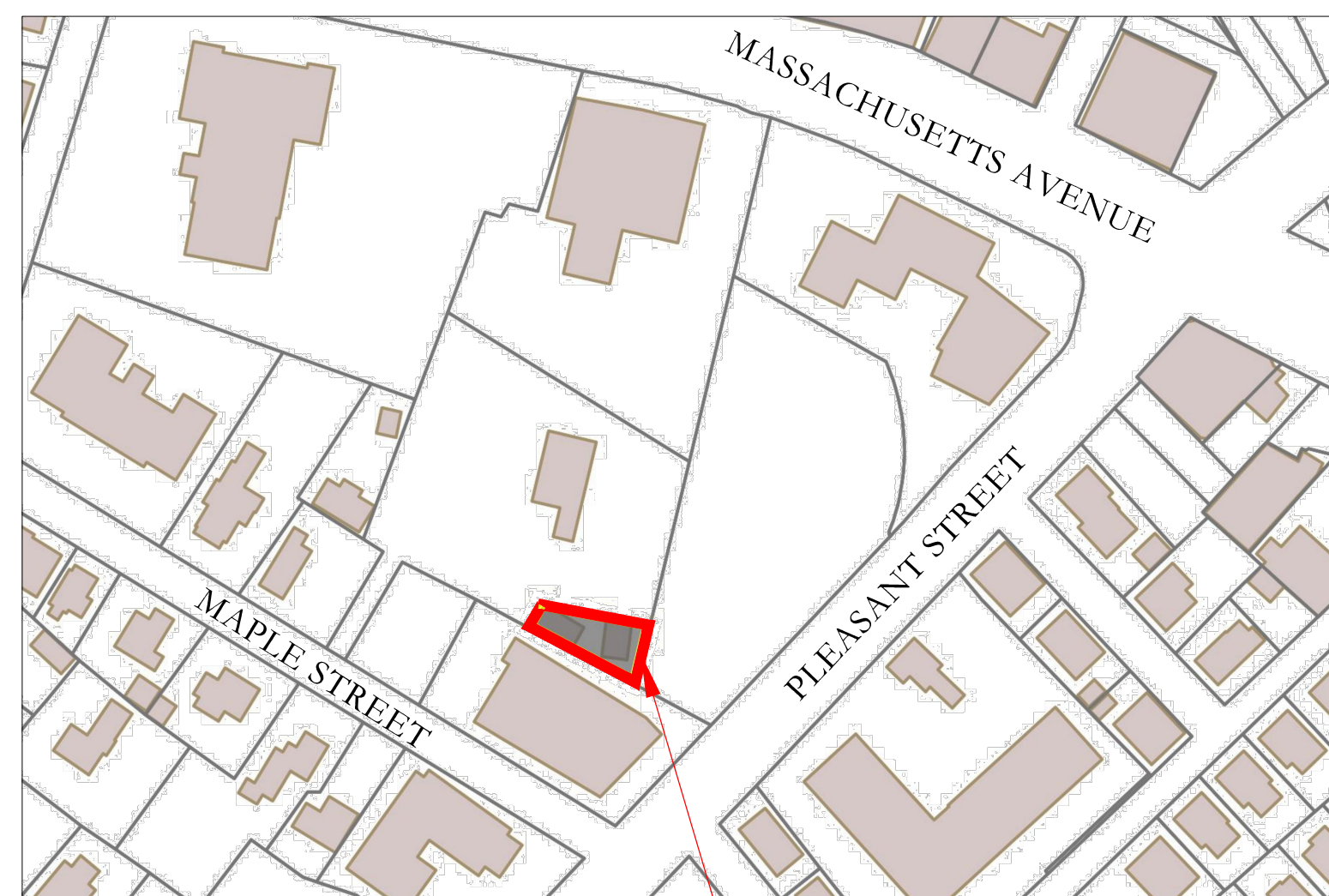
670R Massachusetts Avenue  
Arlington, MA 02476-5003

- FOR -



Town of Arlington  
Department of Health & Human Services  
730 Massachusetts Avenue  
Arlington, MA 02476-4906

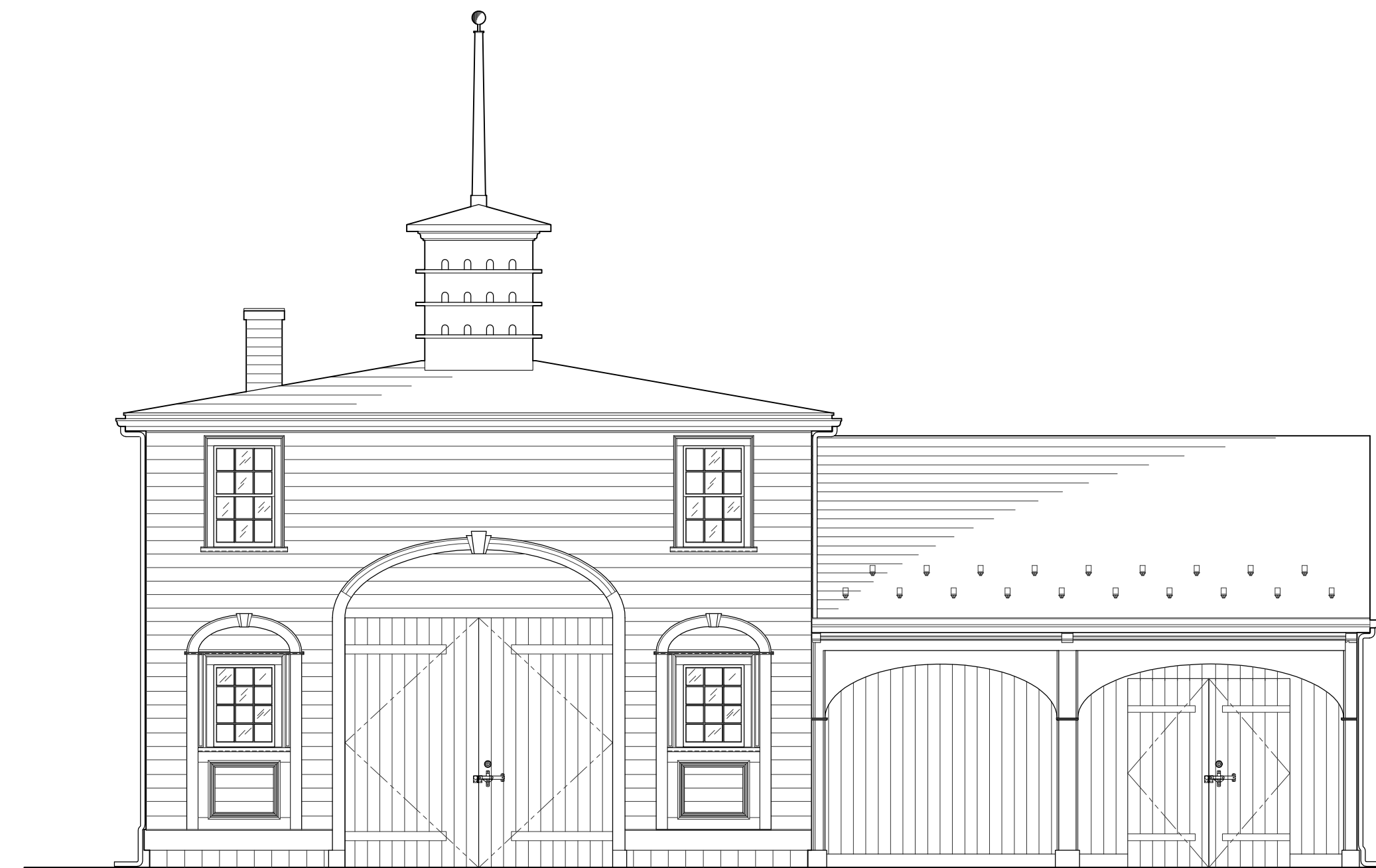
## LOCATION & MAP



PROJECT LOCATION

ADDRESS:  
670R MASSACHUSETTS AVENUE  
ARLINGTON, MA 02474-2733

KEY:



BID SET

JANUARY 17, 2017

## DRAWING LIST

### GENERAL:

G-101 LEGENDS & ABBREVIATIONS

### STRUCTURAL:

S-1.1 FOUNDATION, 1ST, 2ND, & ROOF FRAMING PLANS  
S-1.2 GENERAL NOTES & DETAILS

### ARCHITECTURAL:

AX-101 EXISTING FLOOR & ROOF PLANS  
AX-201 EXISTING EXTERIOR ELEVATIONS  
AD-101 DEMOLITION FLOOR & ROOF PLANS  
AD-201 DEMOLITION EXTERIOR ELEVATIONS  
A-101 FLOOR & ROOF PLANS  
A-201 EXTERIOR ELEVATIONS  
A-301 BUILDING SECTIONS  
A-401 ENLARGED ELEVATION: MAIN HOUSE  
A-402 ENLARGED ELEVATION: SHED ELL  
A-501 ROOF DETAILS  
A-502 ALTERNATE NO. 1: HISTORIC DOVECOTE  
A-601 DOORS



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### STRUCTURAL ENGINEER:

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**GEN. ABBREVIATIONS**

@	AT
A.B.	ANCHOR BOLT
A/C	AIR CONDITIONING
ACOUS	ACOUSTICAL
T	ACT
ACT	ACOUSTIC TILE
ACT	ACTUAL
A.D.	AREA DRAIN
ADDL	ADDITIONAL
ADJ	ADJUSTABLE - ADJUST
A.F.F.	ABOVE FINISHED FLOOR
AGGR	AGGREGATE
A.H.U.	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPRO	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
A.T.	ASPHALT TIME
L	ANGLE
B.C.	BRICK COURSE
B/C	BOTTOM OF CURB
BD	BOARD
BEJ	BRICK (BLOCK) EXPANSION JOINT
BF	BOTTOM OF FOOTING
BTUM	BTUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
B.M.	BENCHMARK MARK
BOT	BOTTOM
B.P.	BOTTOM OF POCKET
BPL	BEARING PLATE / BASE PLATE
BRK	BRICK
B.S.	BOTH SIDES
B.U.R.	BUILT UP ROOFING
B/W	BOTTOM OF WALL
B.W.R.	BOTH WAYS WALL
CAB	CABINET
C.B.	CATCH BASIN
CEM	CEMENT
CFR	CERAMIC
C.F.M.F.	COLD FORMED METAL FRAMING
C.H.	CABINET HEATER
CHKBD	CHALKBOARD
C.I.	CAST IRON
C.J.	CONTROL JOINT
CHG.	CEILING HEIGHT
HT	HEIGHT
CLO	CLOSET
CLR	CLEAR
CLRM	CLASSROOM
C.M.U.	CONCRETE MASONRY UNIT
CNTR	COUNTER
C.O.	CLEAN OUT
COL	COLUMN
COMP	COMPACTED / COMPOSITION
CONC	CONCRETE
CONF	CONFERENCE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
C.L.	CONTRACT LIMIT LINE
CONTR	CONTRACTOR
CONV	CONVECTOR
COORD	COORDINATE
CORR	CORRIDOR
C.P.	CONTROL PANEL
CPT	CARPET
C.R.	CEILING REGISTER
C.T.	CERAMIC TILE
CTR	CENTER
C.U.H.	CABINET UNIT HEATER
C.V.	C.V.
DBL	DOUBLE
DEPT	DEPARTMENT
DET	DETAIL
D.F.	DRINKING FOUNTAIN
DIA	DIAMETER
DIM	DIMENSION
DISP	DISPENSER
DIV	DIVISION
DN	DOWN
D.O.	DOOR OPENING
DR	DOOR
DS	DOWNSPOUT
D.S.S.P.	DRY STAND PIPE
DWG	DRAWING
DWL	DOWEL
E	EAST
EA	EACH
E.B.F.	EXISTING BOTTOM OF FOOTING
E.C.	EXPOSED CONSTRUCTION
E.L.F.S.	EXTERIOR INSULATION & FINISH SYSTEM
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EMER	EMERGENCY
ENCL	ENCLOSURE
ENGR	ENGINEER
E.P.	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
E.W.C.	ELECTRIC WATER COOLER
EXT	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXPD	EXPANDED
EXPO	EXPOSED
EXT	EXTERIOR
F.A.	FIRE ALARM
F.A.P.	FIRE ALARM PANEL
F.B.	FOOTING BREAK
F.BRK	FACT BRICK
F.D.	FLOOR DRAIN
FDN	FOUNDATION
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET (w/ EXTINGUISHER PROVIDED)
F.F.	FACTORY FINISH
F.H.C.	FIRE HOSE CABINET
F.H.P.	FULL HEIGHT PARTITION
FIN	FINISH
FIN FL.	FINISHED FLOOR
FIXT	FIXTURE
FL	FLOOR
FLASH	FLASHING
FLEX	FLEXIBLE
FLOUR	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.G.	FACE OF GYPSUM BOARD
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.P.G.	FIREPROOFING
F.R.	FIRE RATED
F.S.	FULL SIZE
FT	FOOT OR FEET
F.T.R.	FINNED TUBE RADIATION
FUR	FURRING
FUT	FUTURE
F.W.C.	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
G.B.	GRAB BAR
G.C.	GENERAL CONTRACTOR
GL	GLASS
GLZ	GLAZE
GND	GROUND
GRD	GRADE
GWB	GYPSUM WALL BOARD
GYP	GYPSUM BOARD / GYPSUM BOARD UNIT
BD	GYPSUM BOARD / GYPSUM BOARD UNIT
H.B.	HOSE BIBB
HC	HANDICAPPED
H.C.	HOLLOW CORE
HD	HEAD
H.P.	HIGH POINT
HW	HARDWOOD
HDW	HARDWARE
H.M.	HOLLOW METAL
HOR	HORIZONTAL
HTG	HEATING
HT	HEIGHT
HV	HEATING AND VENTILATION
H.U.	HEATING UNIT
I.D.	INSIDE DIAMETER
I.F.	INSIDE FACE
INCAN	INCANDESCENT
D	INSIDE DIAMETER
INCL	INCLUDE
INSUL	INSULATION
INT	INTERIOR
INV	INVERT
I.P.S.	IRON PIPE SIZE
JAN	JANITOR
JST	JOIST
JT	JOINT
KIP	[1000 POUNDS]
KIT	KITCHEN
LAM	LAMINATED
LAV	LAVATORY
LCKR	LOCKER
L.F.	LINEAR FOOT
L.L.	LIVE LOAD
L.P.	LOW POINT
LT	LIGHT
MAS	MASONRY
MTL	MATERIAL
MAX	MAXIMUM
M.C.	MASONRY COURSE
MECH	MECHANICAL
MEMB	MEMBRANE
MET	METAL
MET	METAL TOILER PARTITION
T.P.	METAL TOILER PARTITION
MEZZ	MEZZANINE
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD	MOUNTED
M.U.	MASONRY UNIT
MULL	MULLION
N	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM	NOMINAL
N.R.C.	NOISE REDUCTION COEFFICIENT
N.T.S.	NOT TO SCALE
O/A	OUTSIDE AIR
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
O.F.	OUTSIDE FACE
OFF	OFFICE
OH	OVERHEAD
OPNG	OPENING
OPP	OPPOSITE
O.H.	OPPOSITE HAND
O.W.S.J.	OPEN WEB STEEL JOIST
OZ	OUNCE
PART	PARTITION
PL	PATE
PLAM	PLASTIC LAMINATE
PS	PLASTER
PLYWD	PLYWOOD
PR	PAIR
PREFAB	PREFABRICATED
PROJ	PROJECTION
PROP	PROPERTY
PTD	PAINTED
P.T.D.	PAPER TOWEL DISPENSER
QT.	QUARRY TILE
R	RISER (RADIUS)
R/A	RETURN AIR
RAD	RADIATION
R.B.	RESILIENT BASE
R.D.	ROOF DRAIN
RECPT	RECEPTACLE
REF	REFERENCE
REFL	REFLECTED, REFLECTIVE
REFR	REFRIGERATOR
REG	REGISTER
REINF	REINFORCING
REQD	REQUIRED
RES	RESILIENT
RET	RETAINING
REV	REVISION
RM	ROOM
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
R.T.	RUBBER TILE
RV	ROOF VENT
RWD	REDWOOD
R.W.L.	RAIN WATER LEADER
S	SOUTH
S.P.F.G.	SPRAYED-ON FIREPROOFING
S.C.	SOLID CORE
S.C.D.	SEAT COVER DISPENSER
SCHED	SCHEDULE
S.D.	SOAP DISPENSER
SEC	SECTION
S.F.	SQUARE FOOT
S.G.F.T.	STRUCTURAL GLAZED FACING TILE
SH	SHELF
SHT	SHEET
SIM	SIMILAR
S.N.D.	SANITARY NAPKIN DISPENSER
S.N.R.	SANITARY NAPKIN RECEPTACLE
SPIC	SPLICATIONS
SPKLR	SPRINKLER
SP/PT/ FIN	SPECIAL PAINT FINISH
S.P.R.	SINGLE PLY ROOF
SQ	SQUARE
S.S.	SOLID SURFACE
S.SK.	SERVICE SINK
S.STL.	STAINLESS STEEL
STA	STATION
STD	STANDARD
ST.FT	STEP FOOTING
STIFF	STIFFENERS
STL	STEEL
STOR	STORAGE
S.TR.	SOUND TRANSMISSION
STRUC	STRUCTURAL
T	TREAD
T&B	TOP AND BOTTOM
TB	TACKBOARD
T.B.	TOWEL BAR
T.C.	TOP OF CURB
TEL	TELEPHONE
TEMP	TEMPERED
TERR	TERRAZZO
T.F.	TOP OF FOUNDATION
T&G.	TONGUE AND GROOVE
THK	THICK
THRES	THRESHOLD
T/P	TOP OF PAVEMENT
T.P.D.	TOILER PAPER DISPENSER
T/PR	TOP OF PIER
T/S	TOP OF SLAB
T/SH	TOP OF SHELF
T/STL	TOP OF STEEL
TV	TELEVISION
T/W	TOP OF WALL
TYP	TYPICAL
U.H.	UNIT HEATER
U.L.	UNDERWRITER'S LABORATORY
UNFIN	UNFINISHED
U.N.O.	UNLESS NOTED OTHERWISE
UR	URNAL
U.V.	UNIT VENTILATOR
V.C.	VINYL BASE
V.C.T.	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
V.F.	VINYL GRAIN
V.G.	VERIFY
V.I.F.	IN FIELD
VOL	VOLUME
V.W.C.	VINYL WALLCOVERING
W.	WEST
W/	WITH
W.C.	WATER CLOSET
WD	WOOD
WND	WINDOW
W/O	WITHOUT
WP	WATERPROOF
W.P.T.	WORKING PAINT
WSCT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

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W.C.	WATER CLOSET
WD	WOOD
WND	WINDOW
W/O	WITHOUT
WP	WATERPROOF
W.P.T.	WORKING PAINT
WSCT	WAINSCOT
WT	WEIGHT
WWF	WELDED WIRE FABRIC

**GENERAL SYMBOLS:**

**DRAWING INDICATOR**

**TITLE SCALE**

**ROOM TAG**

**INTERIOR ELEVATION TAG**

**EXTERIOR ELEVATION TAG**

**BUILDING SECTION TAG**

**WALL SECTION TAG**

**DETAIL SECTION TAG**

**DETAIL TAG**

**PARTITION TAG**

**KEYNOTE TAG**

**DOOR TAG**

**WINDOW TAG**

**BORROWED LIGHT TAG**

**STOREFRONT TAG**

**CASEWORK ELEVATION TAG**

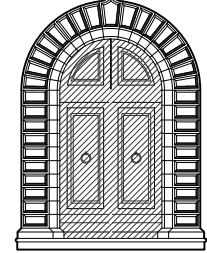
**CEILING HEIGHT TAG**

**REVISION TAG**

**ELEVATION DATUM**

**COLUMN INDICATOR**

ARCHITECTS:



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BUCKINGHAM  
ARCHITECTS**

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*Architect*


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CONSULTANT:

**MacLeod Consulting, Inc.**

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Belmont, MA 02478  
Telephone: (617) 484-4733  
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OWNER:



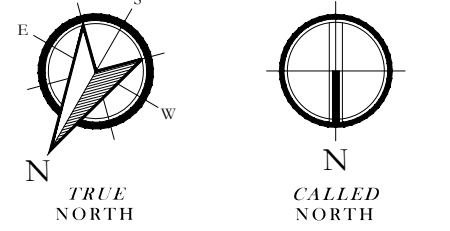
Town of Arlington  
730 Massachusetts Avenue  
Arlington, MA 02476-4906

PROJECT:

**WHITEMORE-ROBBINS  
CARRIAGE HOUSE  
REHABILITATION**

670R Massachusetts Avenue  
Arlington, MA 02476-5003

KEY:



REVISIONS:

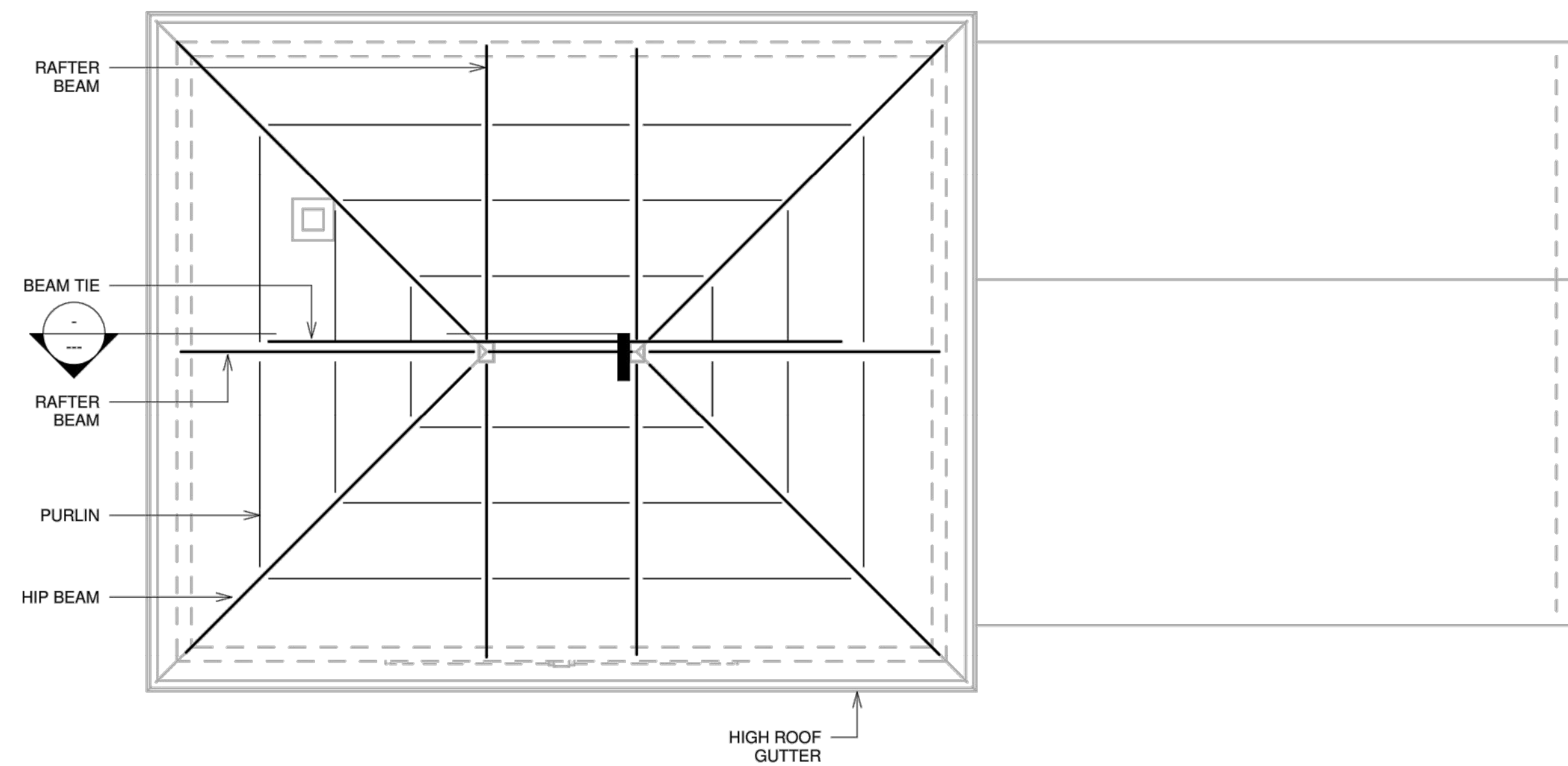
DATE	DESCRIPTION

SEALS:

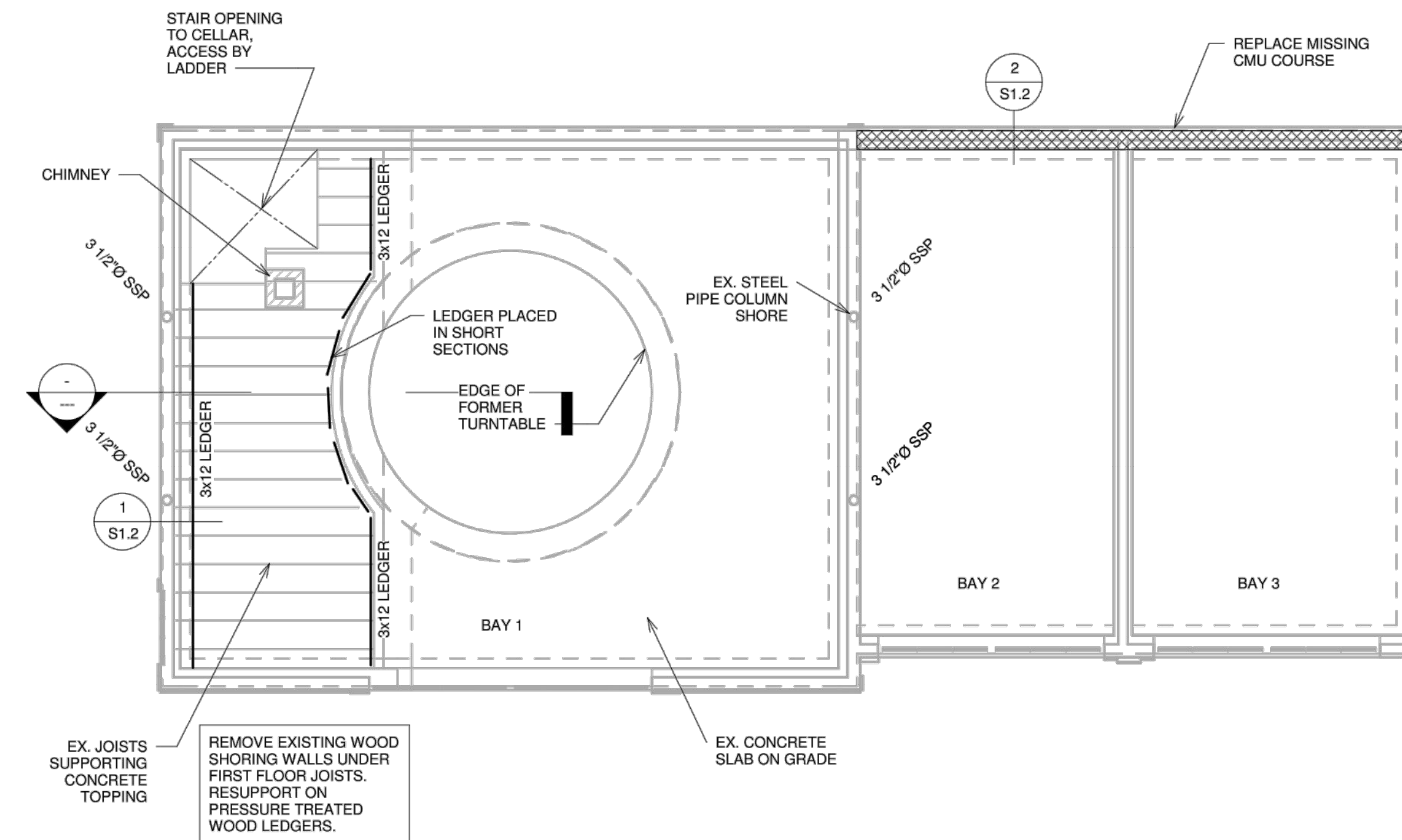
ISSUE DATE: Jan. 17, 2017  
DRAWN BY: **AG-101**

