



Town of Arlington, Massachusetts

MILL BROOK CORRIDOR & WELLINGTON PARK REVITALIZATION PROJECT

35 Grove Street
Arlington, Massachusetts

TOWN OF ARLINGTON, MASSACHUSETTS