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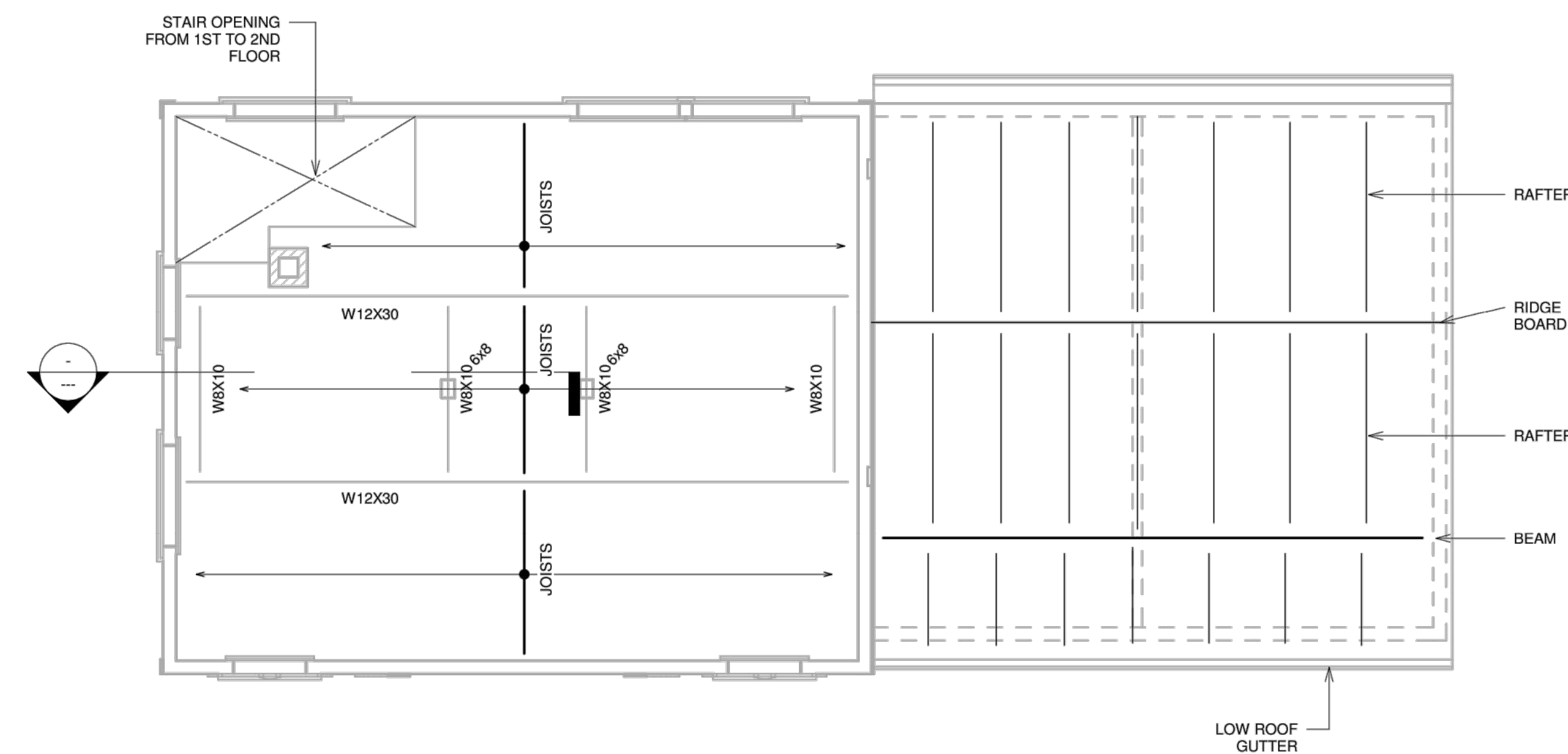
**SYMBOLS &  
ABBREVIATIONS**



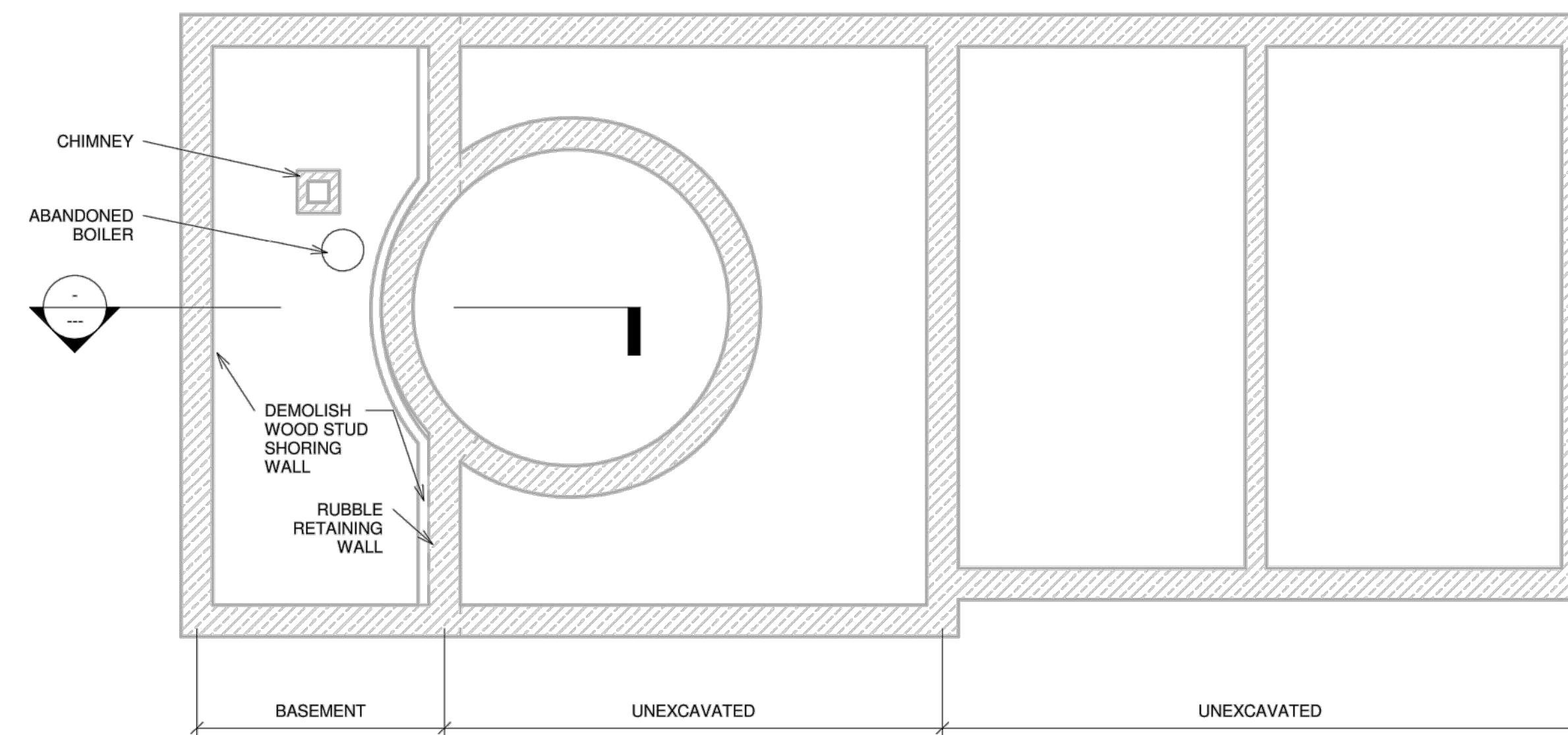
① Roof  
1/4" = 1'-0"



③ 1st Floor  
1/4" = 1'-0"



② 2nd Floor  
1/4" = 1'-0"

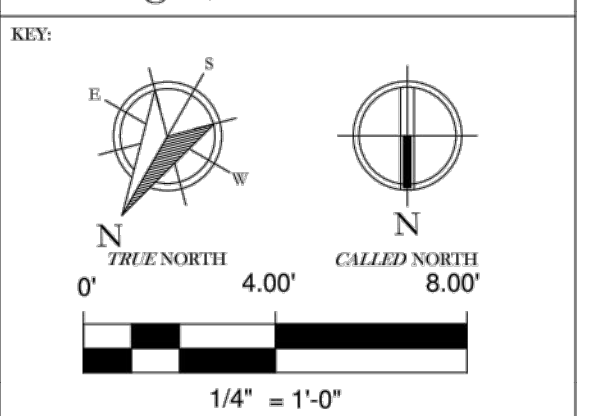


④ Basement  
1/4" = 1'-0"



Town of Arlington  
 730 Massachusetts Avenue  
 Arlington, MA 02476-4906

PROJECT:  
**WHITEMORE-ROBBINS  
 CARRIAGE HOUSE  
 REHABILITATION**  
 670R Massachusetts Avenue  
 Arlington, MA 02476-5003



REVISIONS:	DATE	DESCRIPTION

SEALS:

ISSUE DATE: 01/08/2017  
 DRAWN BY: AHM  
 SHEET: S1.1

TITLE:  
**Foundation, First,  
 Second, and Roof  
 Framing Plans**

**01100 - GENERAL REQUIREMENTS**

- Drawing notes and specifications apply generally to all the work unless more specific information is shown elsewhere on the drawings or written in the specifications. In the event of conflicting instructions, the Architect shall determine what controls.
- Conform to The Massachusetts State Building Code, Eighth Edition and any amendments adopted by the local governing authority.
- Refer to the project manual for general contract requirements and specifications.
- Coordinate work with that shown on the architectural and approved shop drawings.
- Grades and plan dimensions for existing work are approximate and for planning reference only. Contractor shall take field measurements of existing conditions, review discrepancies with the architect, and build to approved work points.
- Coordinate dimensions shown on the contract drawings with fabrication drawings and field conditions and report any inconsistencies to the Architect before proceeding with work.
- Review, approve, and stamp shop drawing and product literature submittals to the Architect for review and approval.
- The structural design is based on the interaction of all the parts of the completed building. The Contractor shall solely bear the risk for providing adequate stability and safety of the structure during construction.
- Details shown on drawings are to be considered typical for all similar conditions.
- Submit for approval shop drawings, manufacturer's product literature, test reports, and certifications electronically in Adobe Acrobat format.

**01200 - ALTERNATES**

The following alternates if accepted are part of the work:  
 A1. Alt 1 Restoration of mast and birdhouse.

**01300 - DESIGN LOADS**

- Occupancy Category (IBC2009-1604.5) II
- In addition to self-weight and fixed service equipment, the structure is designed to carry the following.

**Floor Live Loads**  
 Utility and light Storage 40 psf

**Chapter 34 Requirements**  
 Meets Repair Work  
 Area Method of compliance.

**02250 - DEMOLITION, SHORING AND UNDERPINNING WORK**

- Before proceeding with demolition, survey and evaluate the area to ensure that the structure is not damaged beyond the demolition work. Remove demolition debris promptly from the building.
- Shore and brace floors, roofs, piers, and walls during demolition and maintain until the new structural work is completed and tied to the existing building. Do not overload existing floors with construction debris. The Contractor is responsible for the design of shoring and bracing. Where shoring and bracing situations are deemed more complicated than ordinary by the Contractor, Architect, or Engineer, the Contractor shall employ a licensed engineer registered in Massachusetts to prepare competent bracing designs.

**01542 - CONSTRUCTION SCAFFOLDING & PLATFORMS**

- Standards. Design scaffolding and all its components including support steel in accordance with ASCE Standard ASCE 37-02. Materials shall meet governing trade specifications. Comply with OSHA standards. This is a system intended for temporary use.
- Loads. In addition to material dead loads and equipment weight, the scaffolding shall carry the following service loads:
  - Work Platforms (live): 25 psf
  - Cover Levels (snow): 30 psf
  - Wind: F=az G Cf At
  - P=az G Cf: 25 psf
  - Safety Factor: 4
 For all materials, adjust allowable stresses or ultimate strengths to the above safety factor.
- Construction Needs. The design shows a scaffold arrangement presumed to meet the needs of contractor operations. The contractor shall review this arrangement and submit any proposed changes to the Engineer of Record (EOR) for approval.
- Site Protection. The contractor shall provide for public safety and building protection during erection, construction operations use, and removal of the scaffolding system. Provide nets to capture any falling tools or materials.
- Stairs. Provide stairs to access the full height of the scaffolding. Provide ladders within the scaffolding as needed to connect two adjacent levels.
- Storm Protection. Make the scaffolding completely secure when erected. When weather forecasts predict an approaching storm, the contractors shall survey the scaffolding and resecure components.
- Removal. Upon completion of the work and acceptance of the Owner, remove the scaffolding system in its entirety.

**02421 - CUTTING AND PATCHING FINISHES**

- Where access through finishes to access structural work, neatly remove existing finishes to the extent necessary to access the work shown.
- Upon acceptance of structural work, neatly patch finishes. Refer to architectural drawings and specifications for finish requirements.

**04220 - CONCRETE BLOCK MASONRY**

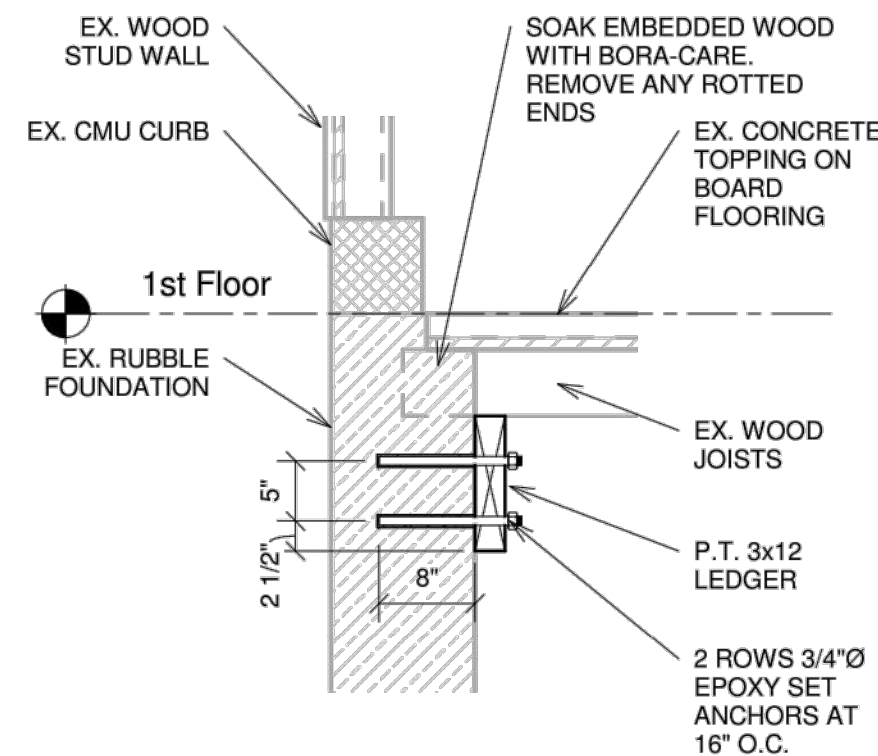
- Conform to ACI 530-02, Building Code Requirements for Masonry Structures and ACI 530.1, Specifications for Masonry Structures.
- Construct walls with 8" or thicker concrete masonry units having a minimum compressive strength of 2000 psi that meets with ASTM C90.
- Use Type S high strength mortar that meets ASTM C270.
- Provide coarse grout having a 28-day compressive strength of 3000 psi that meets with ASTM C476.
- Conform to ACI grouting procedures for time, confinement, grout pour height, grout lift heights, and consolidation.

**06100 - ROUGH CARPENTRY**

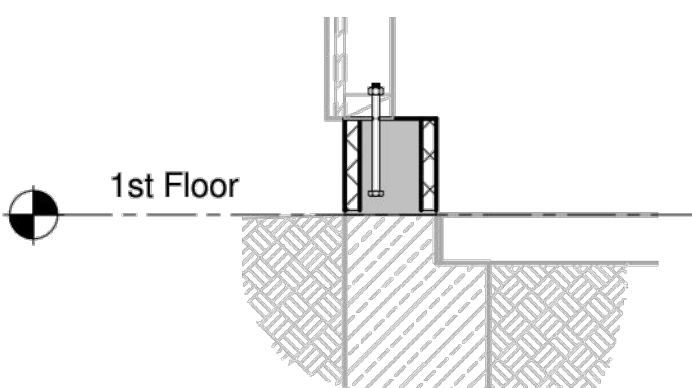
- Comply with the latest edition of the AFPA *National Design Specification for Wood Construction*, 1997 and the American Institute of Timber Construction *Timber Construction Manual*, fourth edition.
- Sound lumber removed in the demolition from other parts of the building may be reused providing surface defects, holes or notches do not affect its strength or serviceability.
- Provide new lumber and plywood with grade which indicates species, mill number, moisture content when surfaced, and grade or stress rating stamps from the associations having jurisdiction.
- Provide 5/8" APA Structural 1 rated plywood sheathing, C-C grade with exterior glue (Exposure 1), Group 1 Species, C grade with Exposure 1 glue on inner plies on exterior walls, roofs, designated interior walls, and bracing diaphragms.
- Refer to the IBC Table 2304.9.1 Fastening Schedule for nailing not shown on the drawings.
- Where indicated, provide manufactured steel connectors such as those made by Simpson Strong-Tie. Refer to manufacturer's published literature for recommended fasteners. Provide all fasteners to achieve maximum rated loadings. All connectors shall be either galvanized finish (G90 standard) or stainless steel (Types 304 and 316) unless noted otherwise.
- Wall construction:
  - Wall studs and columns shall span continuously from floor to floor, floor to roof, and in general from horizontal diaphragm support to diaphragm support. Studs and columns shall be free of notches, holes, and other cuts unless shown on the drawings. Wall studs and posts that overhang a point of support shall be continuous at that support.
  - Grade: Provide Hem-Fir No. 2 grade kiln-dried studs with maximum moisture content of 15% at time of dressing.
  - Frame interior walls with 2" x 4" at 16" and exterior walls with 2" x 6" at 16" for heights under 10'-0".
  - Provide solid wall bridging spaced at 4'-0" o.c. vertically.
  - Vertically align studs and openings in bearing walls unless special framing is provided.
  - Provide double studs and an additional jack stud to support lintels on each side of openings between 16" to 48" wide. Provide 3-2" x 8" headers for spans up to 4'-0" and 3-2"x10" up to 6'-0".
  - Form corners with a minimum of three studs spiked together.
  - Fabricate built-up posts as follows: 2-2x4's fastened with one row of staggered 10d nails @ 8"; 3-2x4 fastened with one row of staggered 30d nails @ 8"; and 3-2x6 fastened with two rows of 30d nails.
- Floor and roof construction:
  - Grade: Provide Hem-Fir No. 2 or better lumber for joists and rafters surfaced dry with maximum moisture content of 19% at time of dressing.
  - Notches in joists shall not exceed 1/8 the joist depth and shall not in the middle third of the span. Bored holes shall not be within 2" of joist edges and not exceed 1/3 the depth of the joist.
- Reframing:
  - Renail subflooring before installing new plywood underlayment.
  - At decayed joist ends, enlarge brick pockets, install new joist along existing, and remove decayed portions.
  - Report any rotted, notched, split, or otherwise defective timber framing or decking to the Engineer, who may then require them to be repaired, replaced, or reinforced.

**06170 - ENGINEERED STRUCTURAL WOOD**

- Provide Laminated Veneer Lumber (LVL) and Parallel Strand Lumber (PSL) made under processes approved by the National Research Board. Comply with the American Institute of Timber Construction *Timber Construction Manual*, fourth edition, for the design, fabrication, and construction of engineered structural wood.
- Provide LVL lumber having the following grade and design values: Grade = 1.9E; Flexural stress (Fb) = 2,600 psi; Modulus of Elasticity (E) = 1,900,000 psi; Shear Modulus of Elasticity (G) = 118,750 psi; and Horizontal shear stress (Fv) = 285 psi.
- Nail each layer of multiple LVL members together with 3-16d nails per foot.
- Provide joist hangers and connections for all members designed for engineered wood sizes.

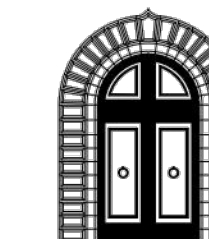


① Ledger at Foundation Wall  
 3/4" = 1'-0"



② Brick Sill Course  
 3/4" = 1'-0"

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OWNER:



Town of Arlington  
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 Arlington, MA 02476-4906

PROJECT:

**WHITEMORE-ROBBINS  
 CARRIAGE HOUSE  
 REHABILITATION**  
 670R Massachusetts Avenue  
 Arlington, MA 02476-5003

KEY:



REVISIONS:

DATE	DESCRIPTION

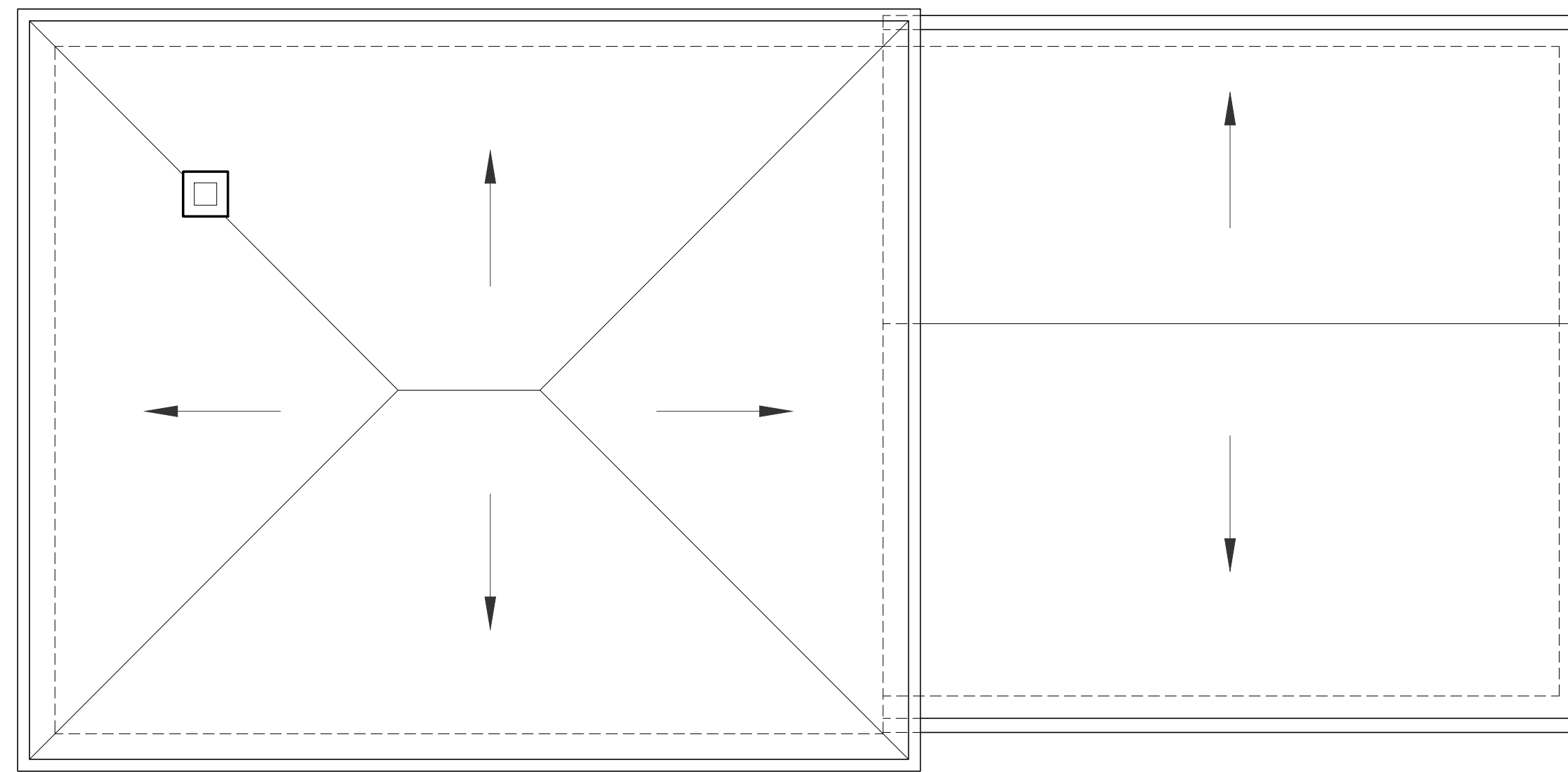
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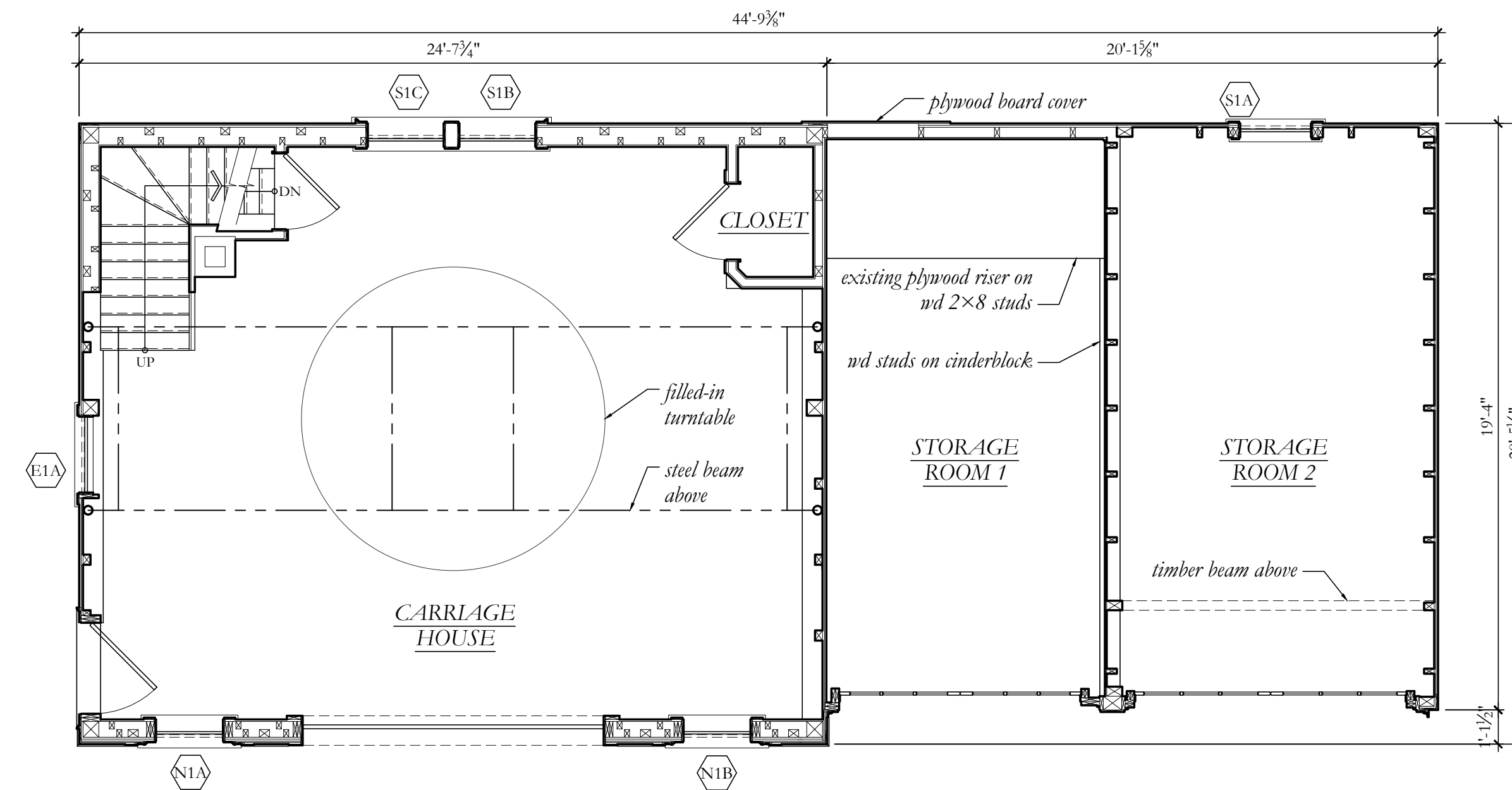
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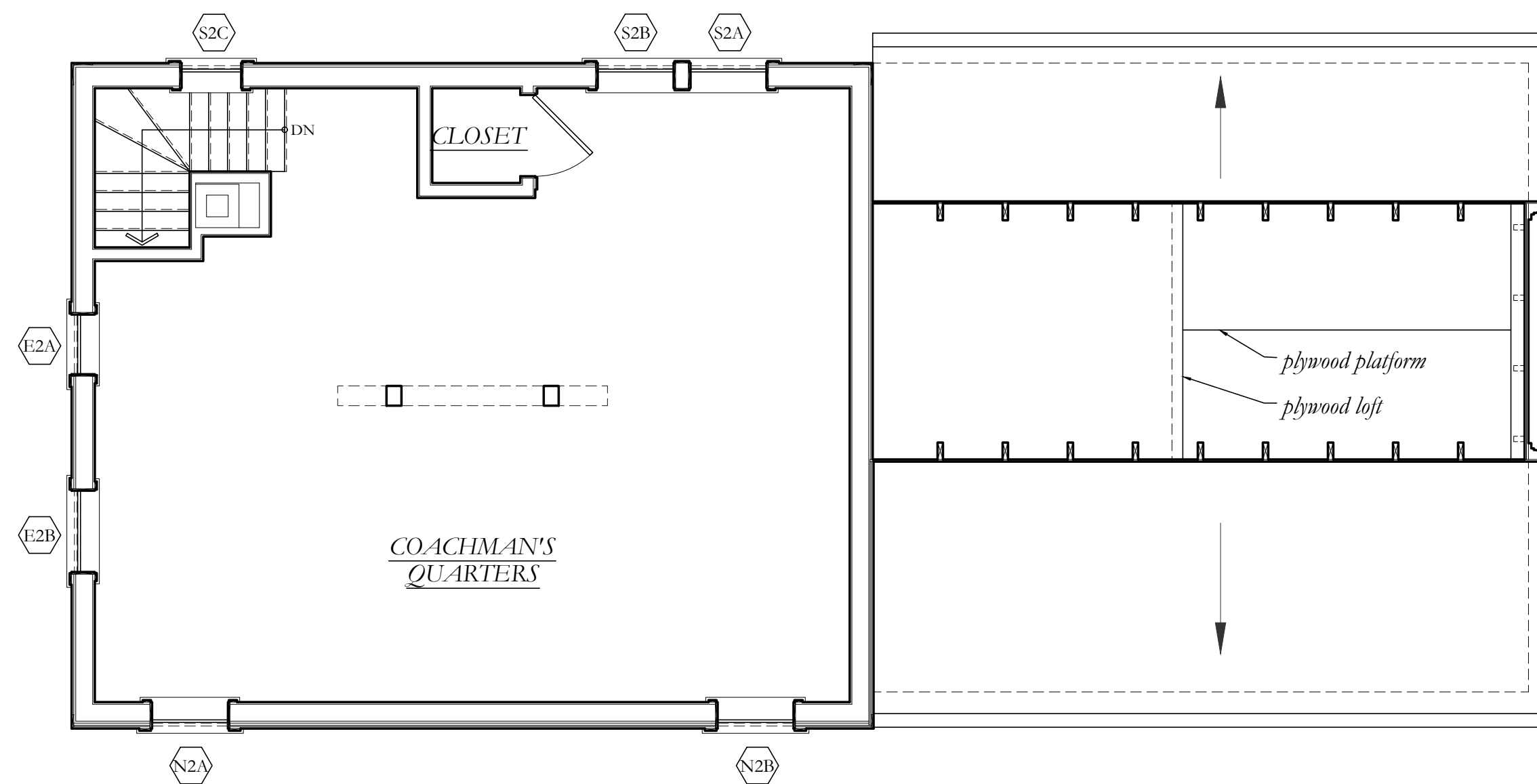
**General Notes and  
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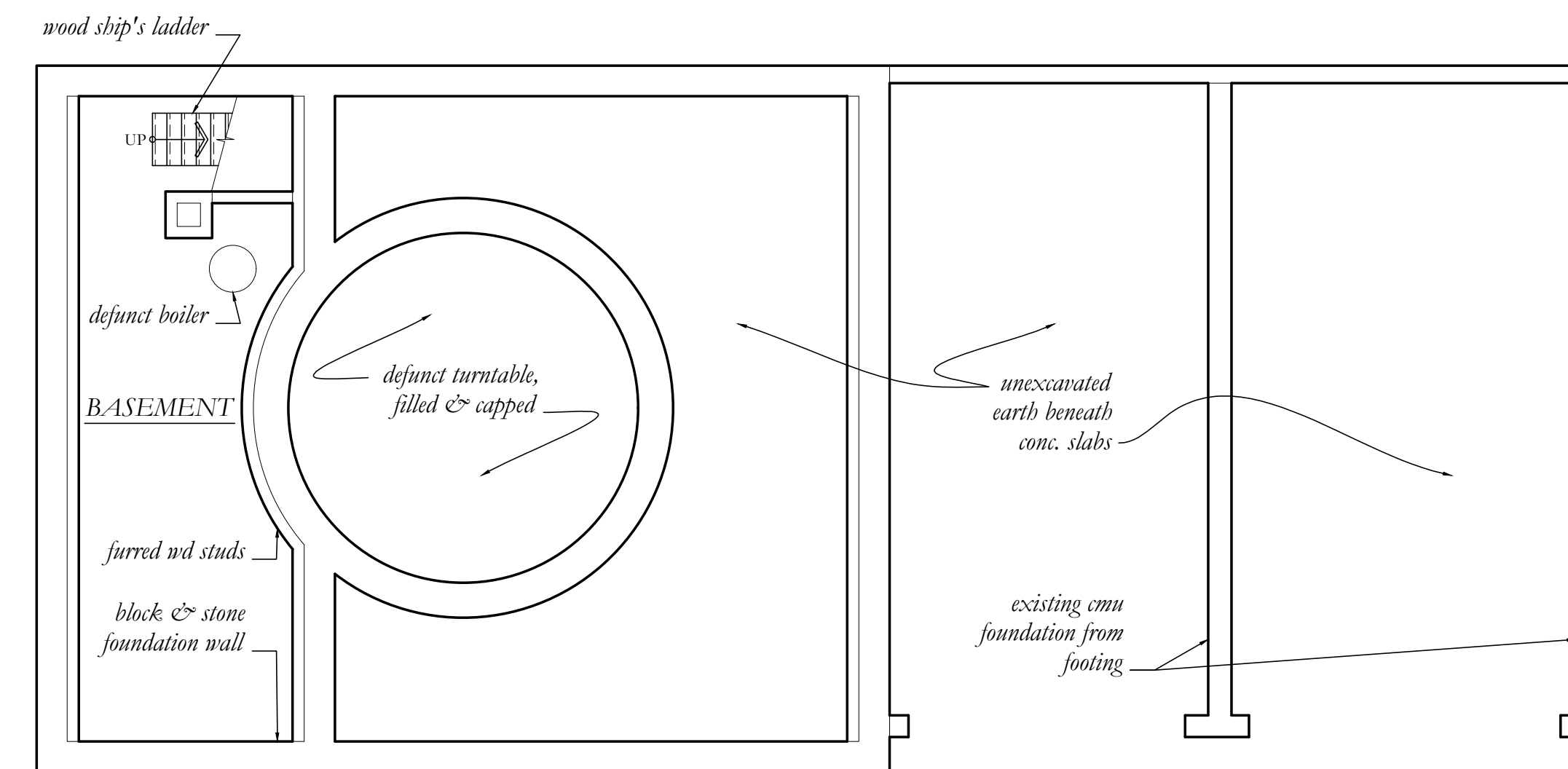
1 EXISTING PLAN: ROOF  
1/4" = 1'-0"



2 EXISTING PLAN: FIRST FLOOR  
1/4" = 1'-0"



3 EXISTING PLAN: SECOND FLOOR  
1/4" = 1'-0"




4 EXISTING PLAN: BASEMENT & UNEXCAVATED FOUNDATION  
1/4" = 1'-0"

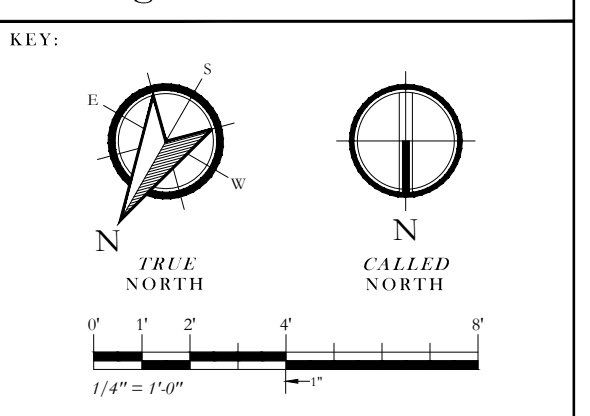
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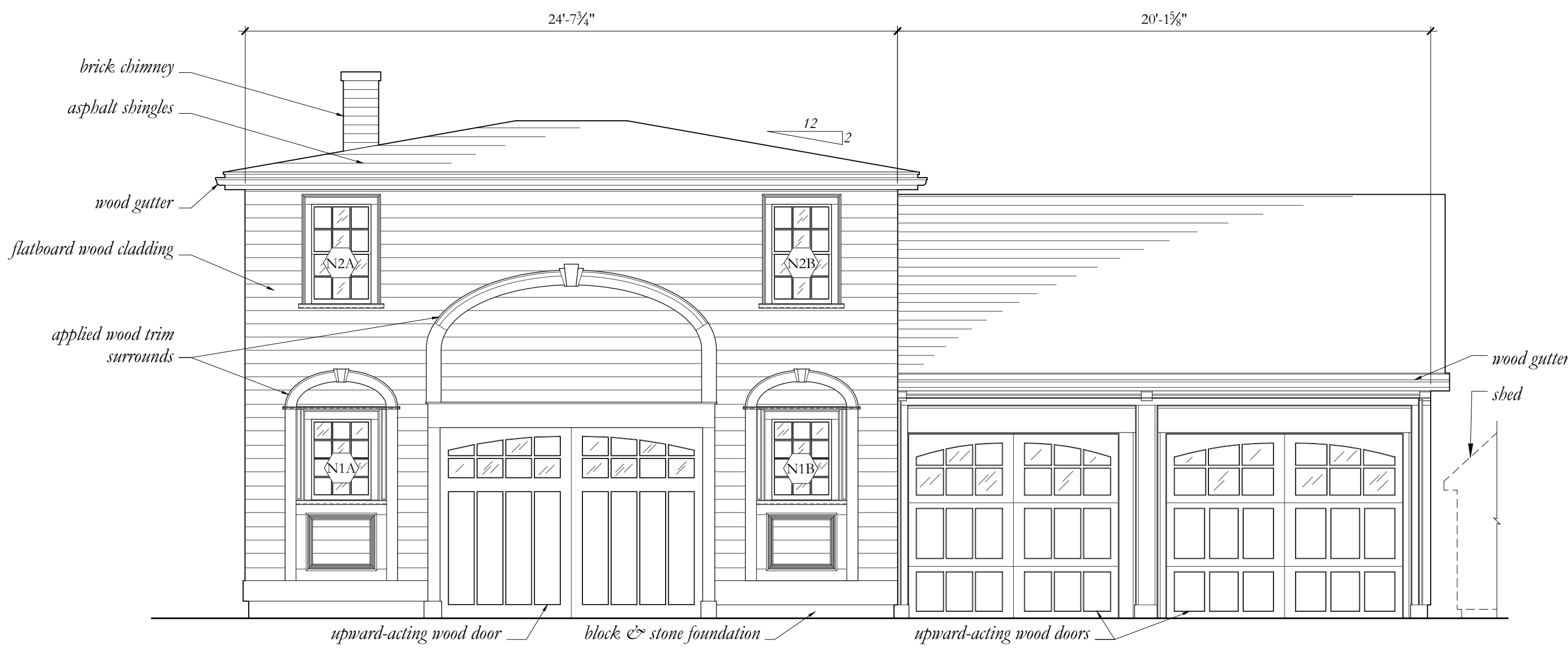
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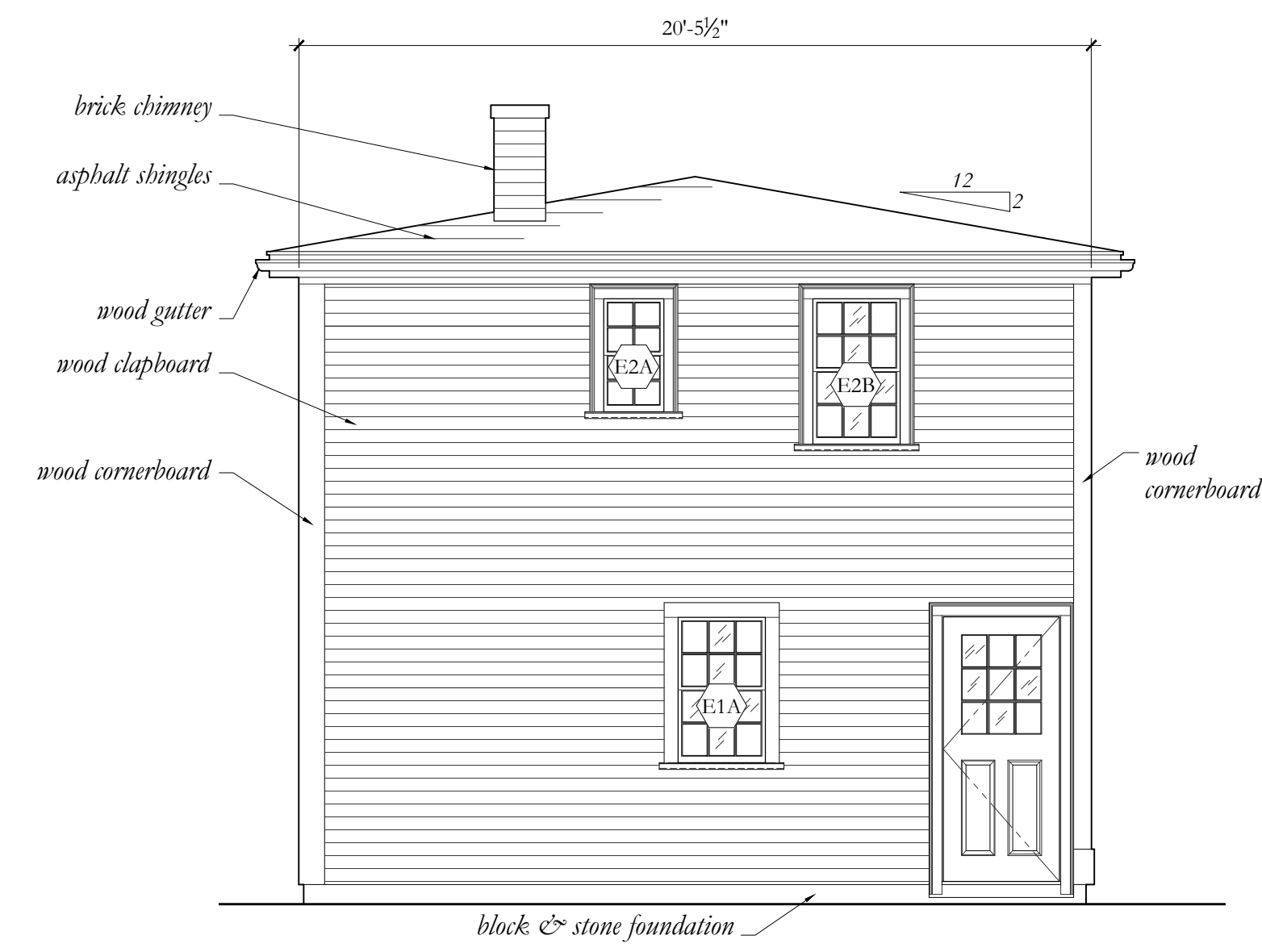
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ISSUE DATE: Jan. 17, 2017  
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EXISTING FLOOR & ROOF PLANS



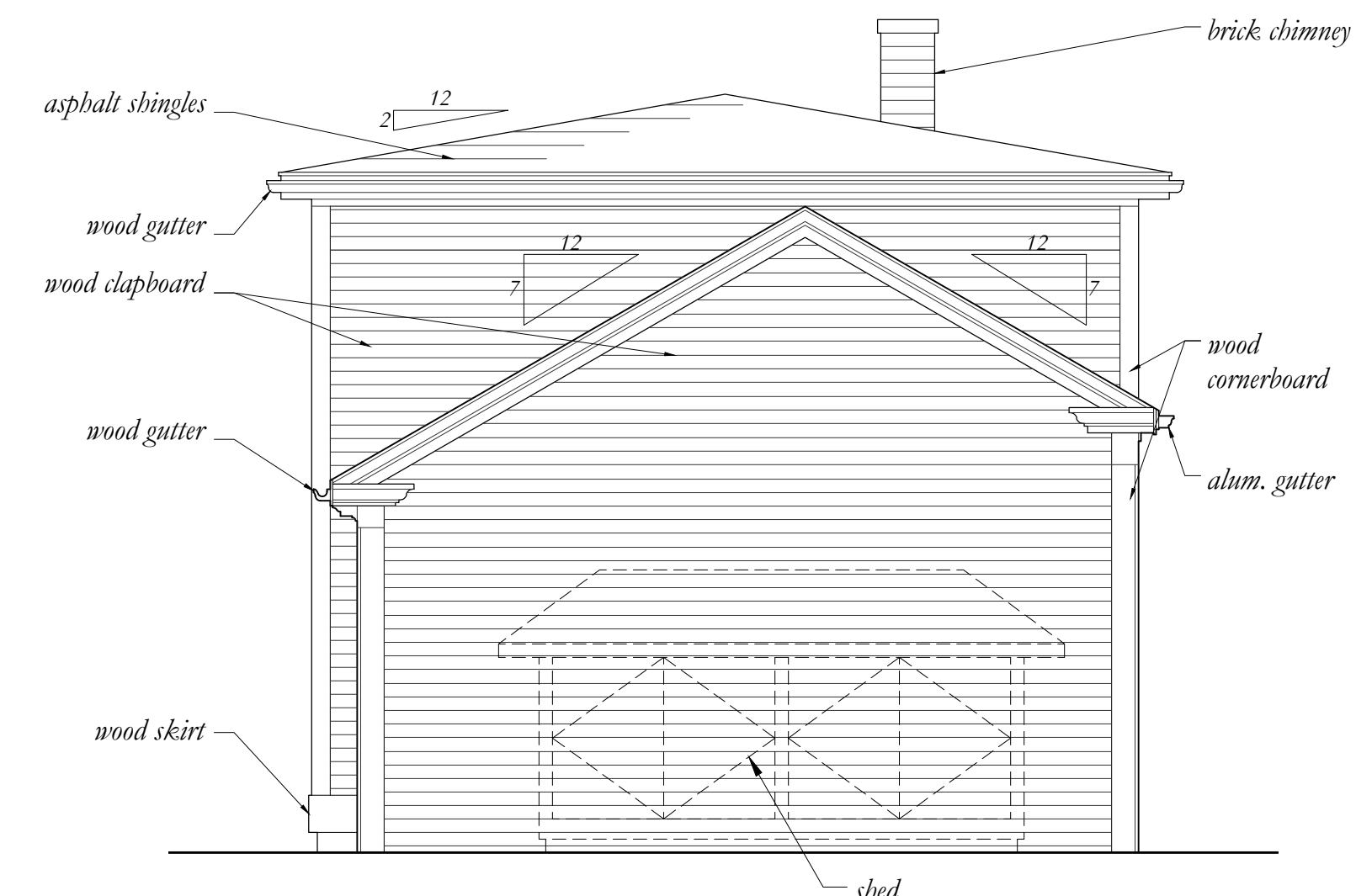
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1/4" = 1'-0"



2 EXISTING ELEVATION: EAST  
1/4" = 1'-0"



3 EXISTING ELEVATION: SOUTH  
1/4" = 1'-0"




4 EXISTING ELEVATION: WEST  
1/4" = 1'-0"

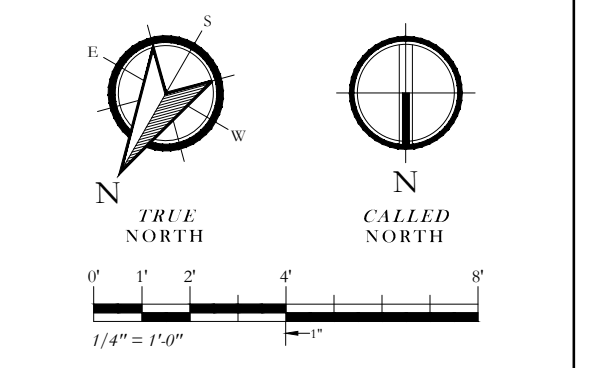
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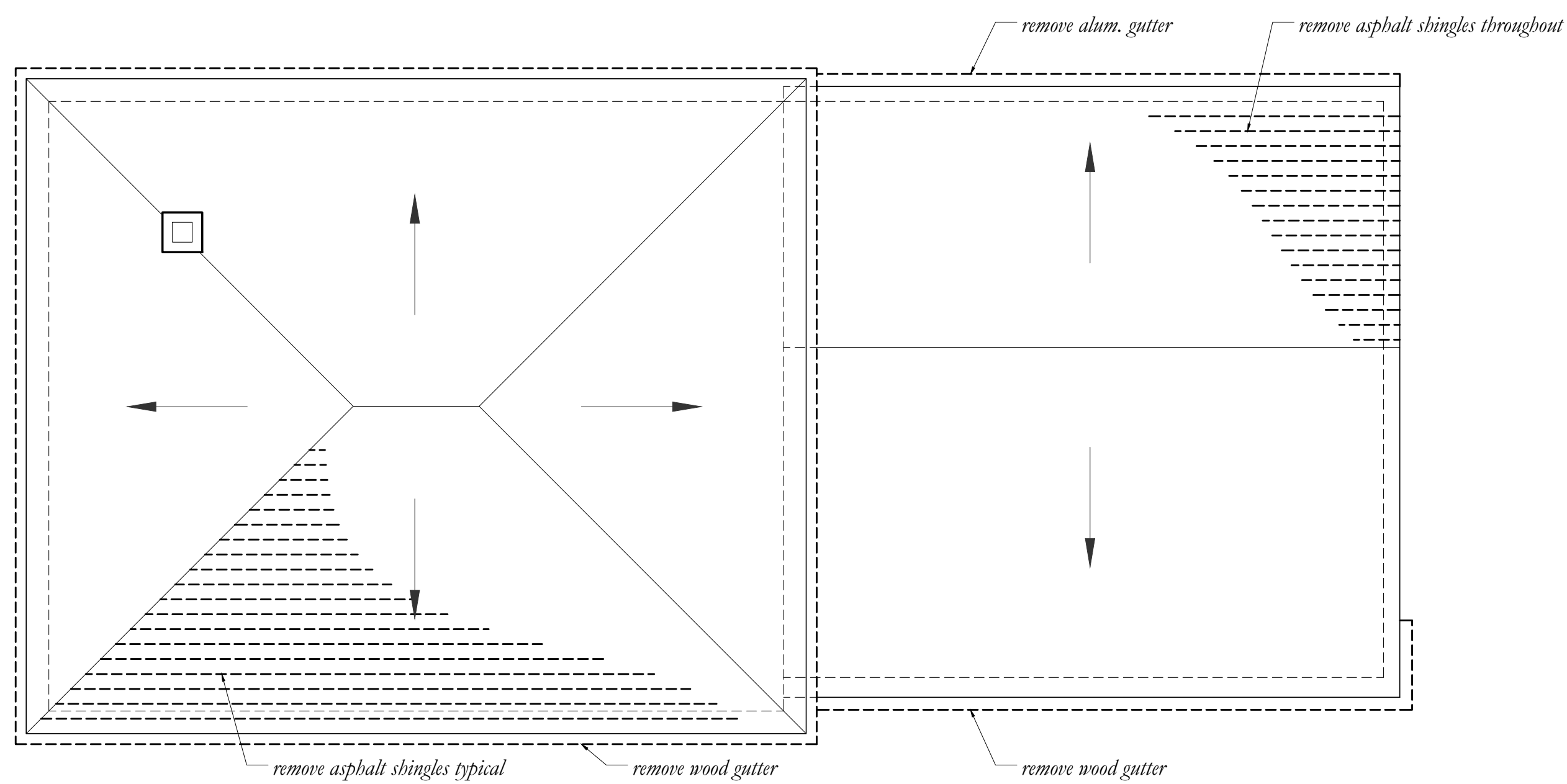
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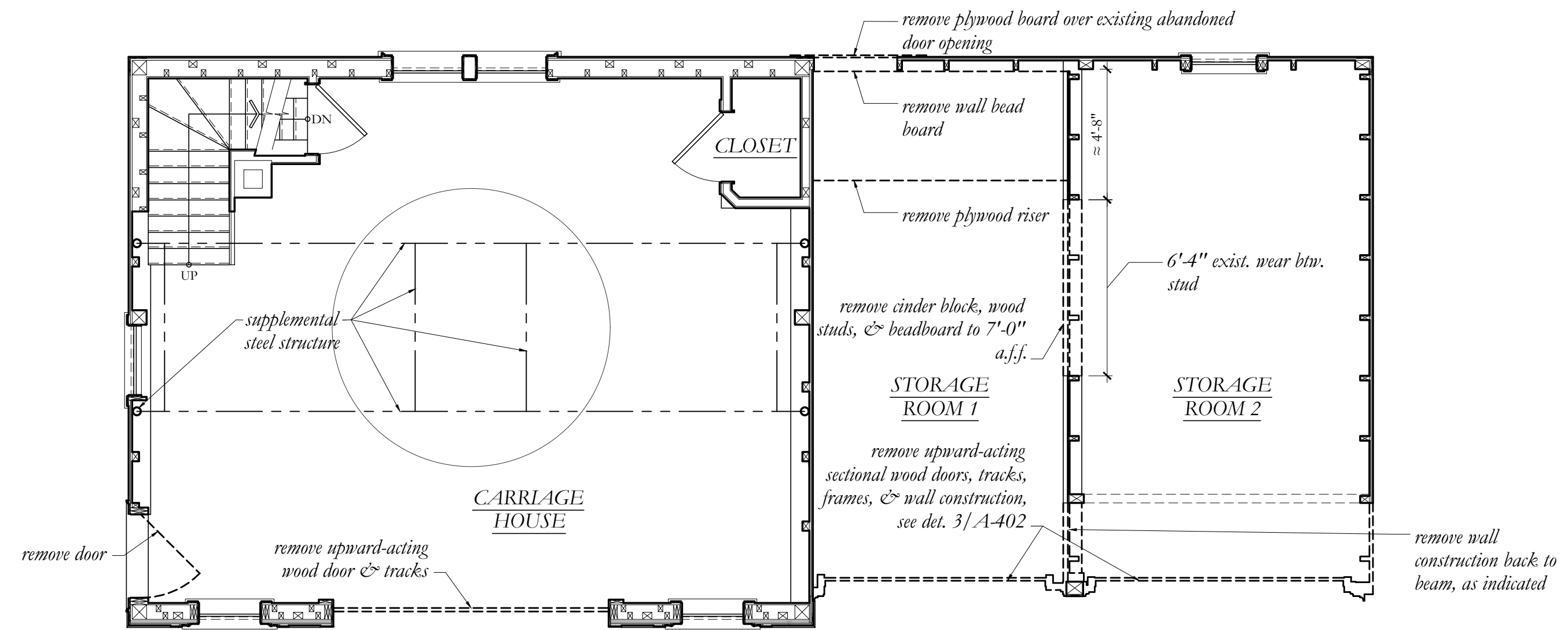
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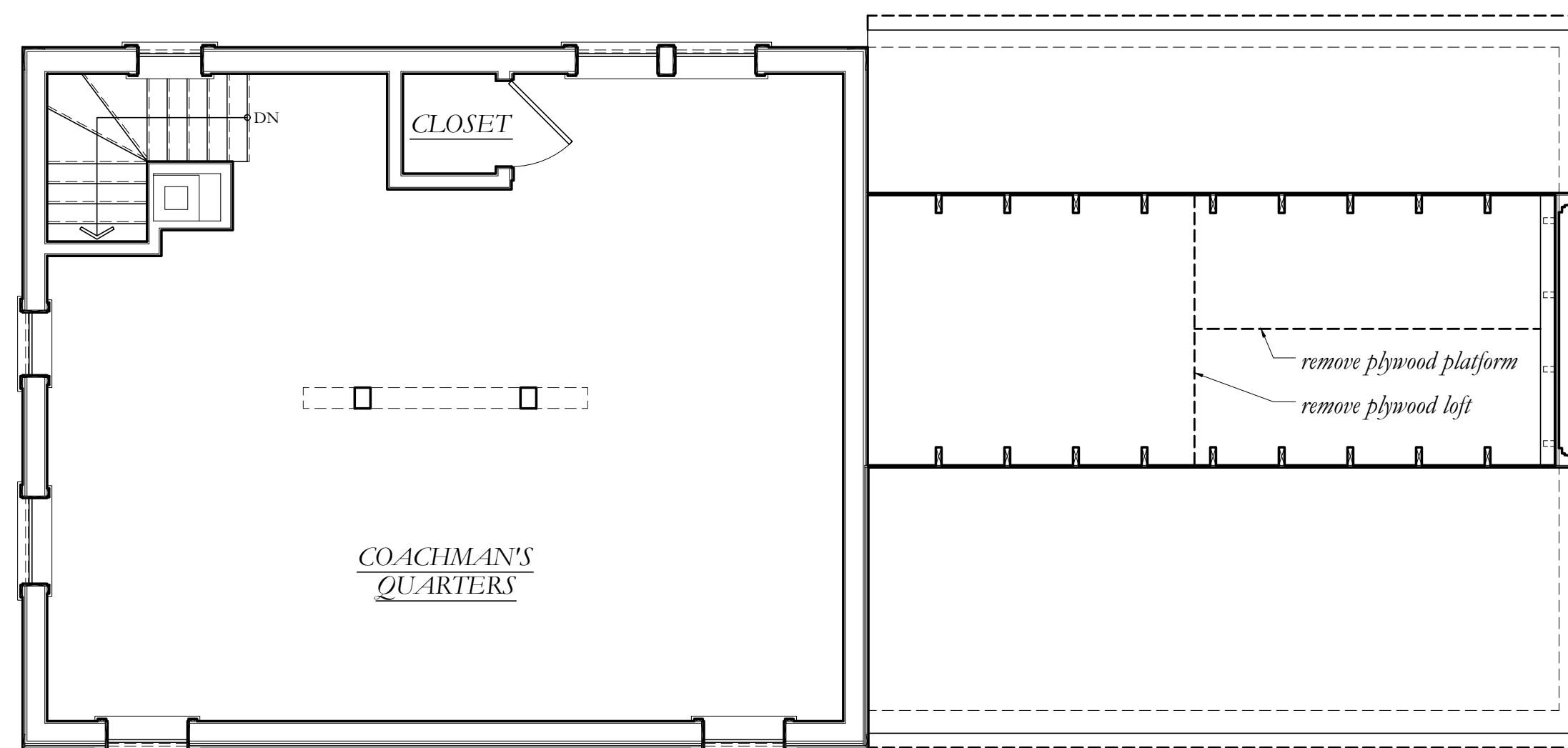
EXISTING EXTERIOR  
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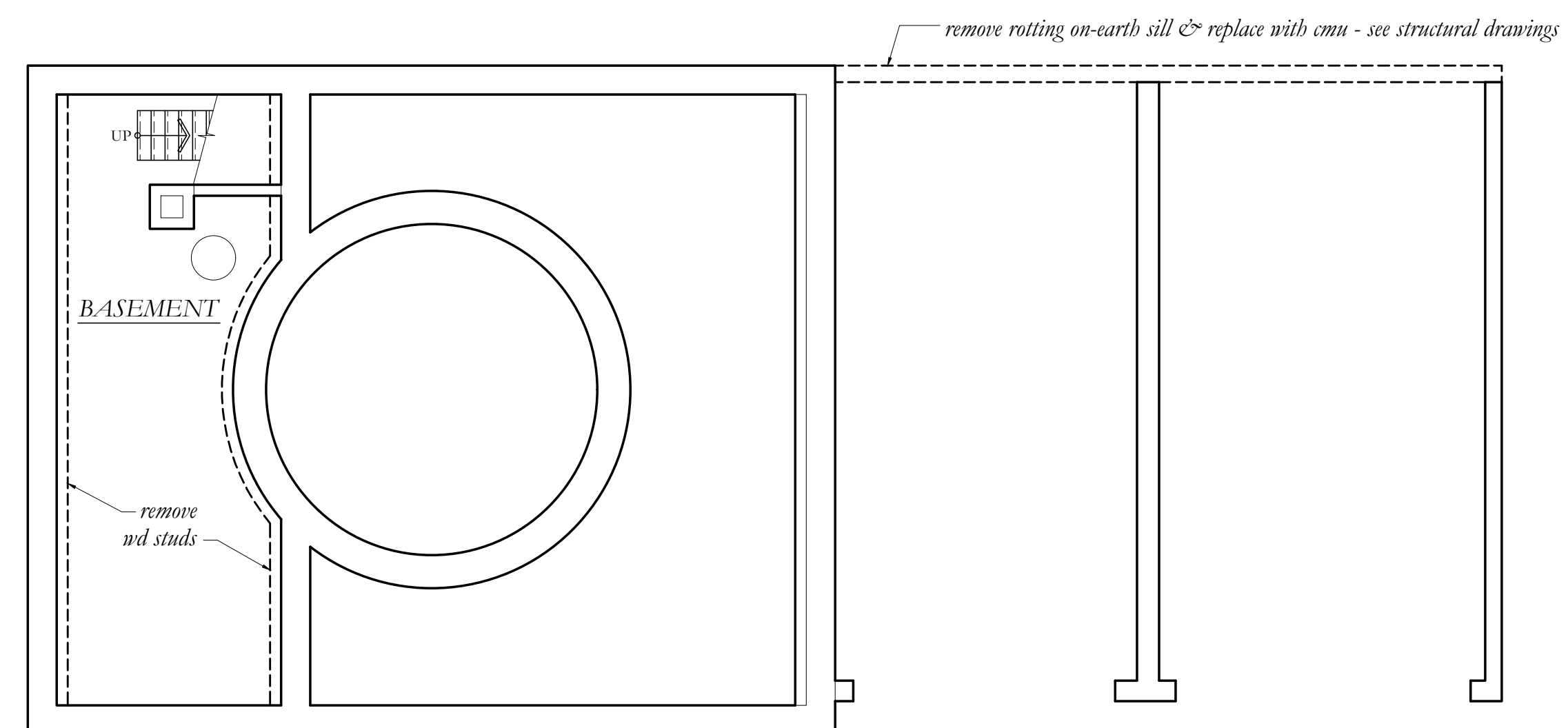
1 DEMOLITION PLAN: ROOF  
1/4" = 1'-0"



2 DEMOLITION PLAN: FIRST FLOOR  
1/4" = 1'-0"

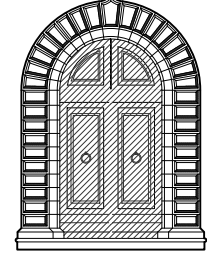


3 DEMOLITION PLAN: SECOND FLOOR  
1/4" = 1'-0"




4 DEMOLITION PLAN: BASEMENT & UNEXCAVATED FOUNDATION  
1/4" = 1'-0"

LEGEND:  
----- TO BE REMOVED

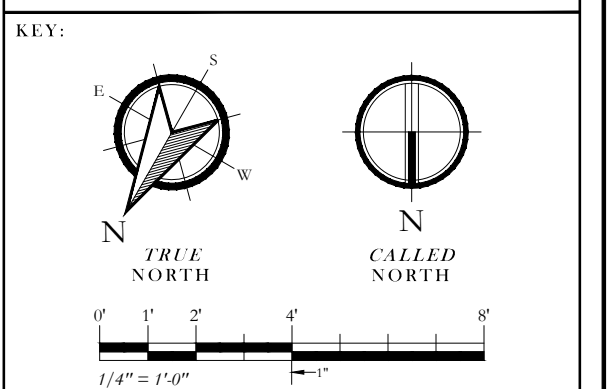
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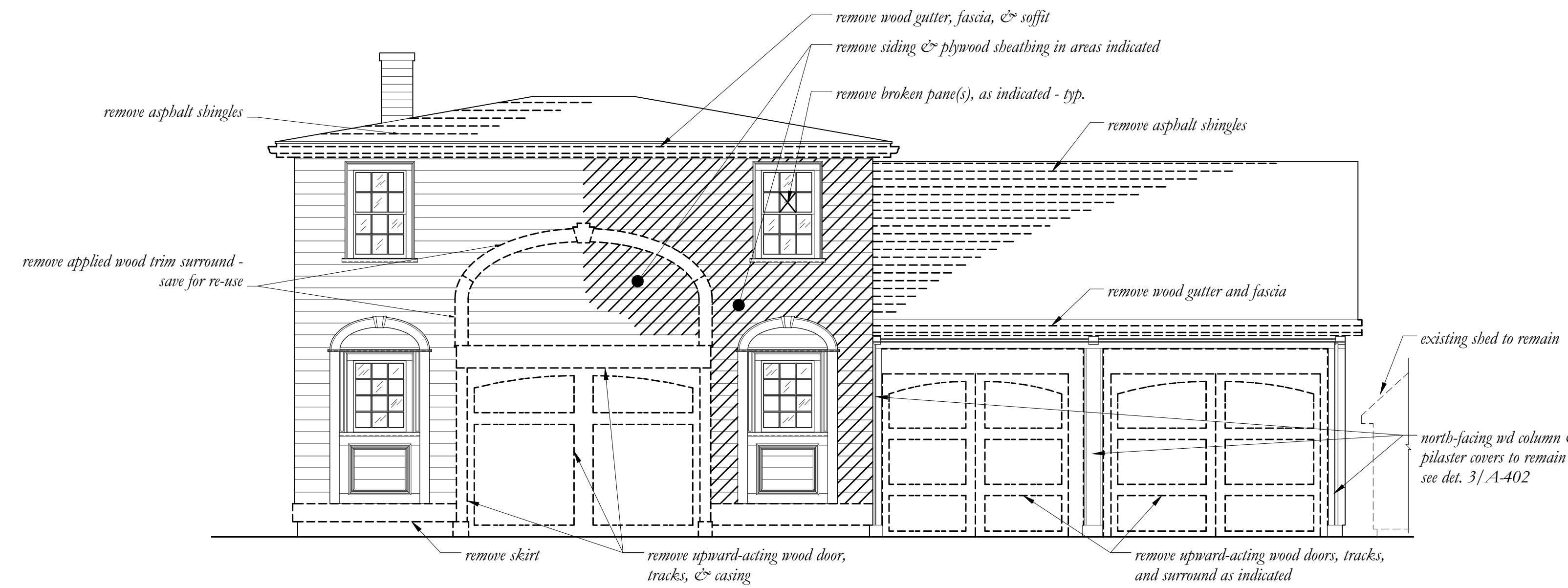
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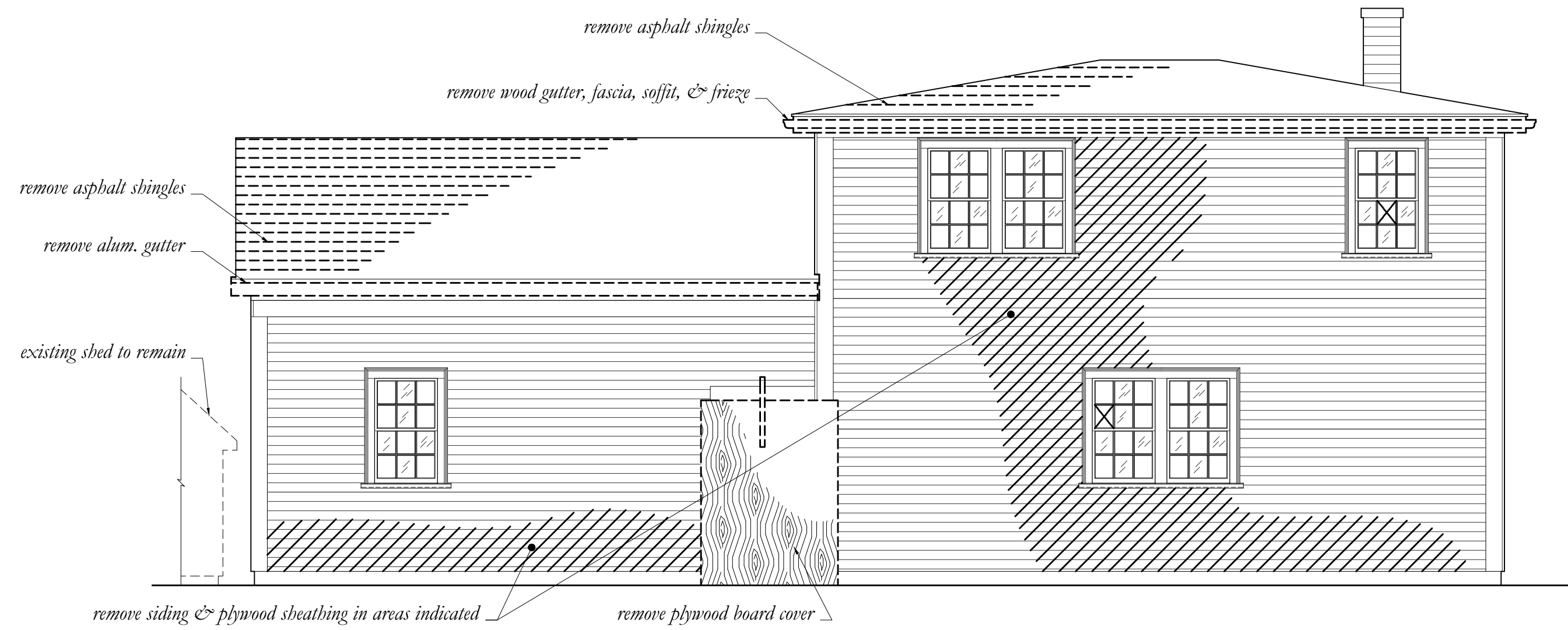
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**DEMOLITION  
FLOOR & ROOF  
PLANS**



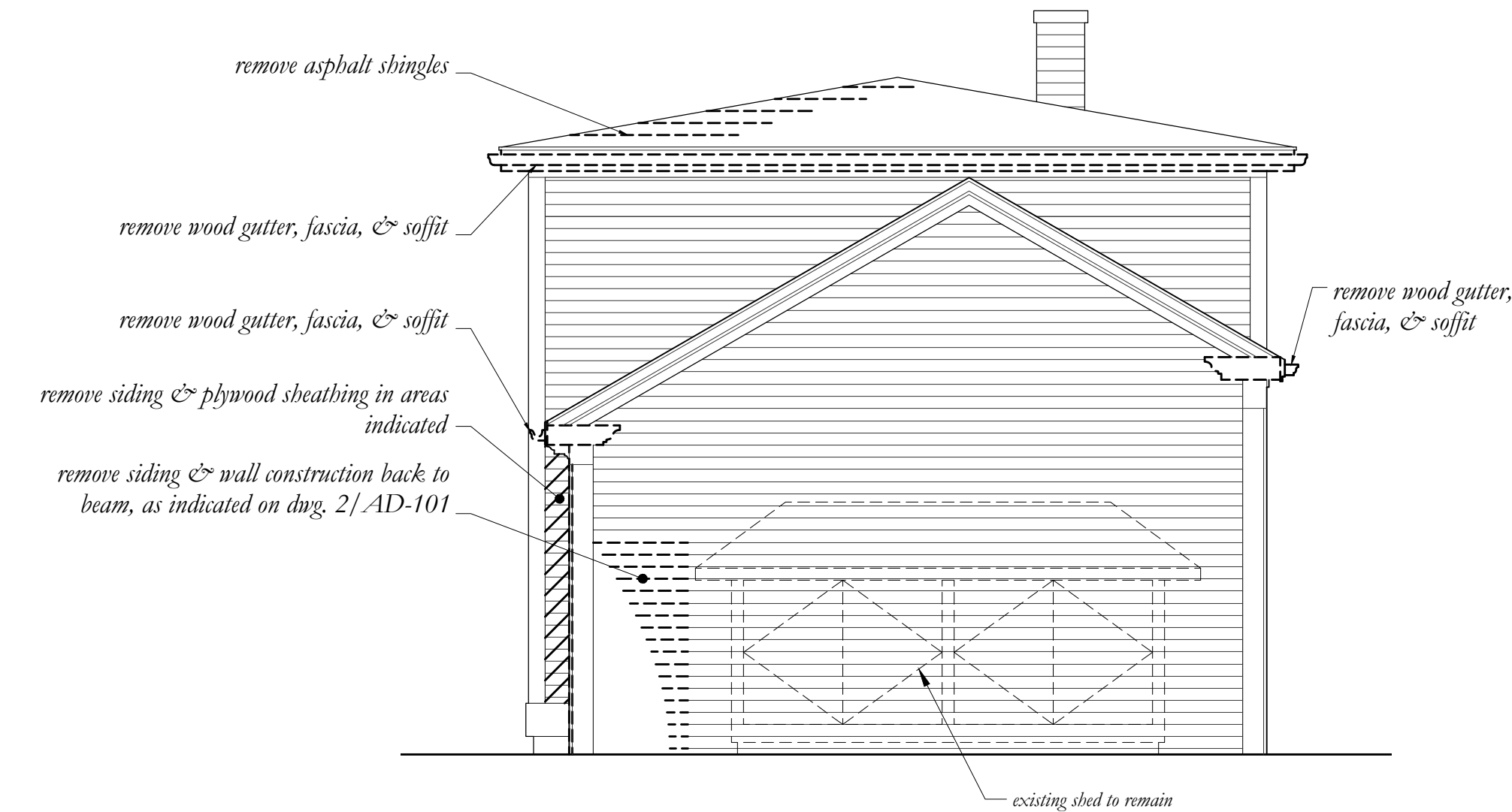
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1/4" = 1'-0"



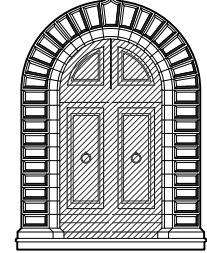
2 DEMOLITION ELEVATION: EAST  
1/4" = 1'-0"



3 DEMOLITION ELEVATION: SOUTH  
1/4" = 1'-0"




4 DEMOLITION ELEVATION: WEST  
1/4" = 1'-0"

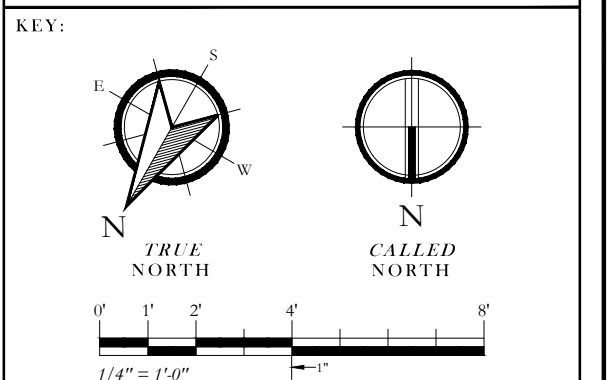
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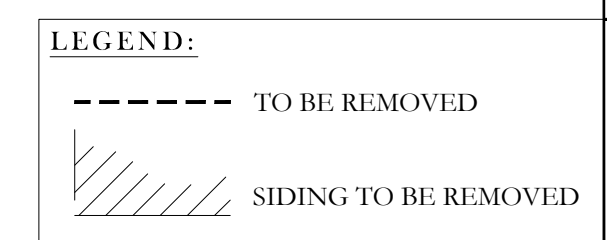
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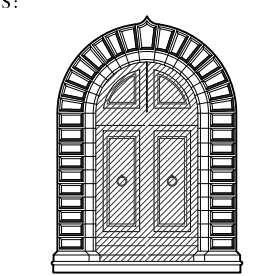
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 SHEET: **AD-201**

TITLE:  
**DEMOLITION  
 EXTERIOR  
 ELEVATIONS**







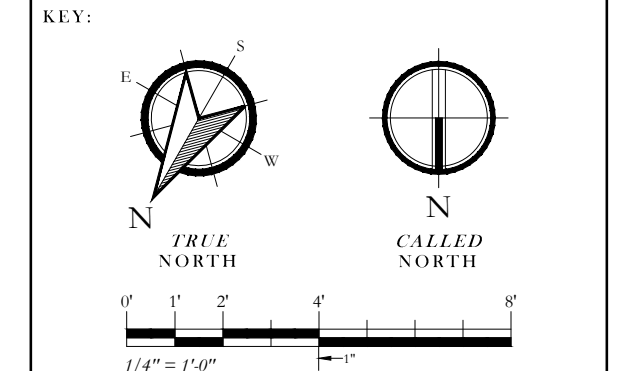
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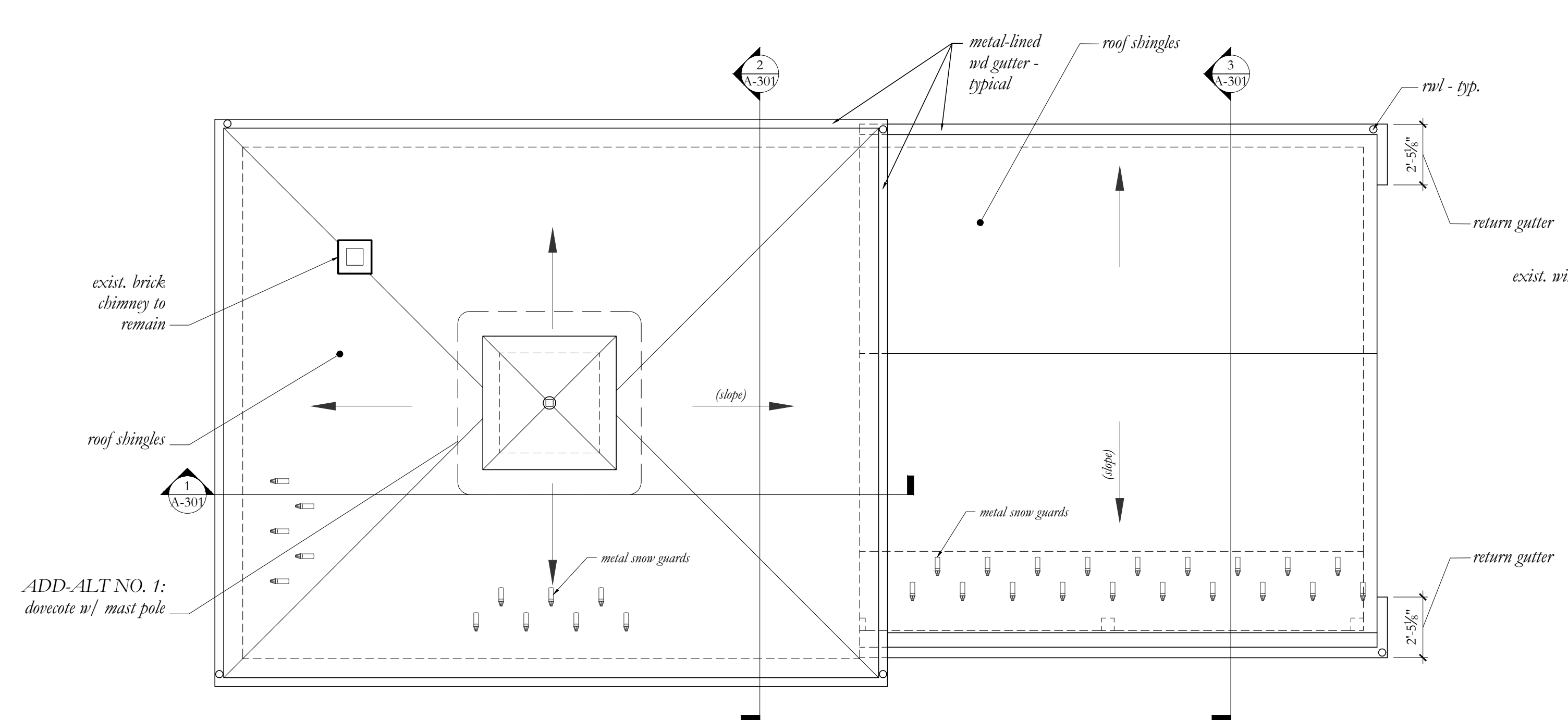


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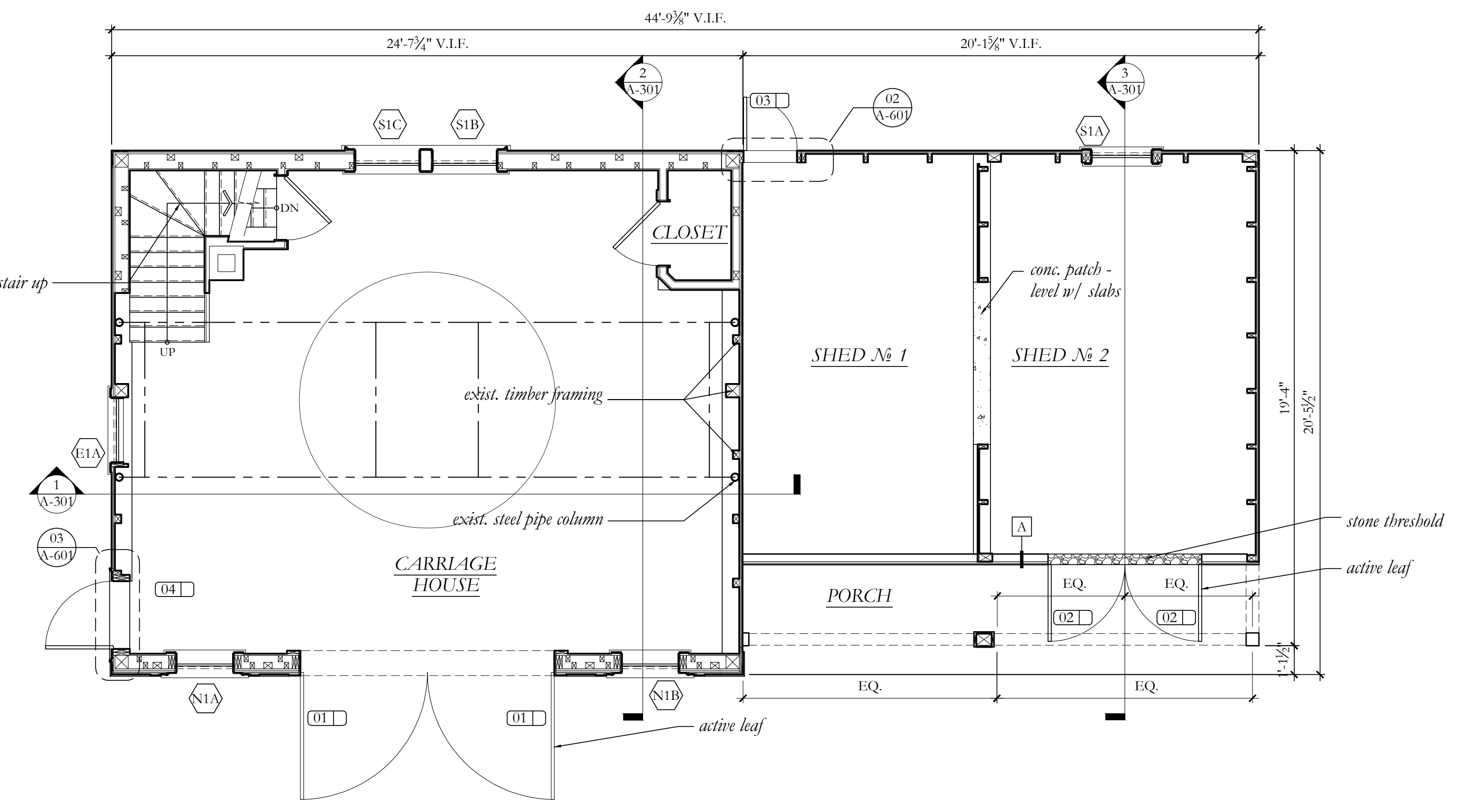
ISSUE DATE: Jan. 17, 2017  
DRAWN BY: SAW, LMC  
SHEET: **A-101**

TITLE:  
**FLOOR & ROOF  
PLANS**



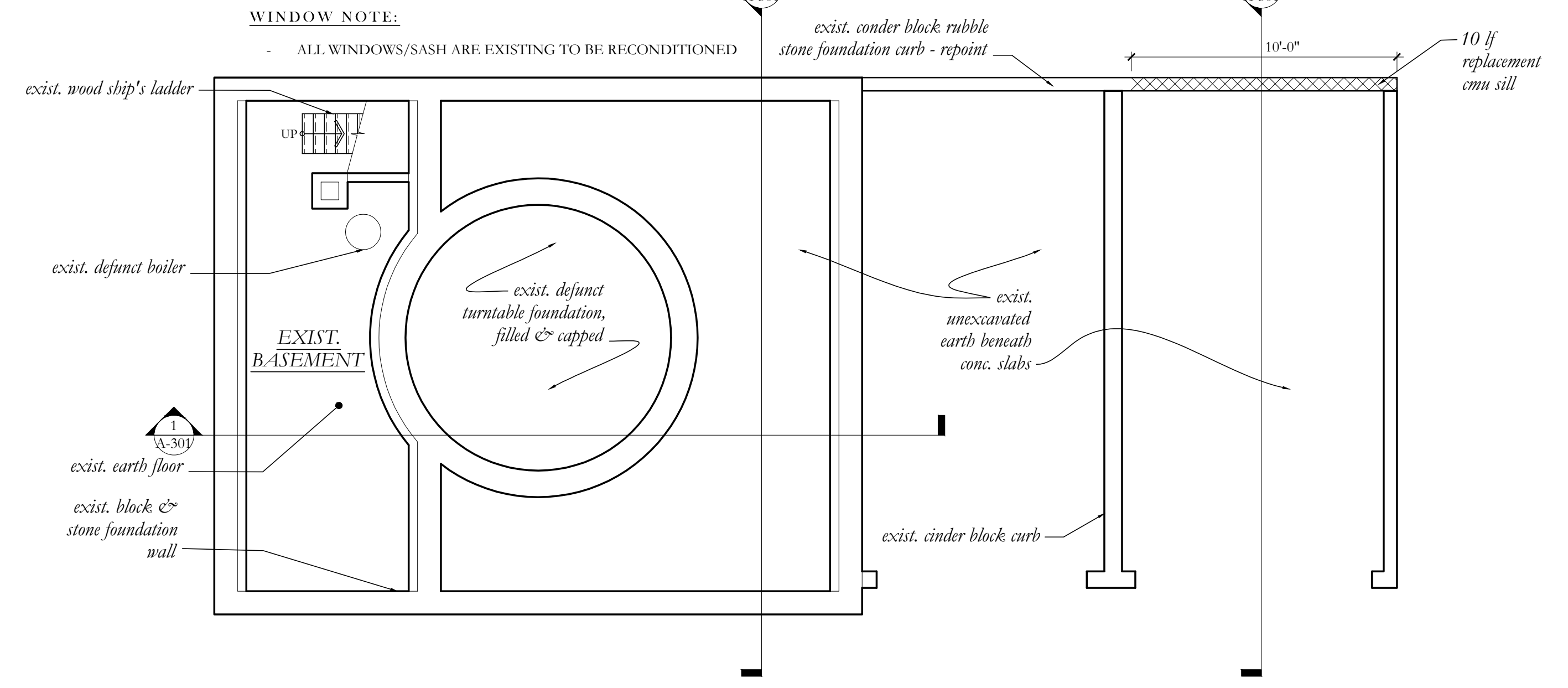
**1 PLAN: ROOF**  
1/4" = 1'-0"

**ROOF SHINGLE NOTE:**  
- BASE BID: FIBERGLASS REINFORCED ASPHALT SINGLES.  
- ALTERNATE NO. 2: SYNTHETIC POLYMER SLATE SHINGLES.

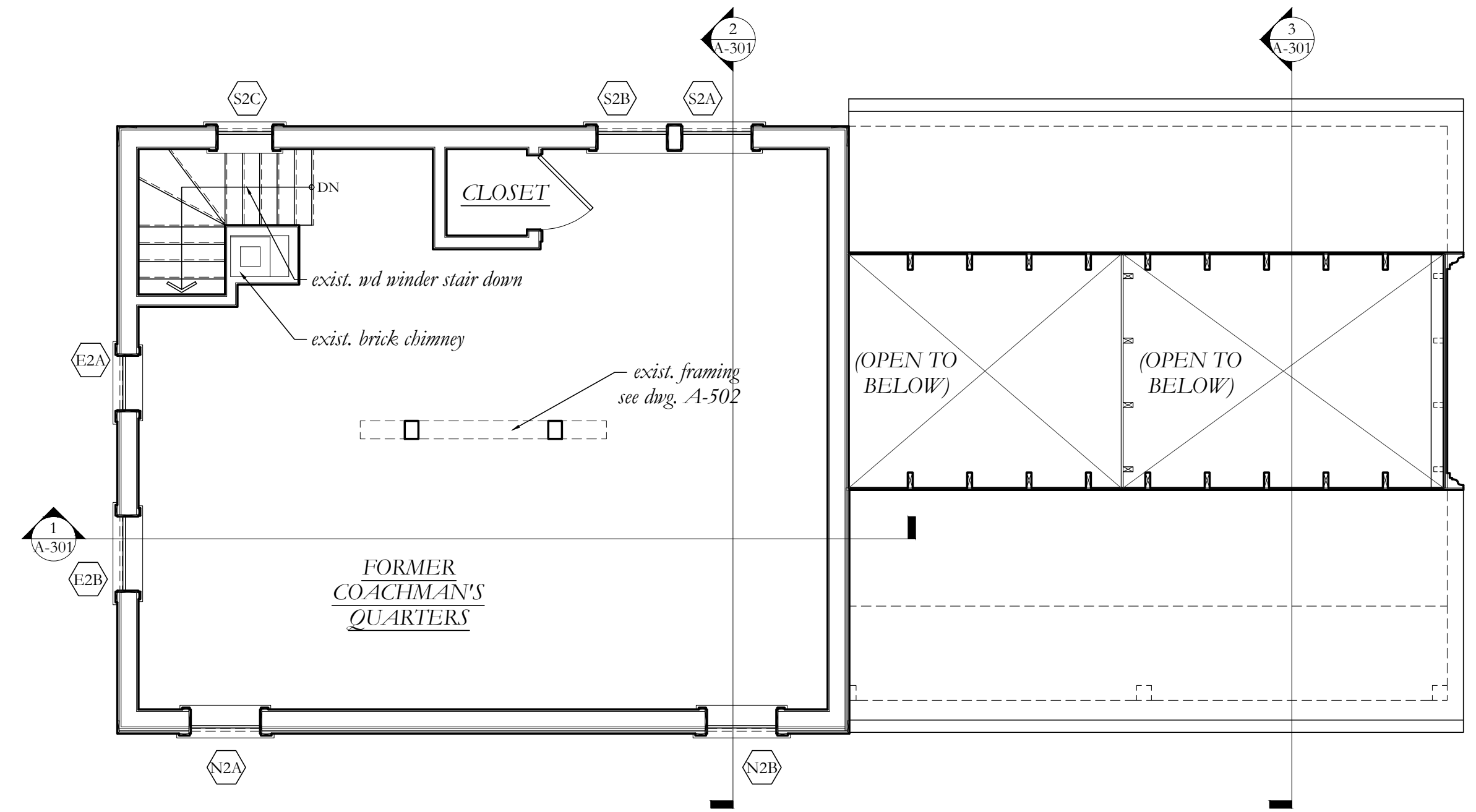


**4 PLAN: FIRST FLOOR**  
1/4" = 1'-0"

**WINDOW NOTE:**  
- ALL WINDOWS/SASH ARE EXISTING TO BE RECONDITIONED

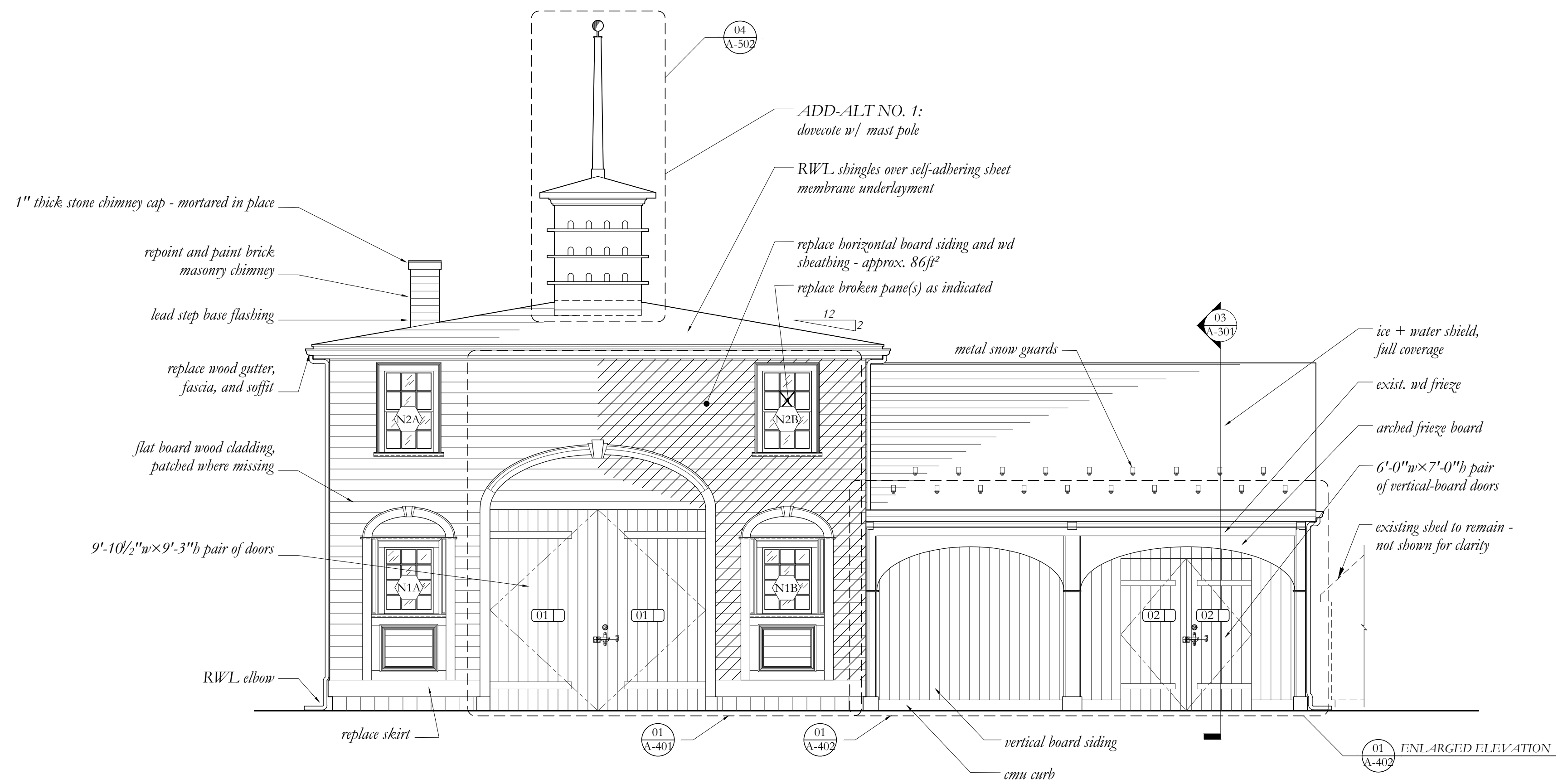


**4 PLAN: BASEMENT & UNEXCAVATED FOUNDATION**  
1/4" = 1'-0"

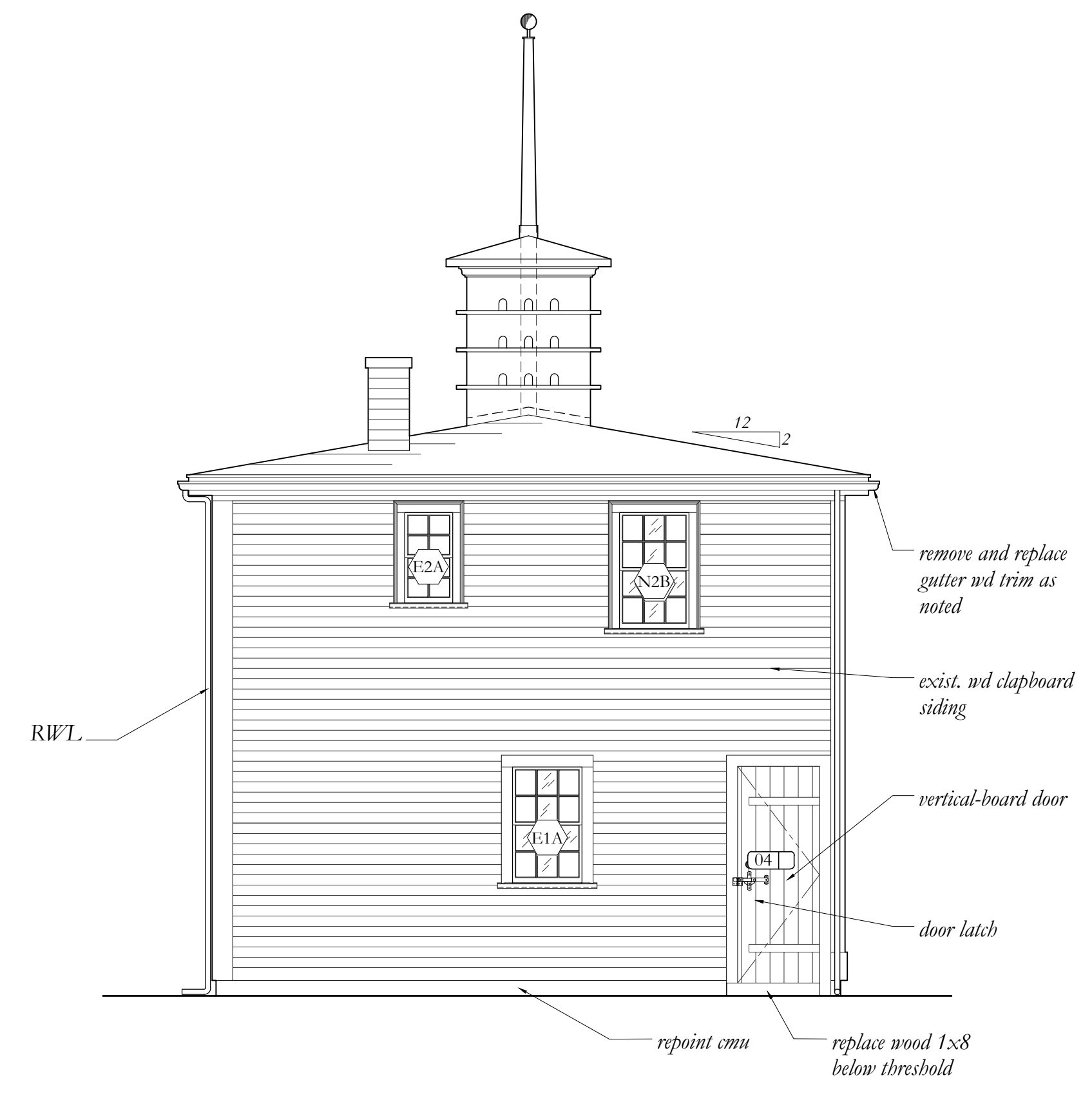


**3 PLAN: SECOND FLOOR**  
1/4" = 1'-0"

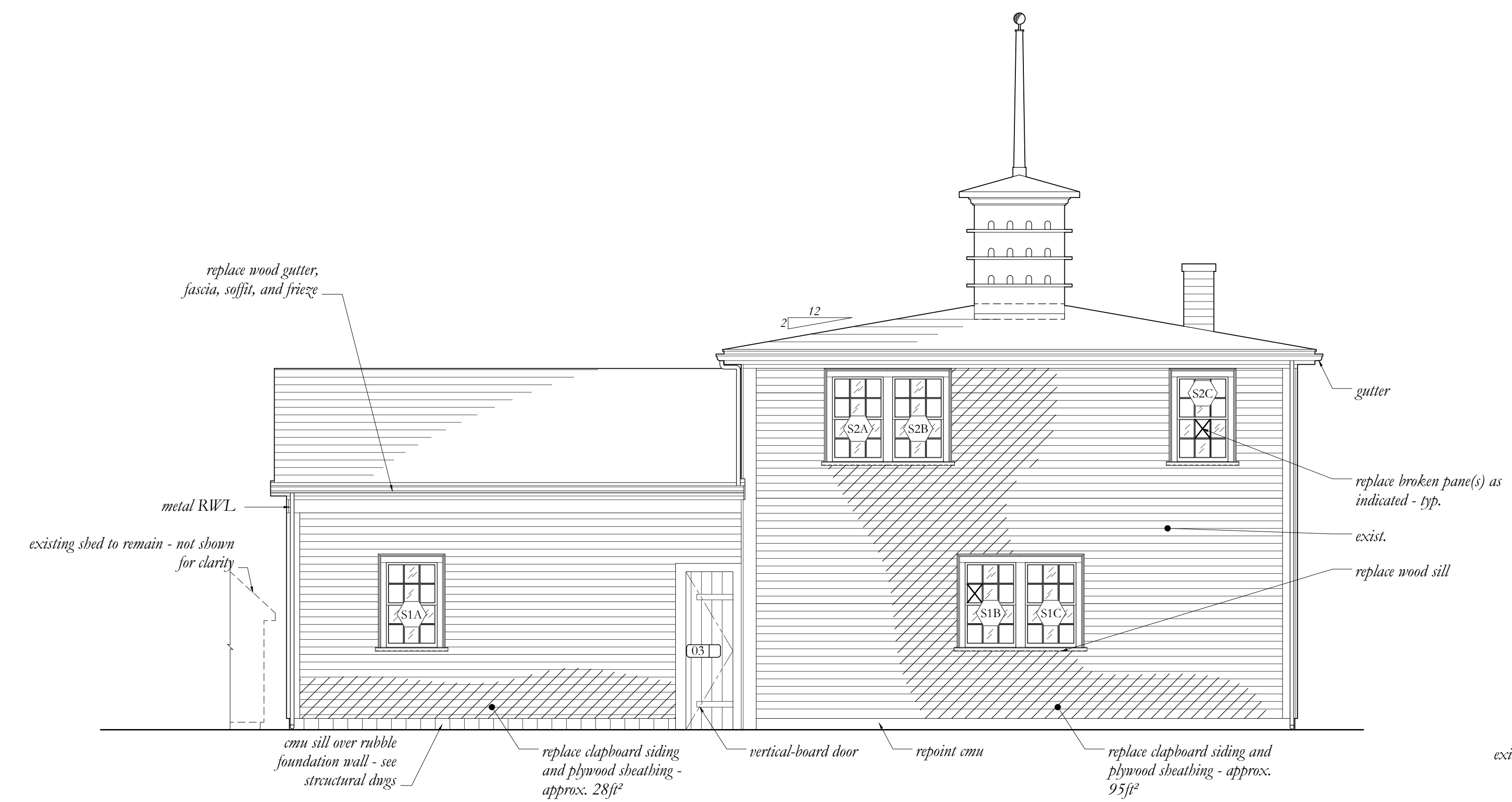
**NOTES:**  
1. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.  
2. WORK AREA IN LIMITED TO BUILDING EXTERIOR SURFACES, EXCEPT AS NOTED.  
3. NEW WORK SHALL ALIGN WITH EXISTING ADJACENT CORRESPONDING CONSTRUCTION



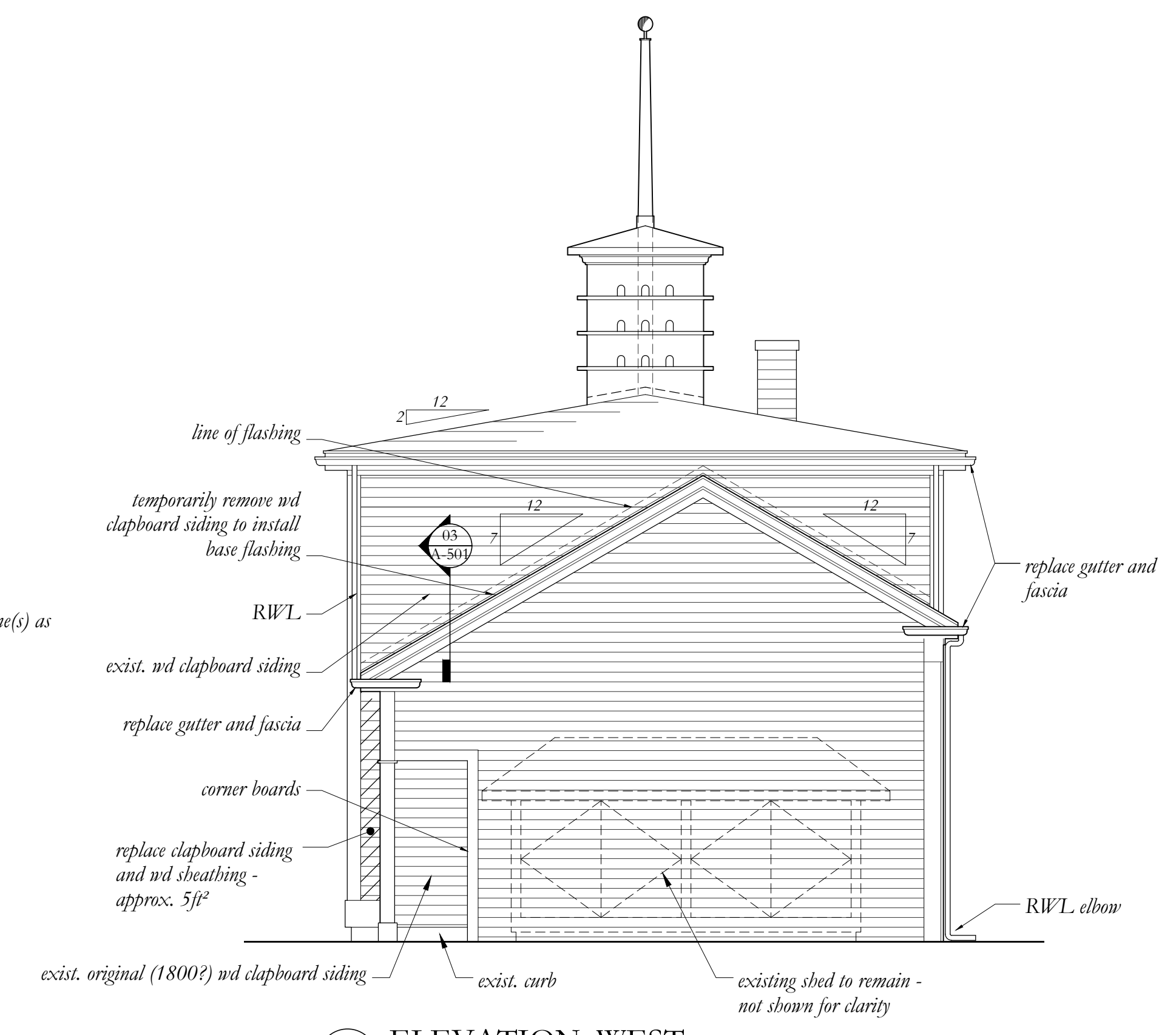
1 ELEVATION: NORTH  
1/4" = 1'-0"



2 ELEVATION: EAST  
1/4" = 1'-0"



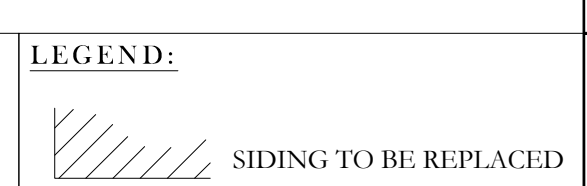
3 ELEVATION: SOUTH  
1/4" = 1'-0"



4 ELEVATION: WEST  
1/4" = 1'-0"

ADD-ALT NO. 1:  
dorecote w/ mast pole

- NOTES:
- ALL DOORS ARE VERTICAL FLAT BOARD WITH STRAP HINGES
  - TOTAL SQUARE FOOTAGE OF SIDING AND SHEATHING TO BE REPLACED ESTIMATED: **APPROX. 214ft²** - SEE ELEVATIONS FOR INDIVIDUAL SECTION CALCULATIONS
  - ALL WINDOWS/SASH ARE EXISTING TO BE RECONDITIONED



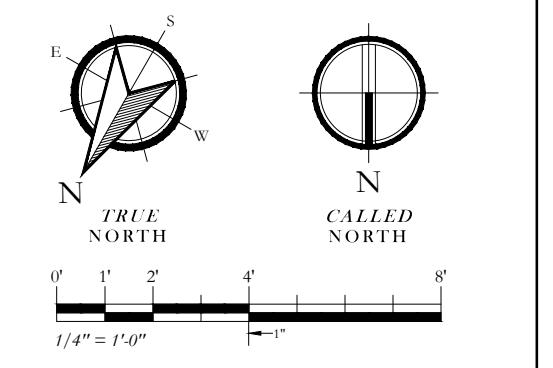
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 Arlington, MA 02476-5003



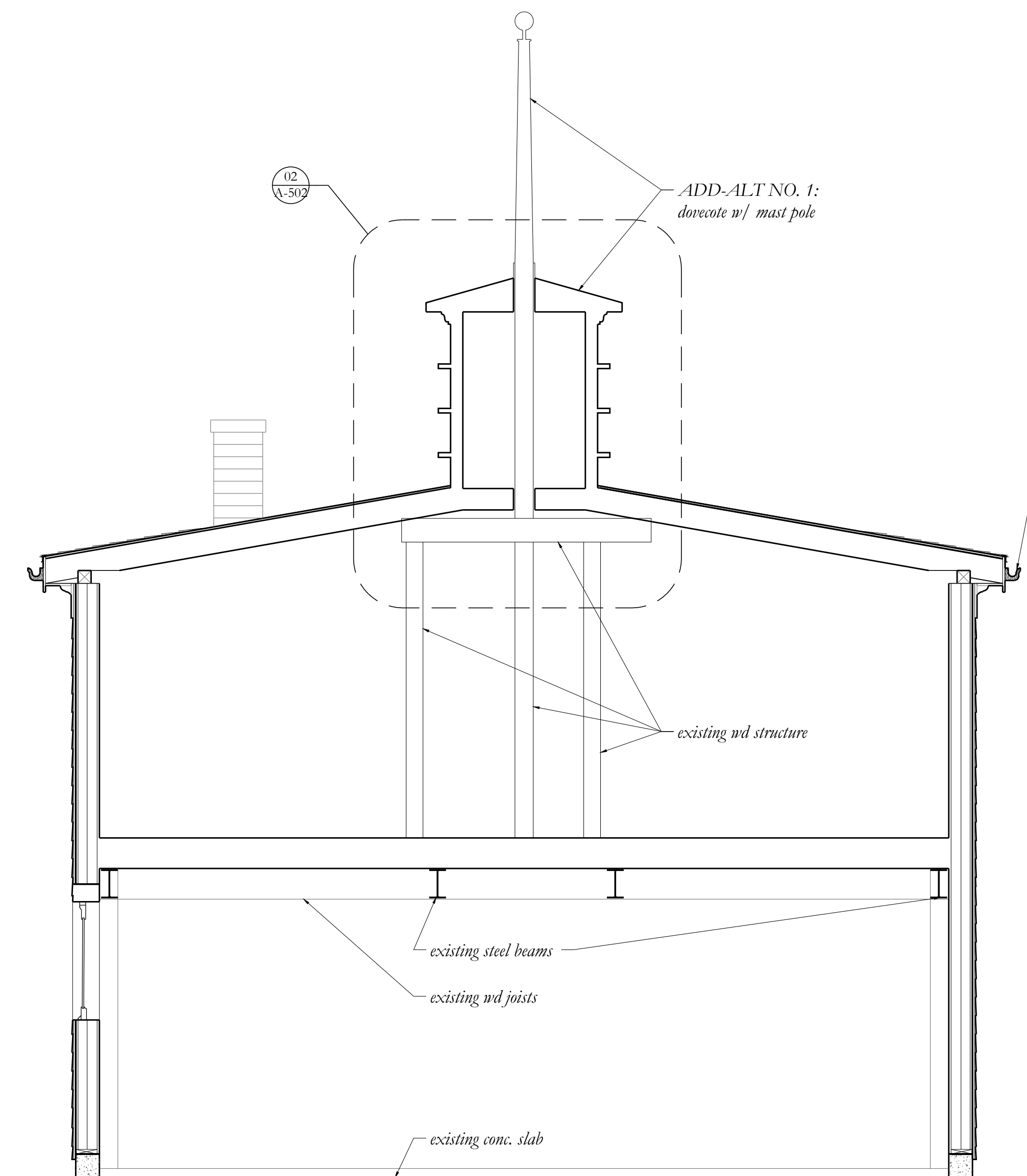
REVISIONS:

DATE	DESCRIPTION

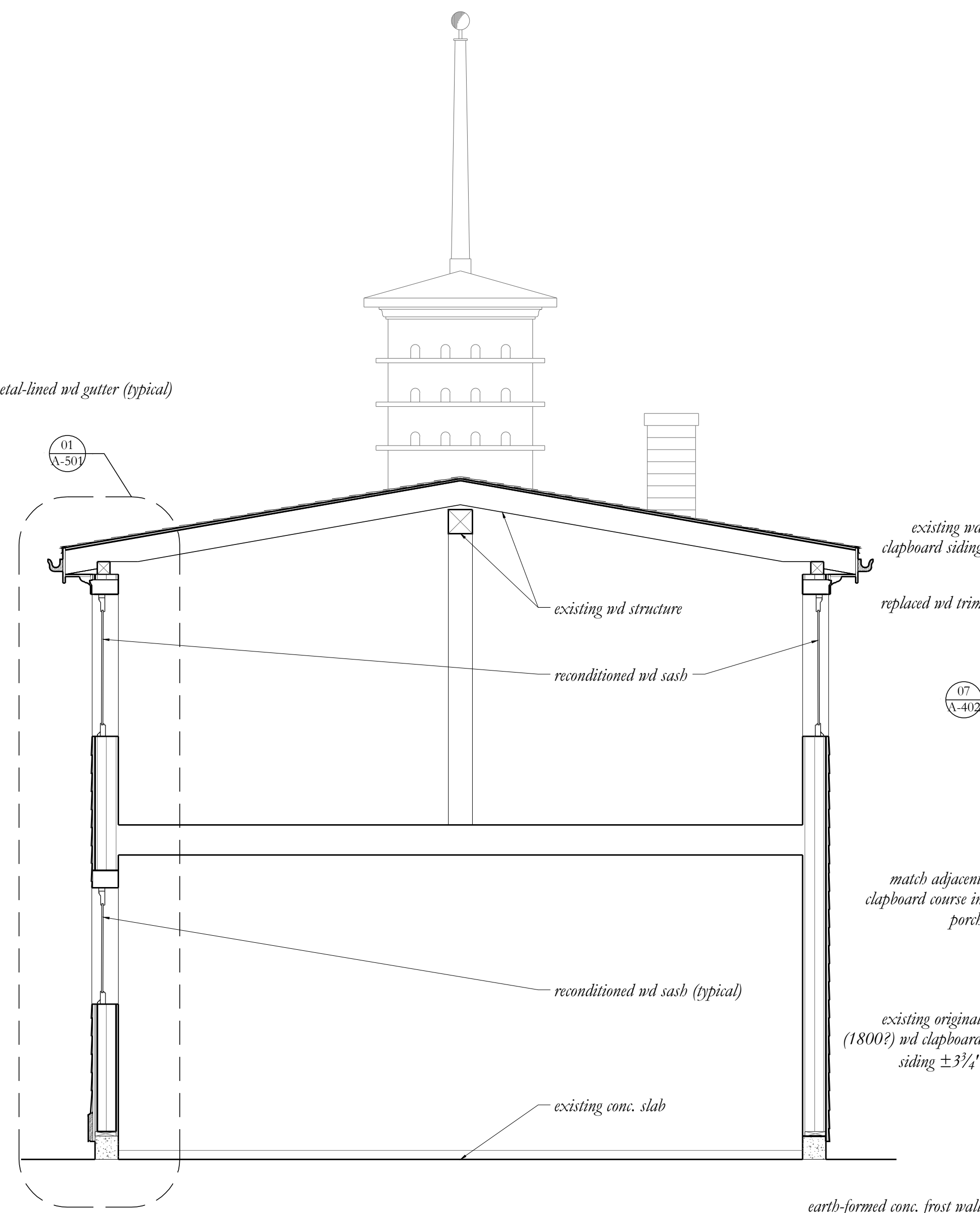
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ISSUE DATE: Jan. 17, 2017  
 DRAWN BY: SAW, LMC

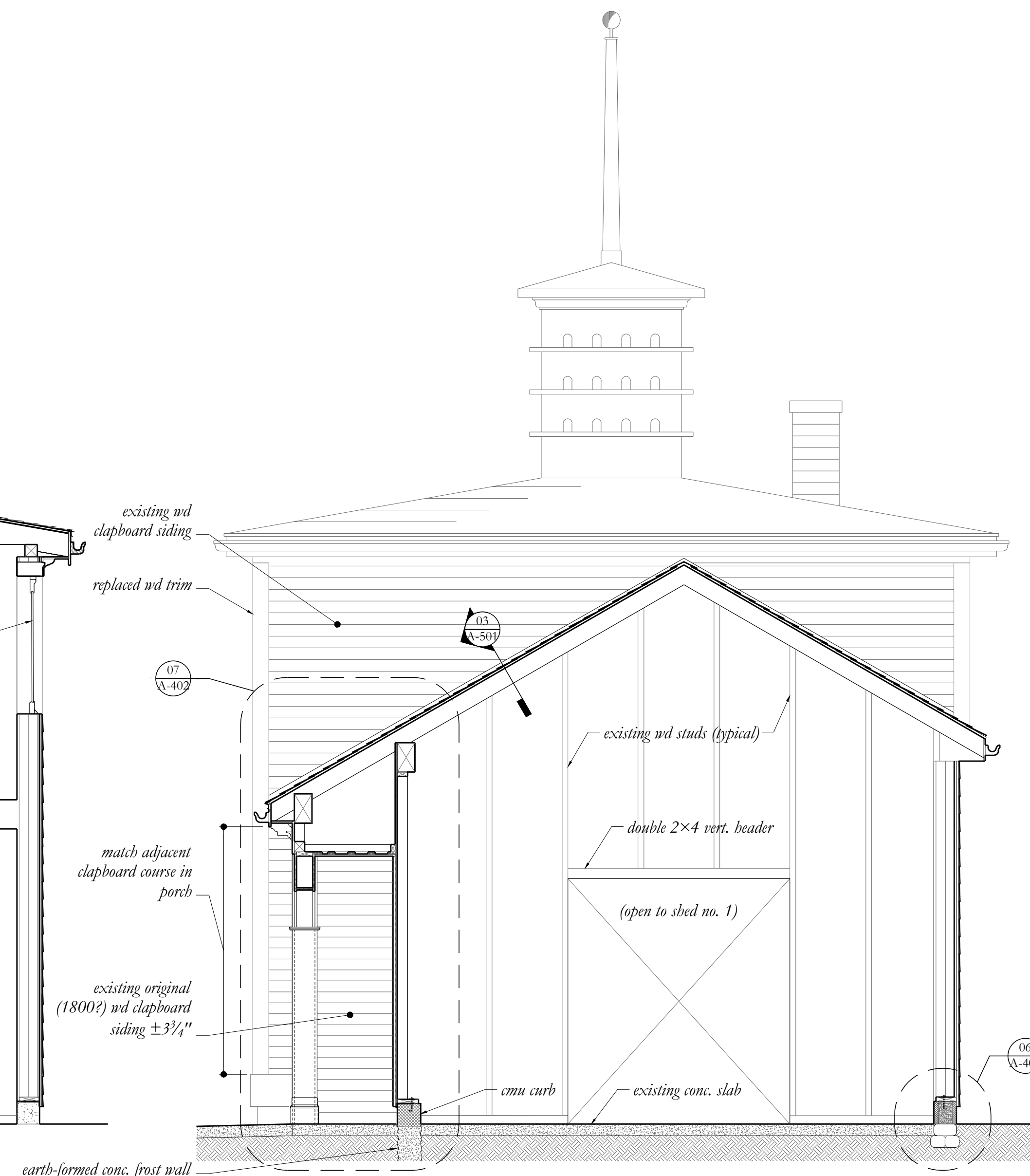
SHEET: **A-201**  
 TITLE: **EXTERIOR ELEVATIONS**



1 BUILDING SECTION: THRU MAIN HOUSE LOOKING SOUTH  
3/8" = 1'-0"

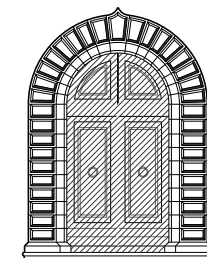


2 BUILDING SECTION: THRU MAIN HOUSE LOOKING EAST  
3/8" = 1'-0"



3 BUILDING SECTION: THRU SHED ELL LOOKING EAST  
3/8" = 1'-0"

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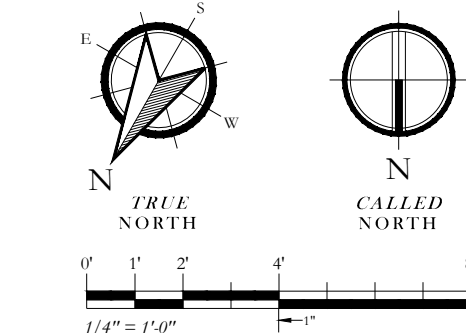


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PROJECT:

**WHITTEMORE-ROBBINS  
CARRIAGE HOUSE  
REHABILITATION**  
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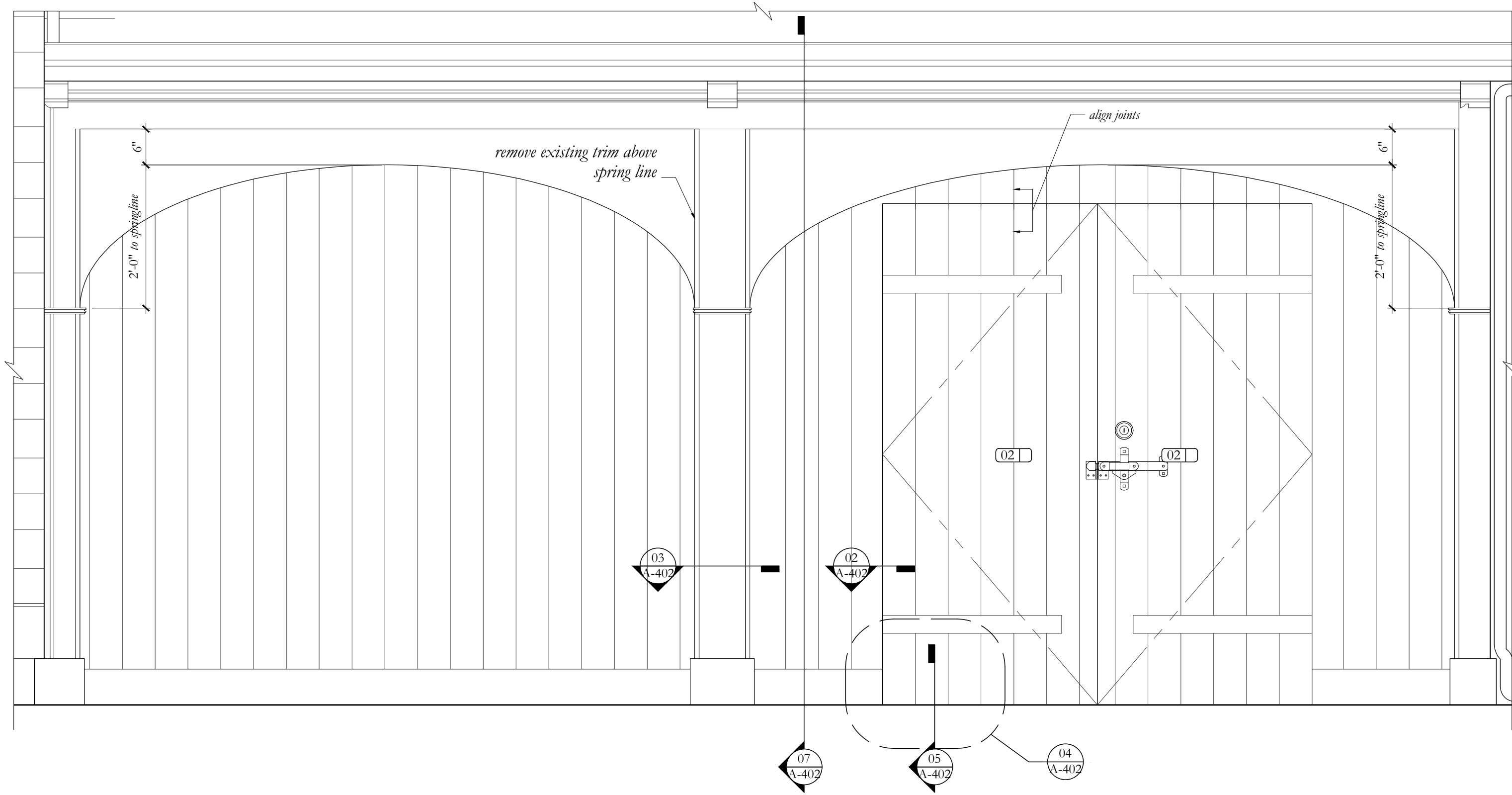
SHEET:

**A-301**

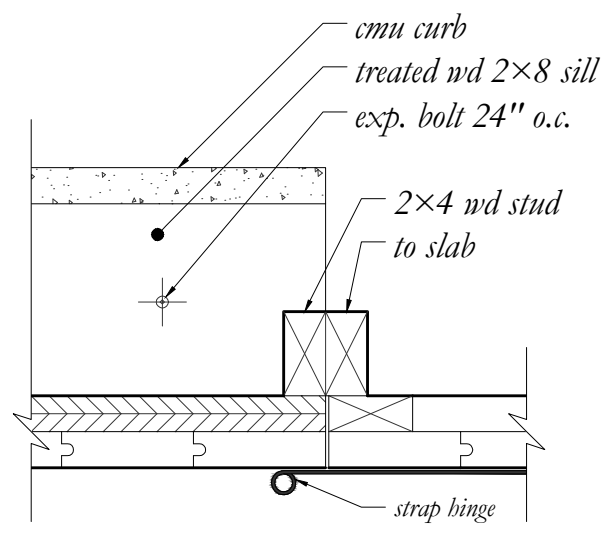
TITLE:

**BUILDING  
SECTIONS**

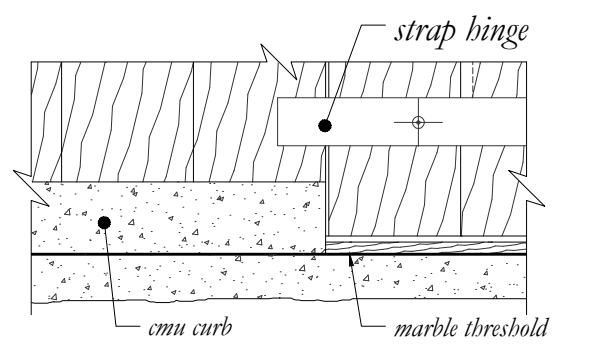




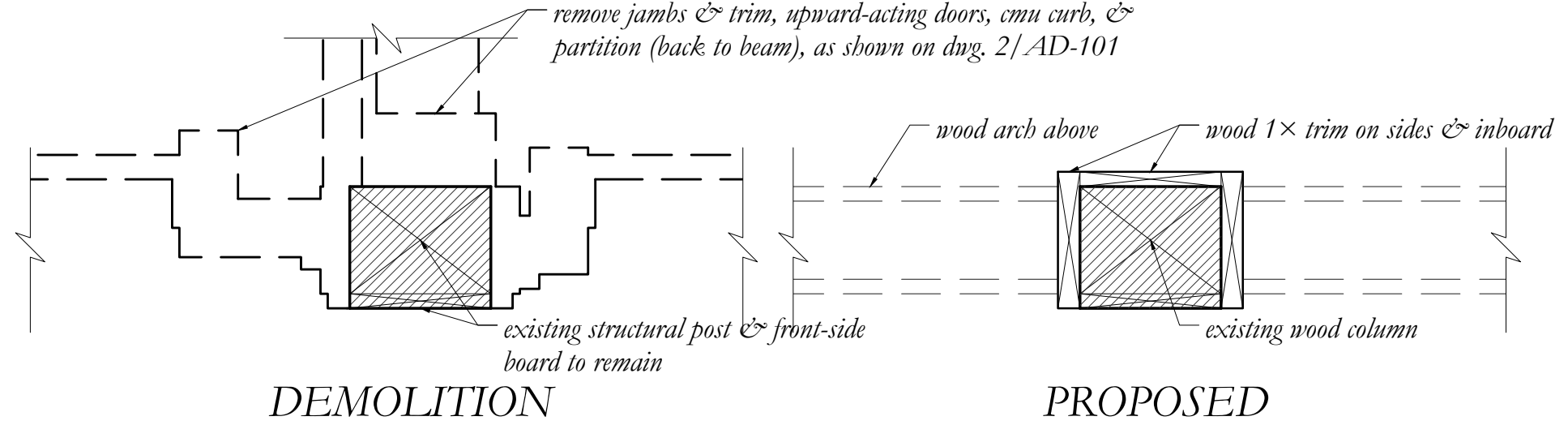
01 ENLARGED ELEVATION: STORAGE SHED  
3/4" = 1'-0"



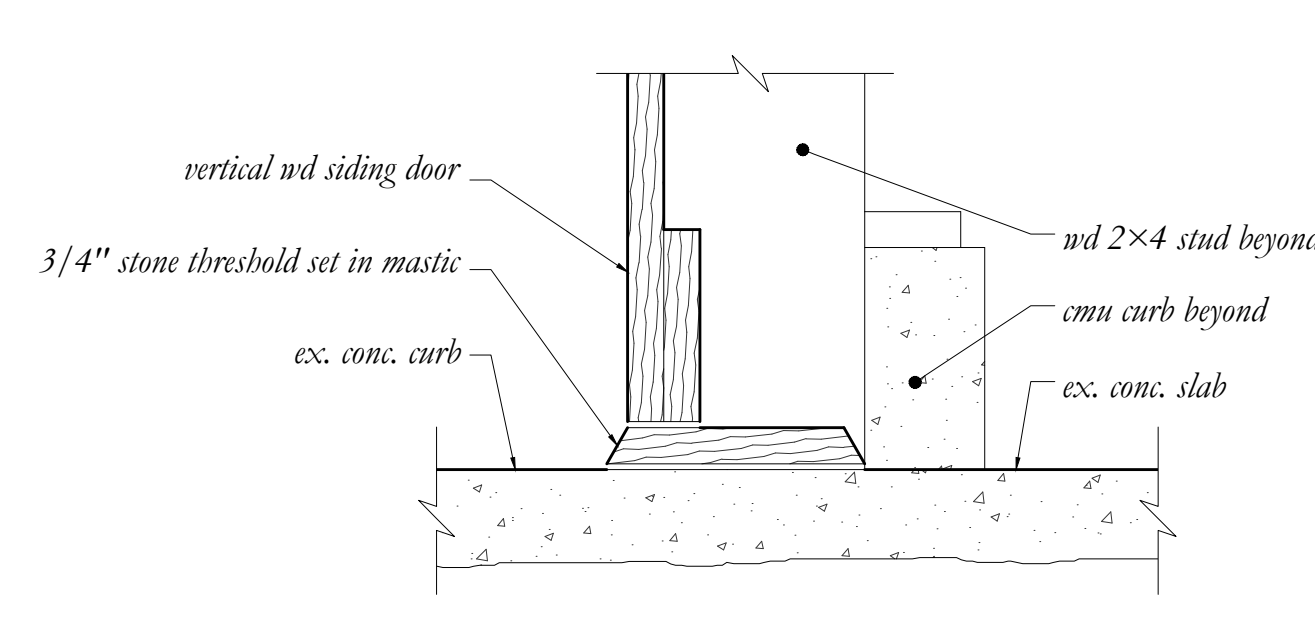
02 JAMB DETAIL  
1-1/2" = 1'-0"



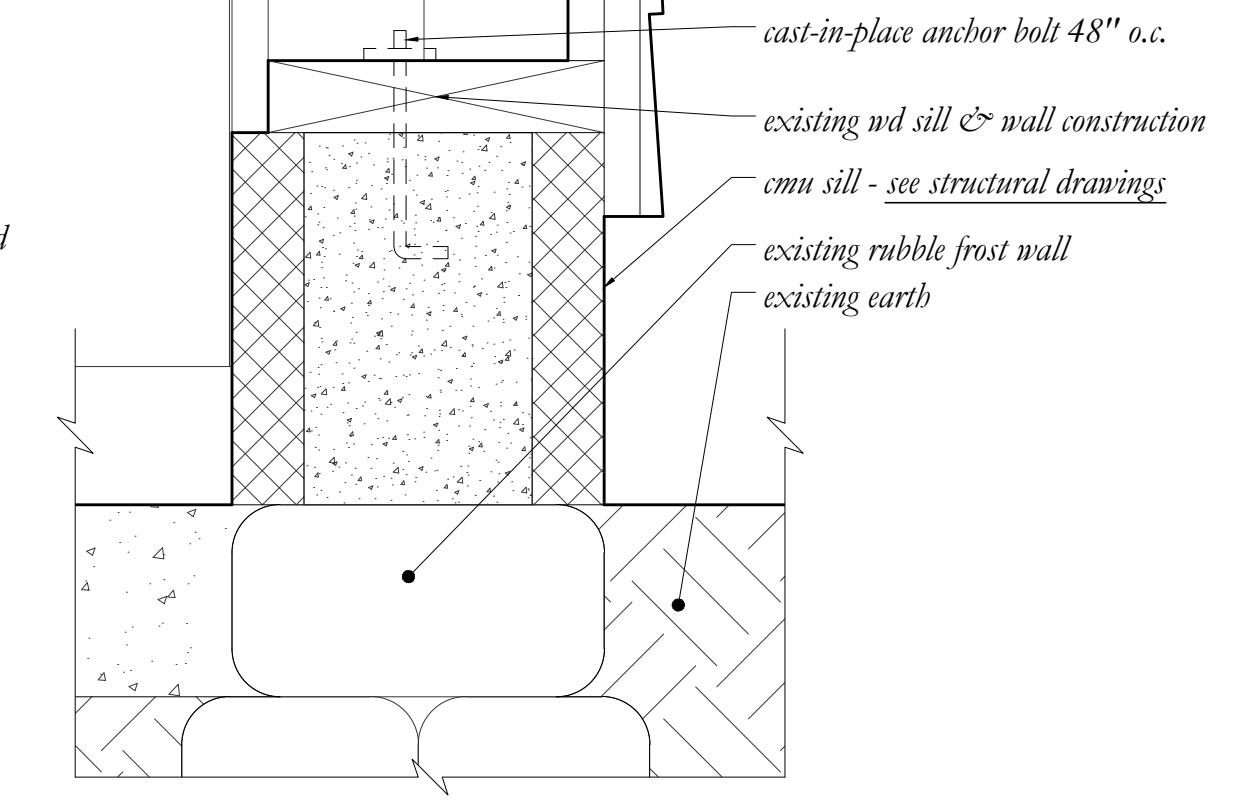
04 SILL ELEVATION  
1-1/2" = 1'-0"



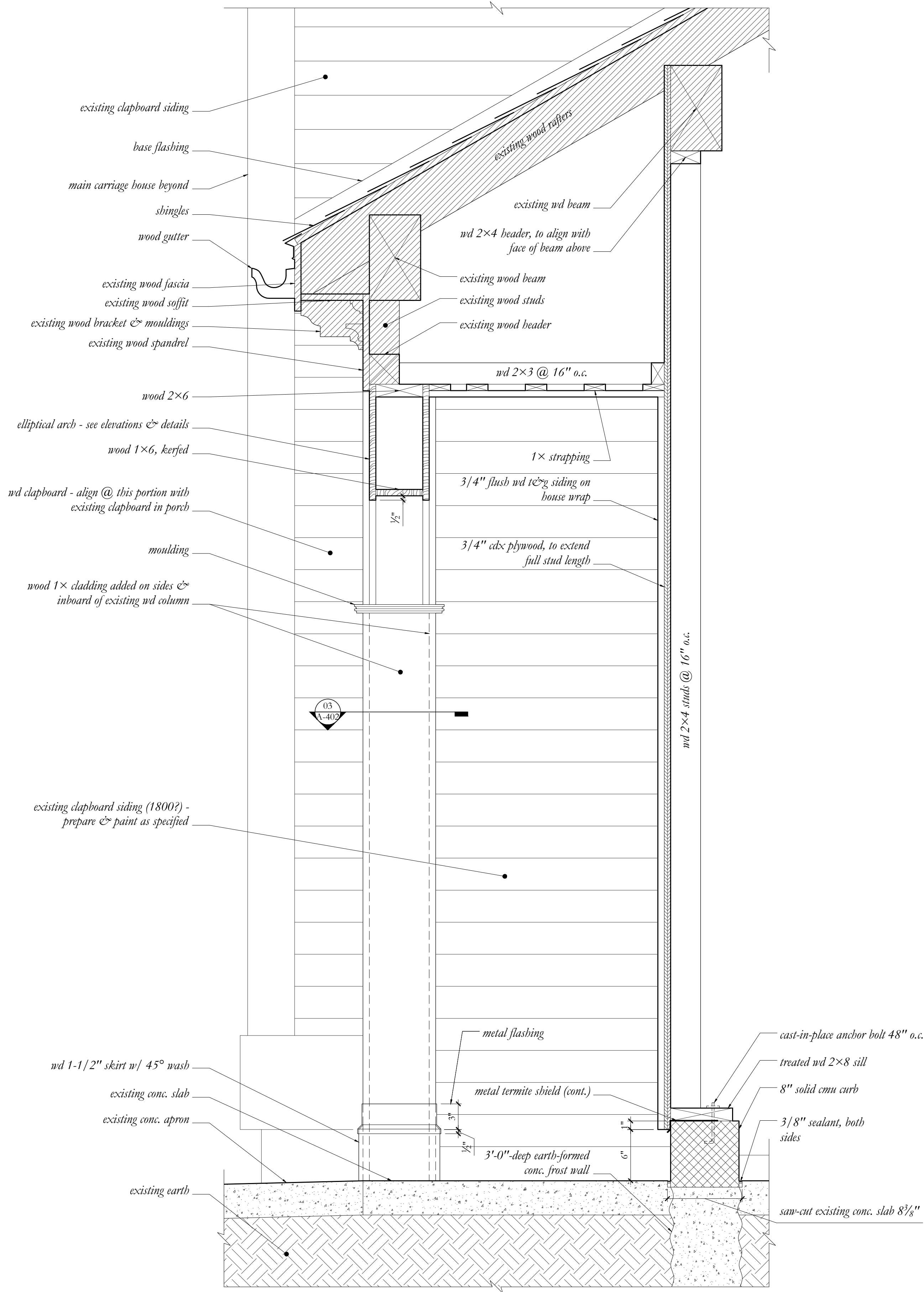
03 POST DETAIL  
1-1/2" = 1'-0"



05 DOOR SILL  
3" = 1'-0"



06 REAR SILL  
3" = 1'-0"




07 SECTION THRU SHED PORCH  
1-1/2" = 1'-0"

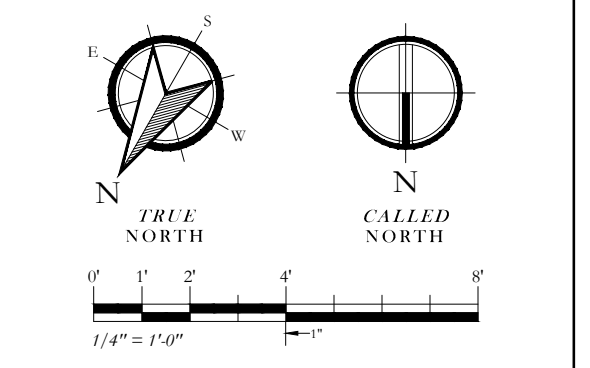
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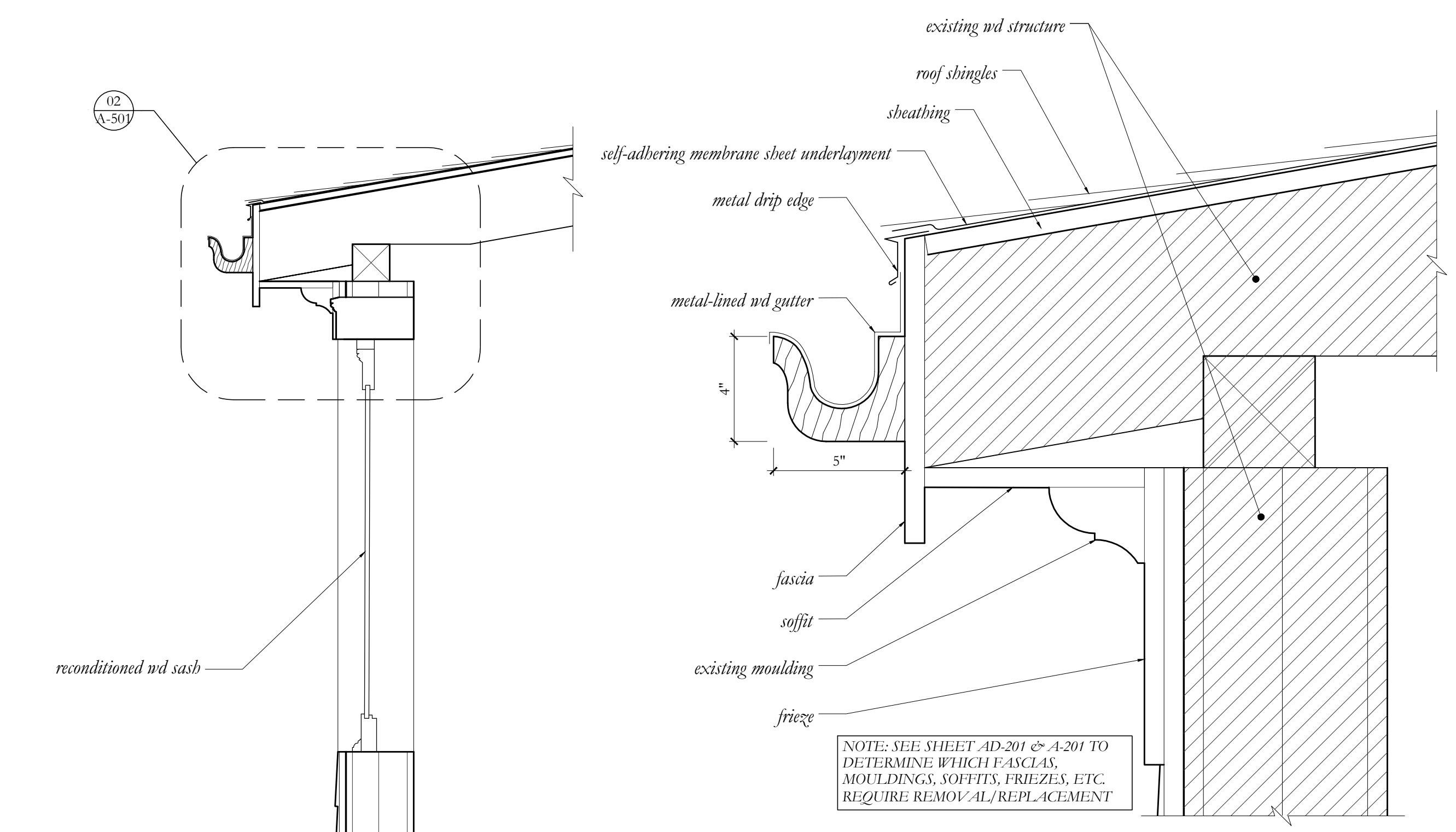
REVISIONS:

DATE	DESCRIPTION

SEALS:

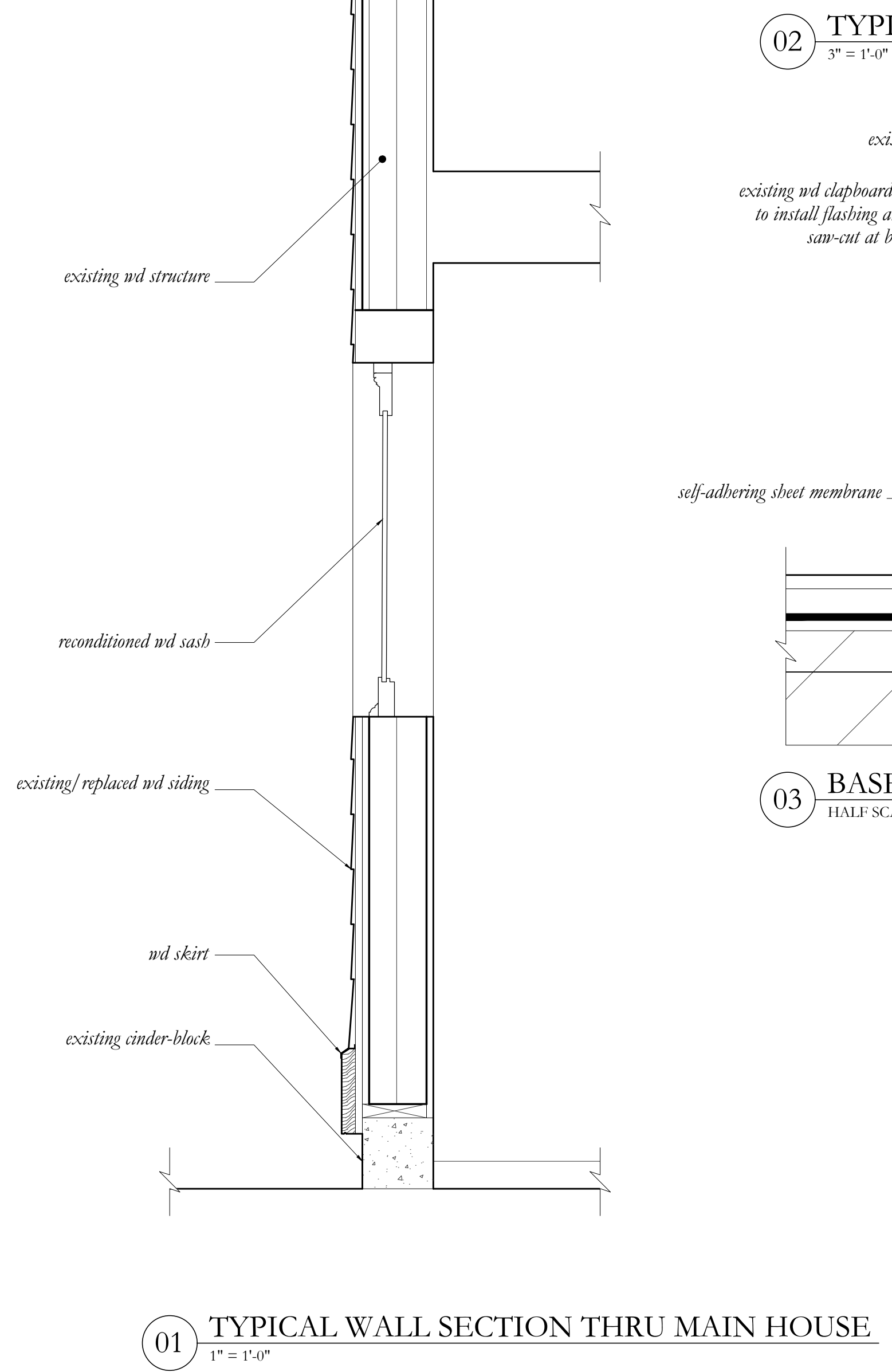
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ISSUE DATE: Jan. 17, 2017  
 SHEET: A-402  
 DRAWN BY: SAW/LMC  
 TITLE: ENLARGED ELEVATION: SHED ELL



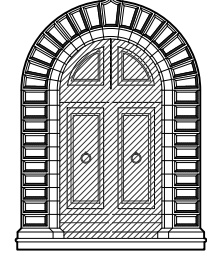
02 TYPICAL EAVE  
3" = 1'-0"

03 BASE FLASHING @ SHED RAKE  
HALF SCALE



01 TYPICAL WALL SECTION THRU MAIN HOUSE  
1" = 1'-0"

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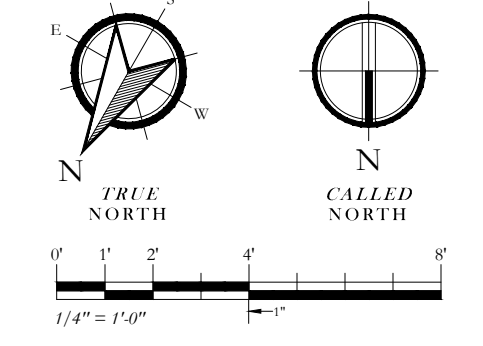


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PROJECT:

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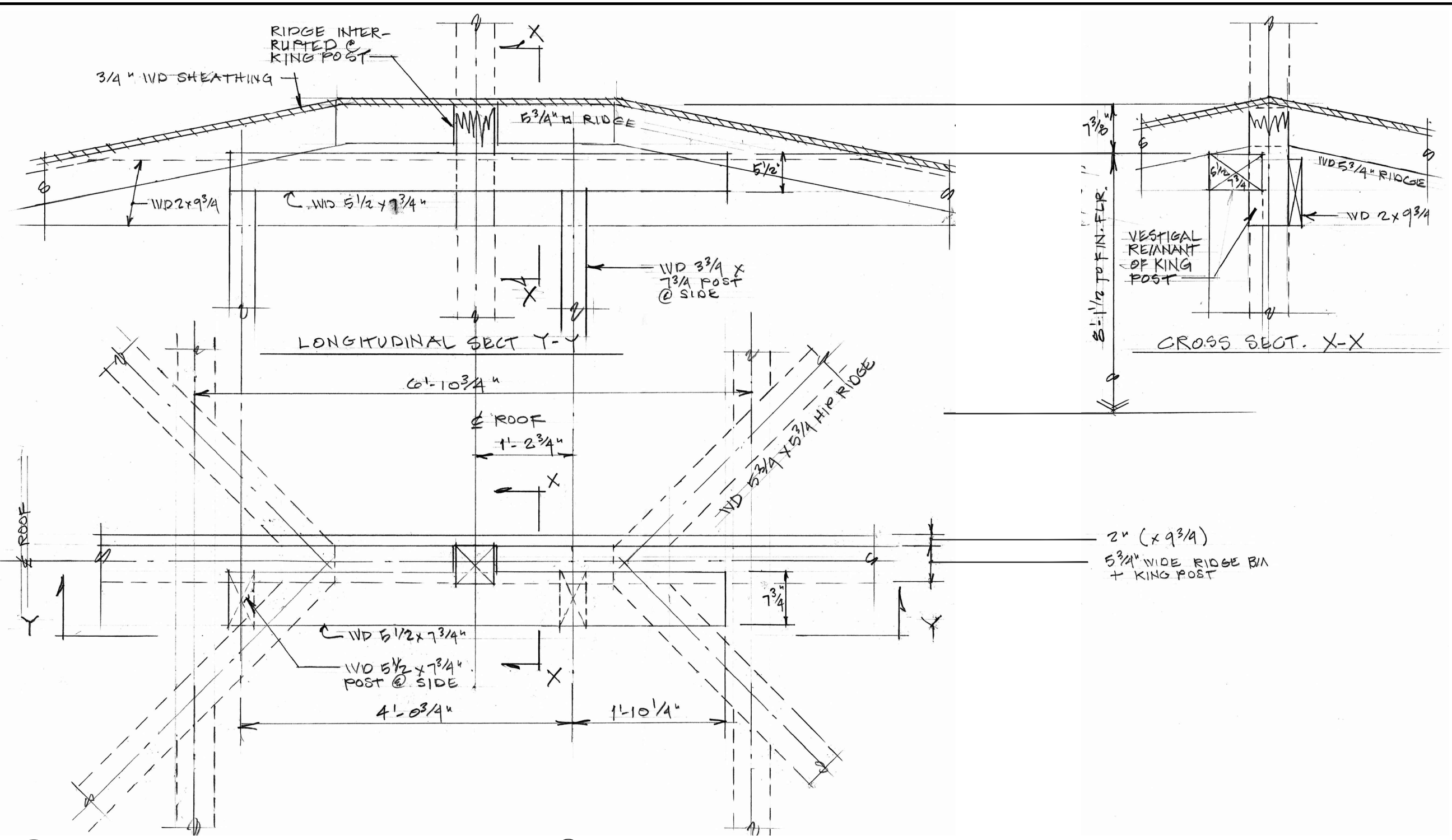


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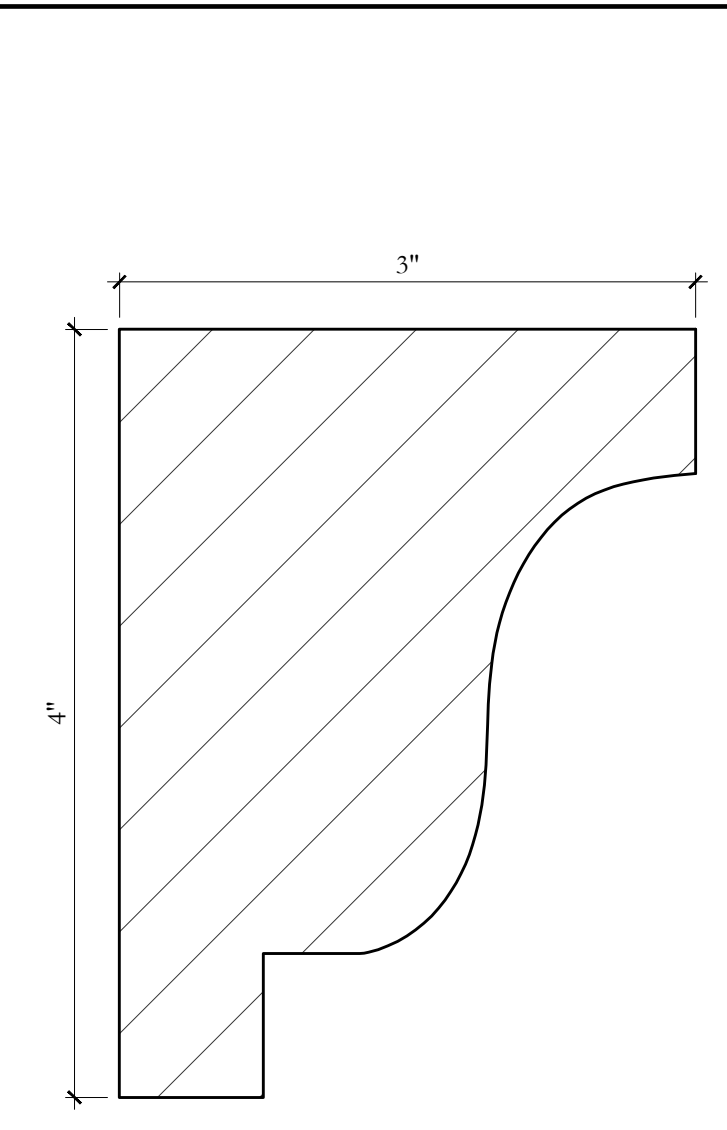
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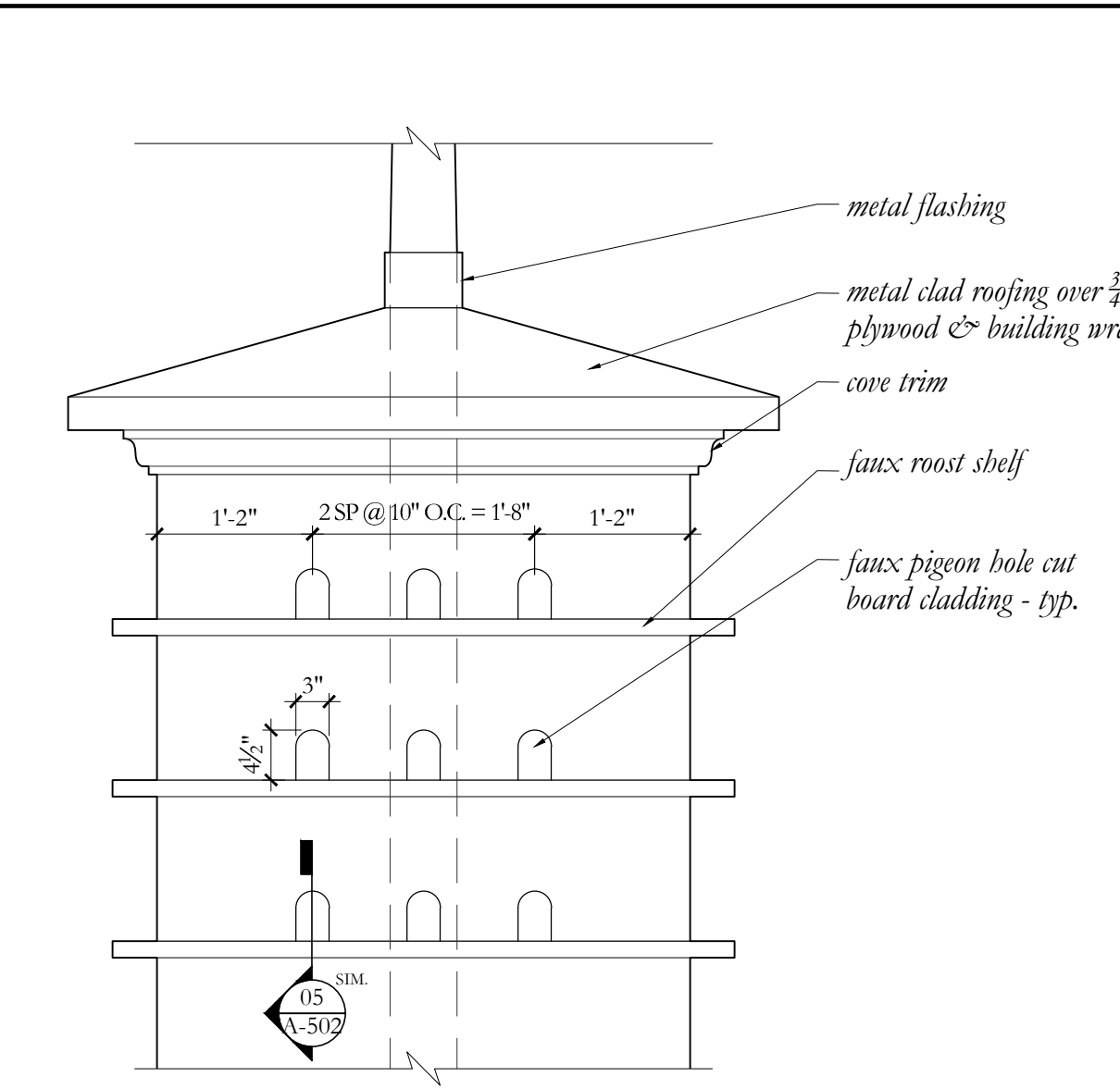
ISSUE DATE: Jan. 17, 2017 SHEET: A-501  
DRAWN BY: SAW/LMC  
TITLE: ROOF DETAILS



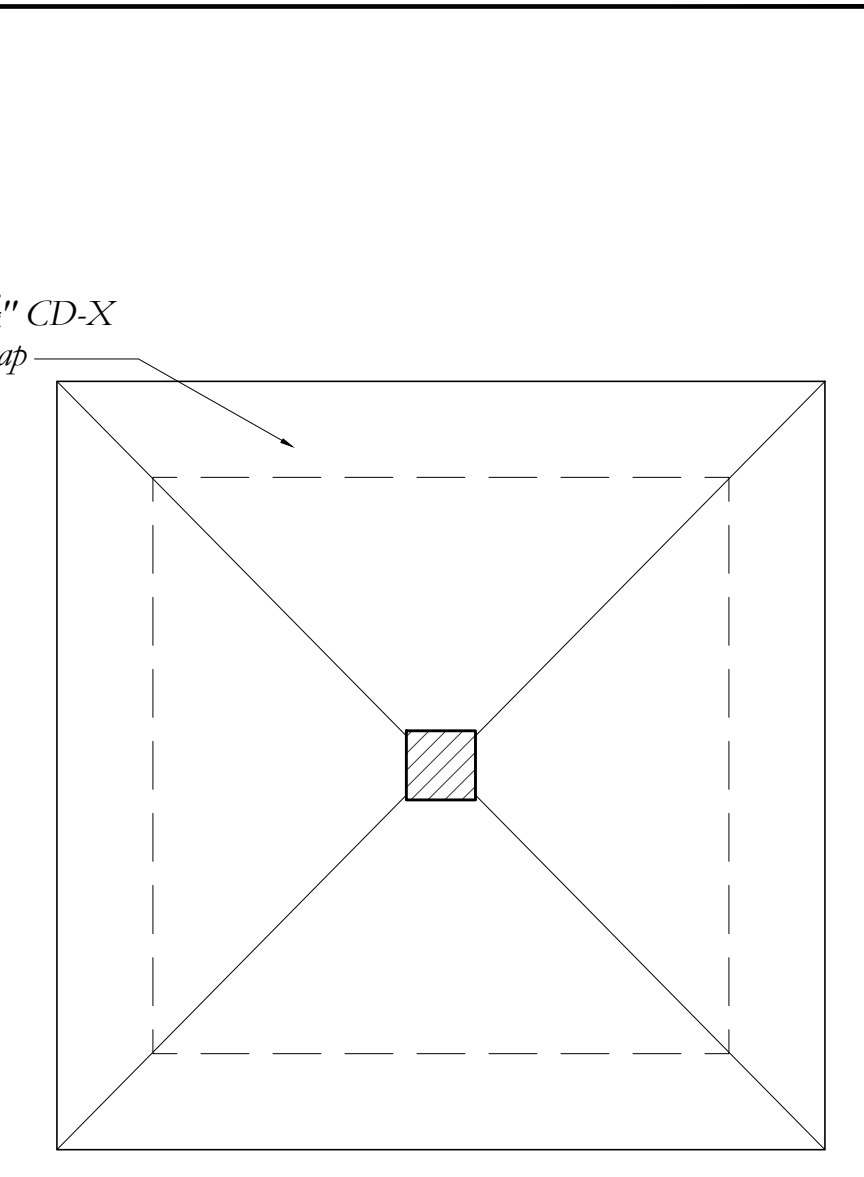
01 EXISTING ROOF FRAMING PLAN @ HIP  
3/4" = 1'-0"



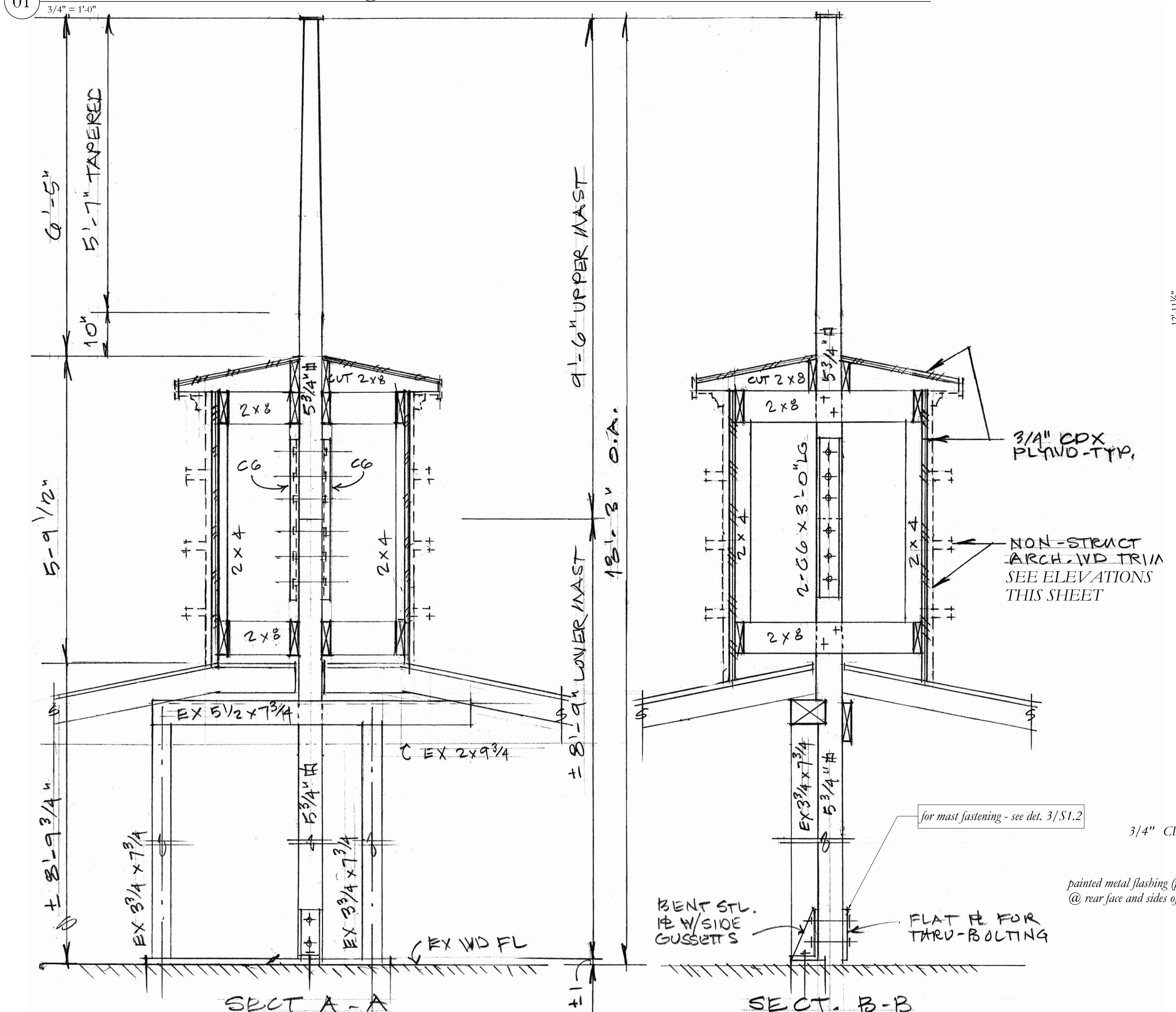
03 PROFILE - COVE TRIM  
FULL SCALE



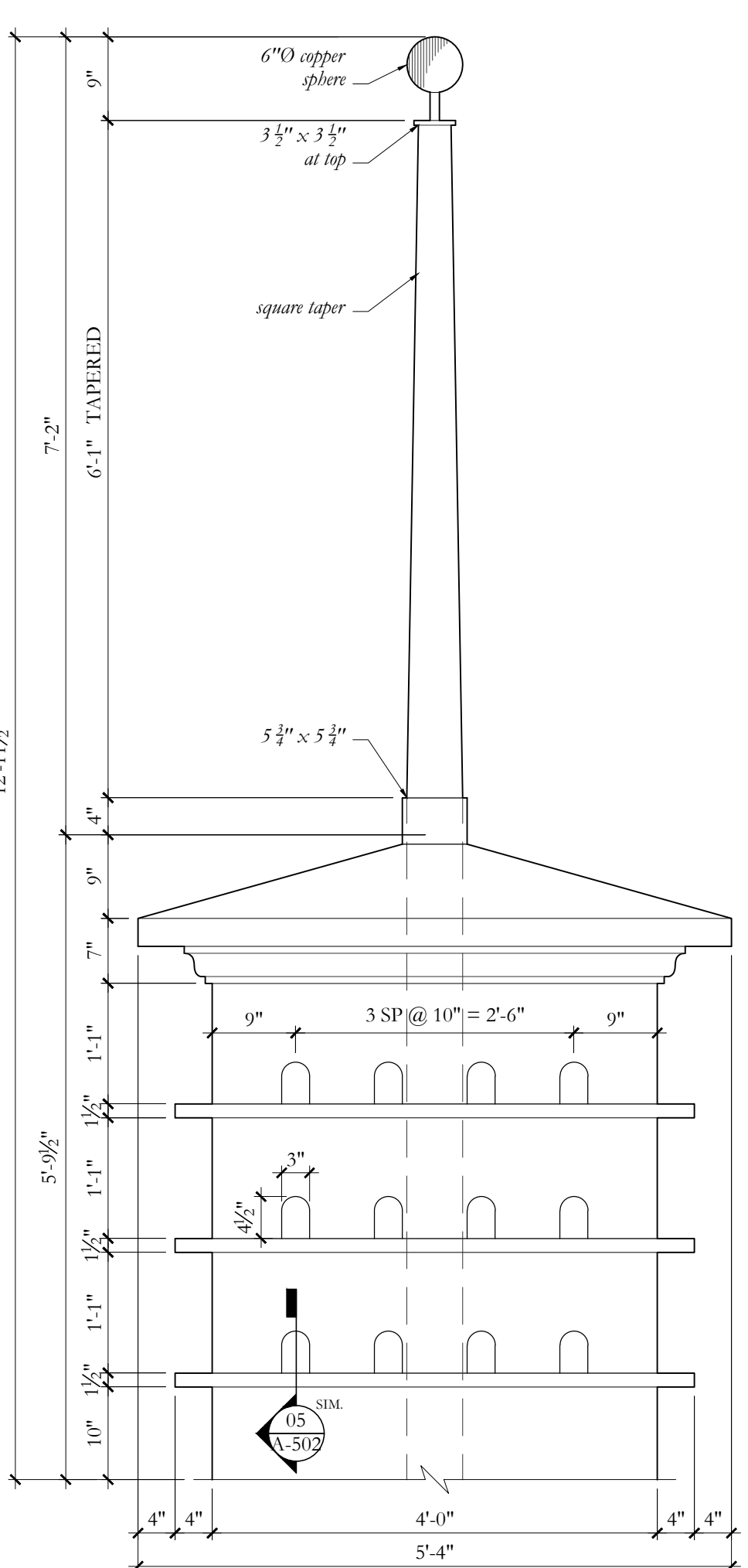
05 ELEV.: SIDES  
3/4" = 1'-0"



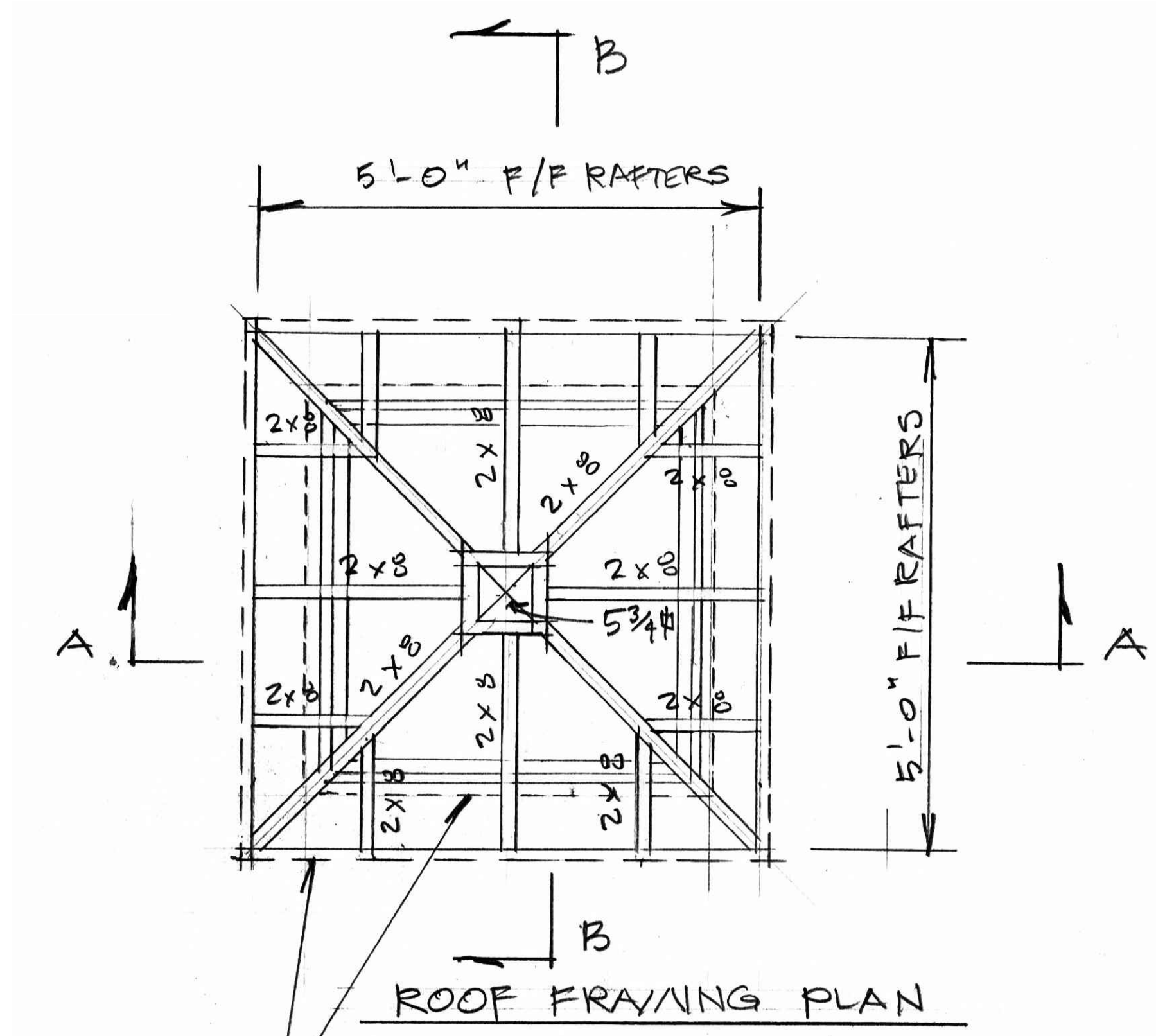
06 ROOF PLAN  
3/4" = 1'-0"



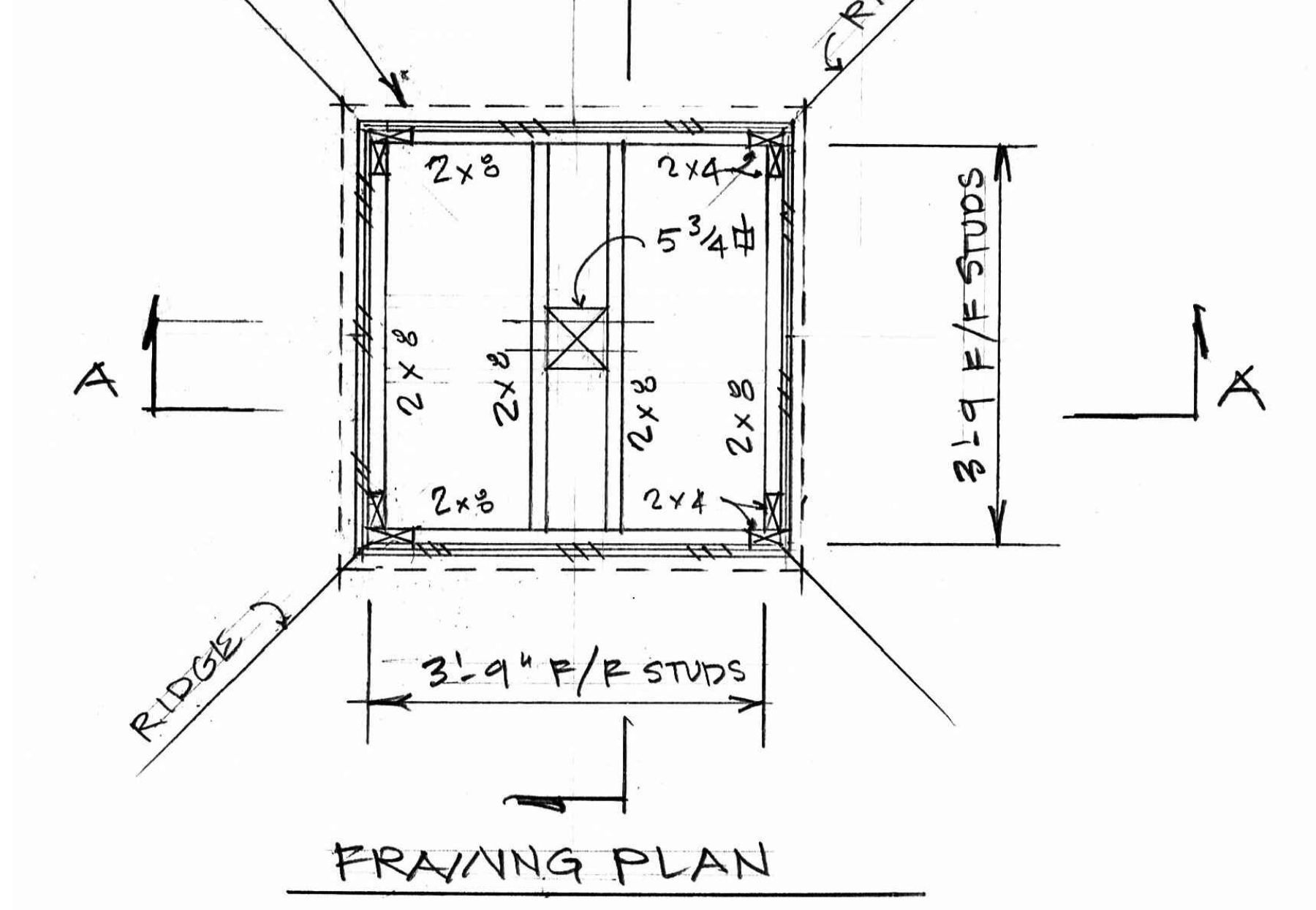
02 DOVECOTE FRAMING SECTIONS  
3/4" = 1'-0"



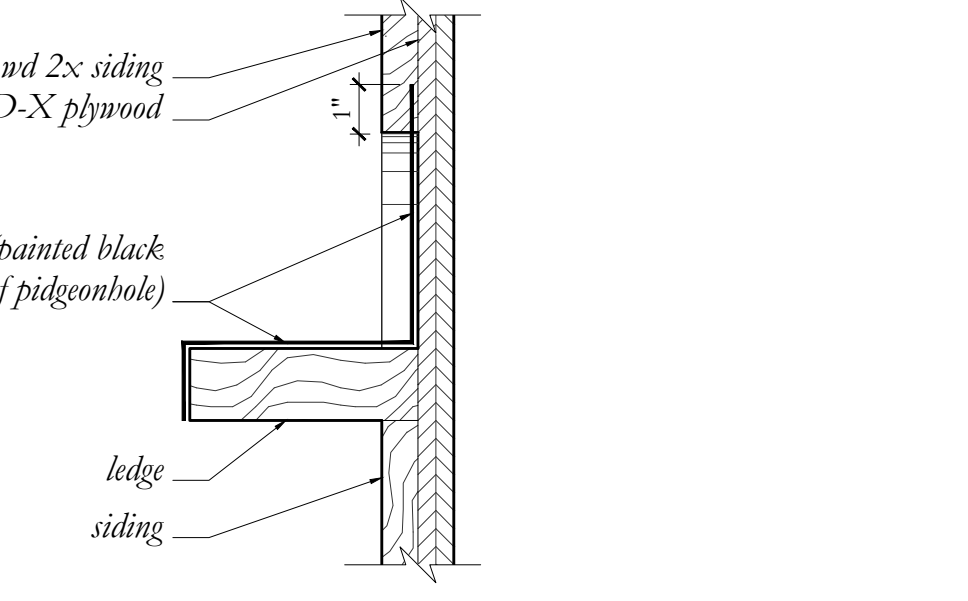
04 ELEV.: FRONT & REAR  
3/4" = 1'-0"



07 ROOF FRAMING PLAN




07 F/RAMING PLAN  
3/4" = 1'-0"



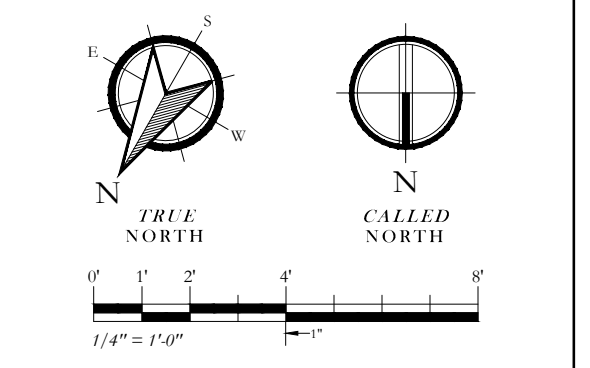
05 TYPICAL PIDGEONHOLE  
3" = 1'-0"

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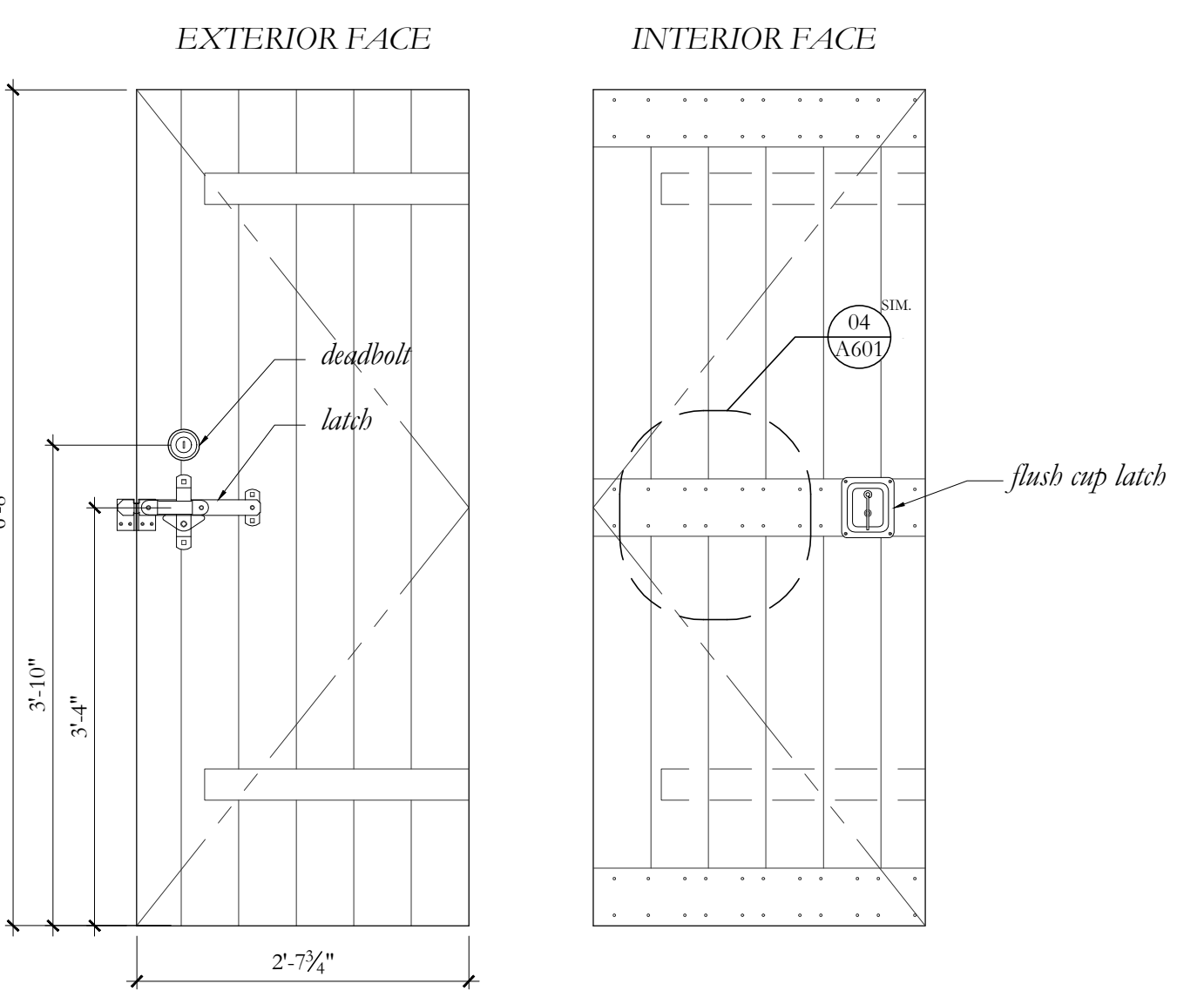
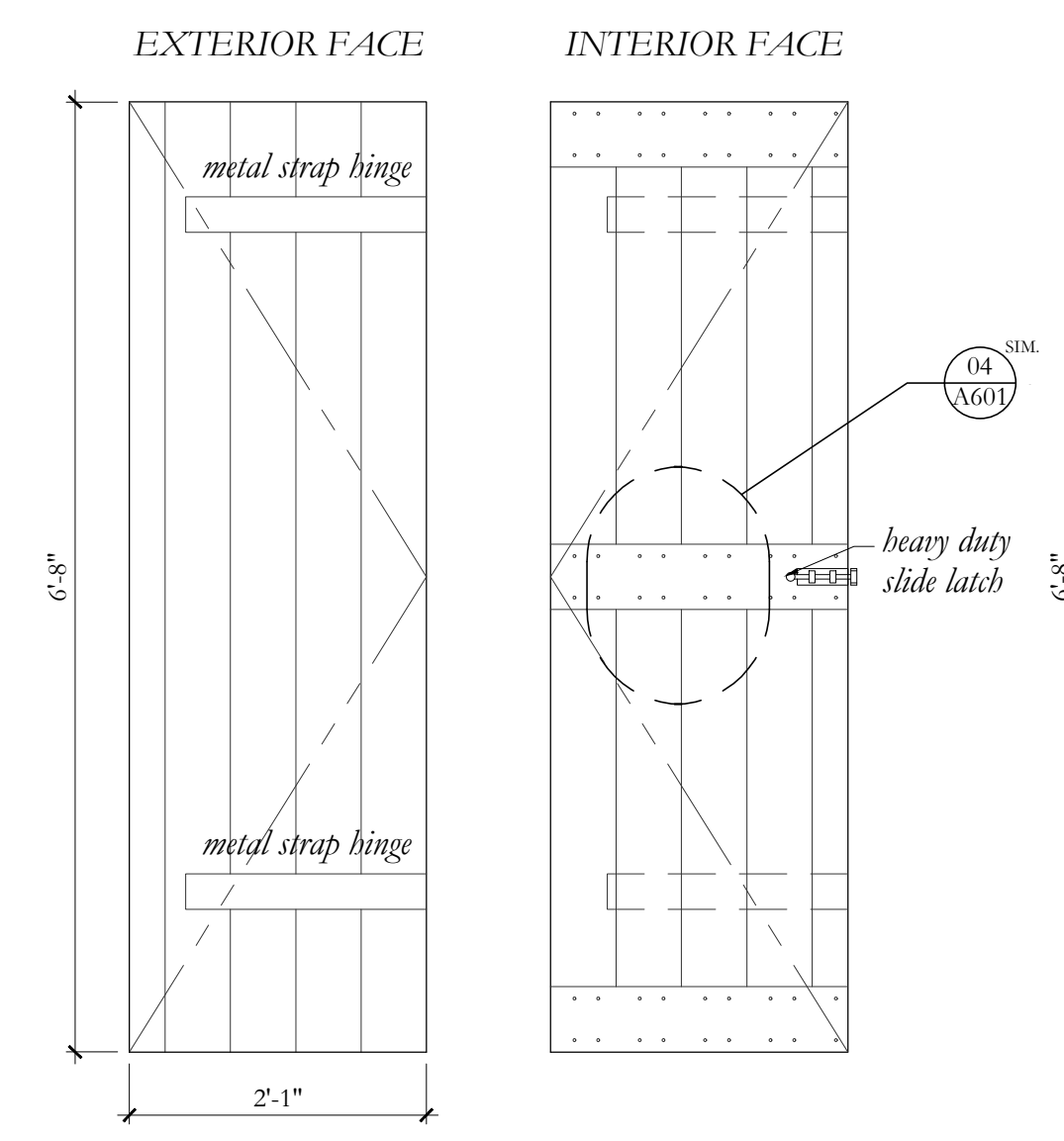
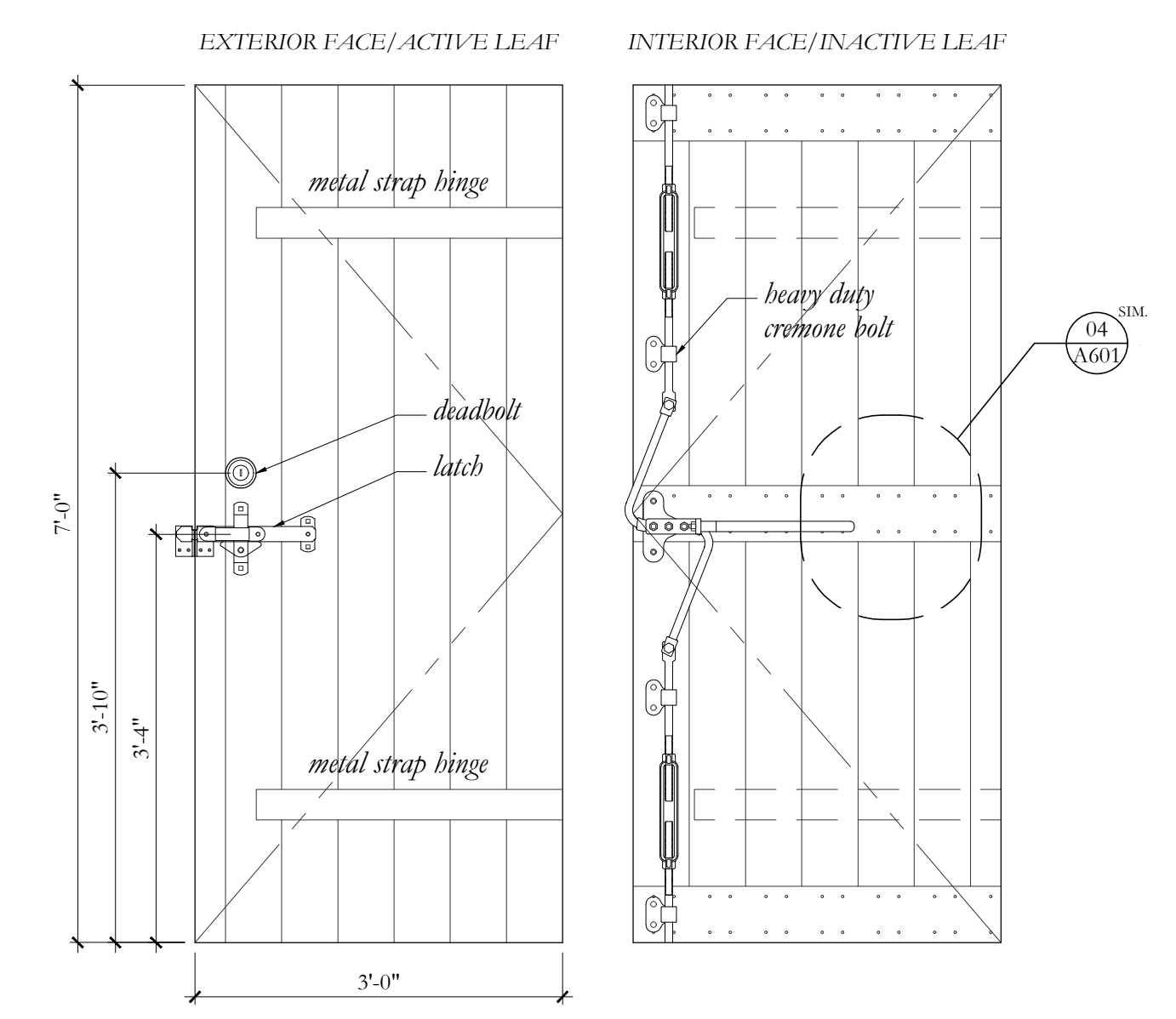
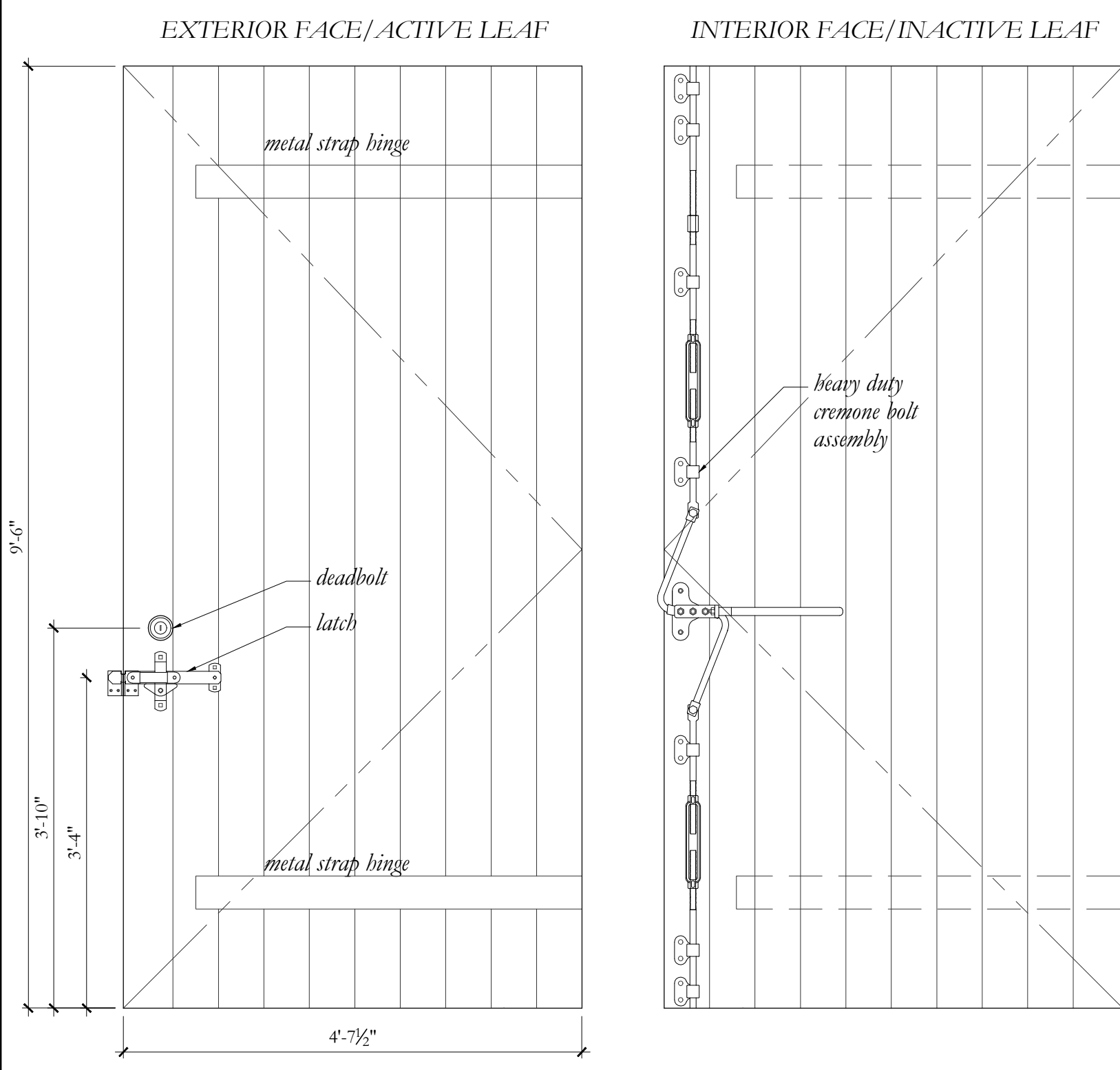


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ISSUE DATE: Jan. 17, 2017  
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 SHEET: A-502  
 TITLE: ALTERNATE #1 - HISTORIC DOVECOTE



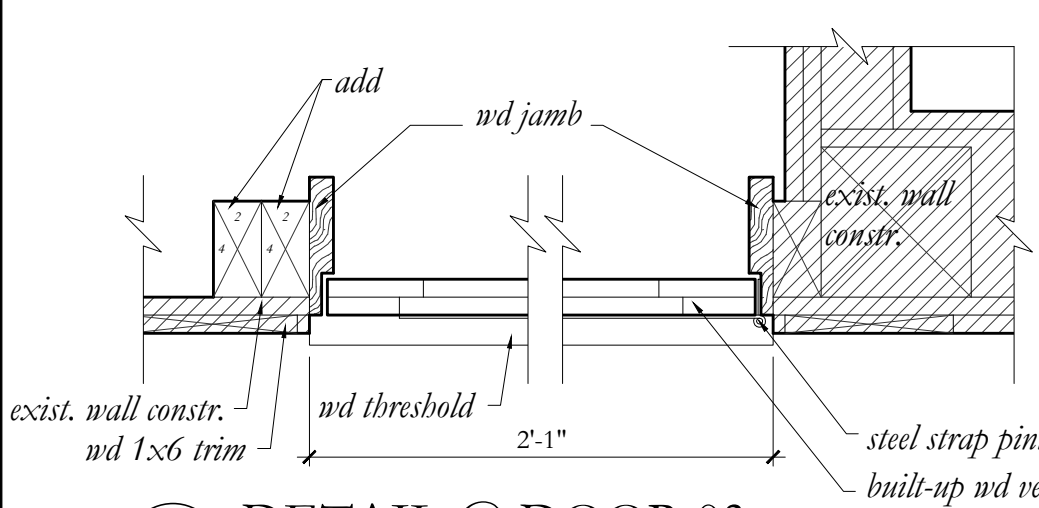
01 PLANK & PLYWOOD (SEE DET. 4/A-401)

02 3/4" PLANK

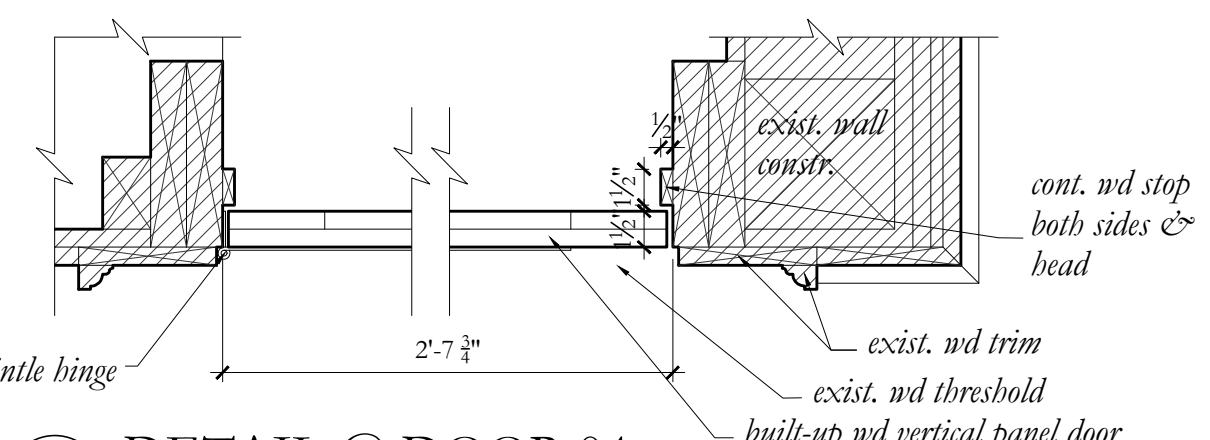
03 3/4" PLANK

04 3/4" PLANK

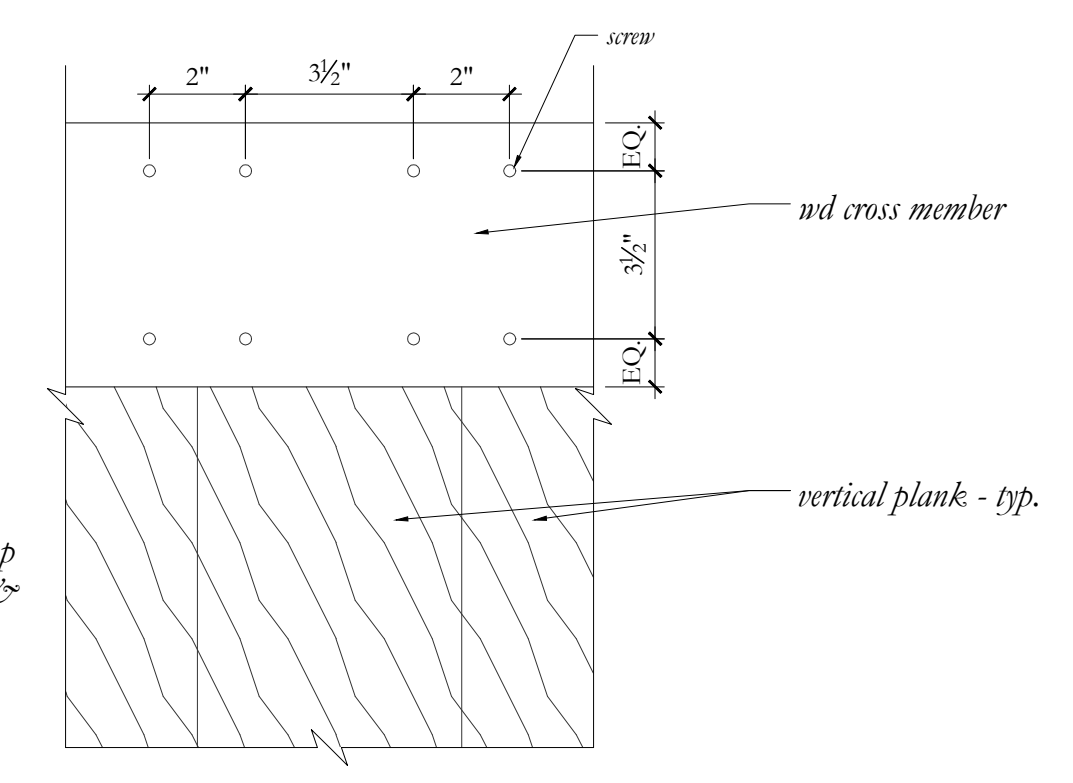
01 DOORS  
3/4" = 1'-0"



02 DETAIL @ DOOR 03  
1-1/2" = 1'-0"



03 DETAIL @ DOOR 04  
1-1/2" = 1'-0"



04 TYPICAL PLANK DOOR RAIL SCREW PATTERN  
3" = 1'-0"

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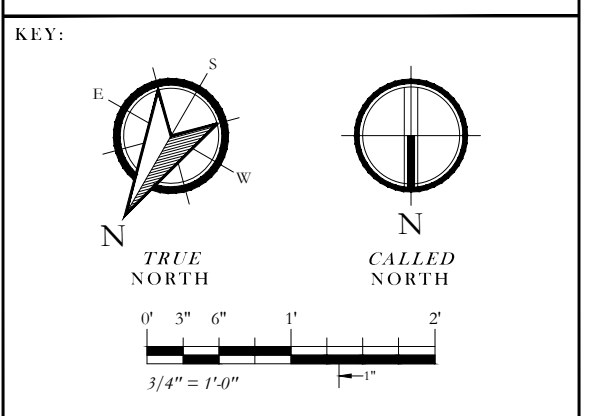
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ISSUE DATE: Jan. 17, 2017  
DRAWN BY: SAW  
TITLE: DOORS

SHEET: A-601

DOORS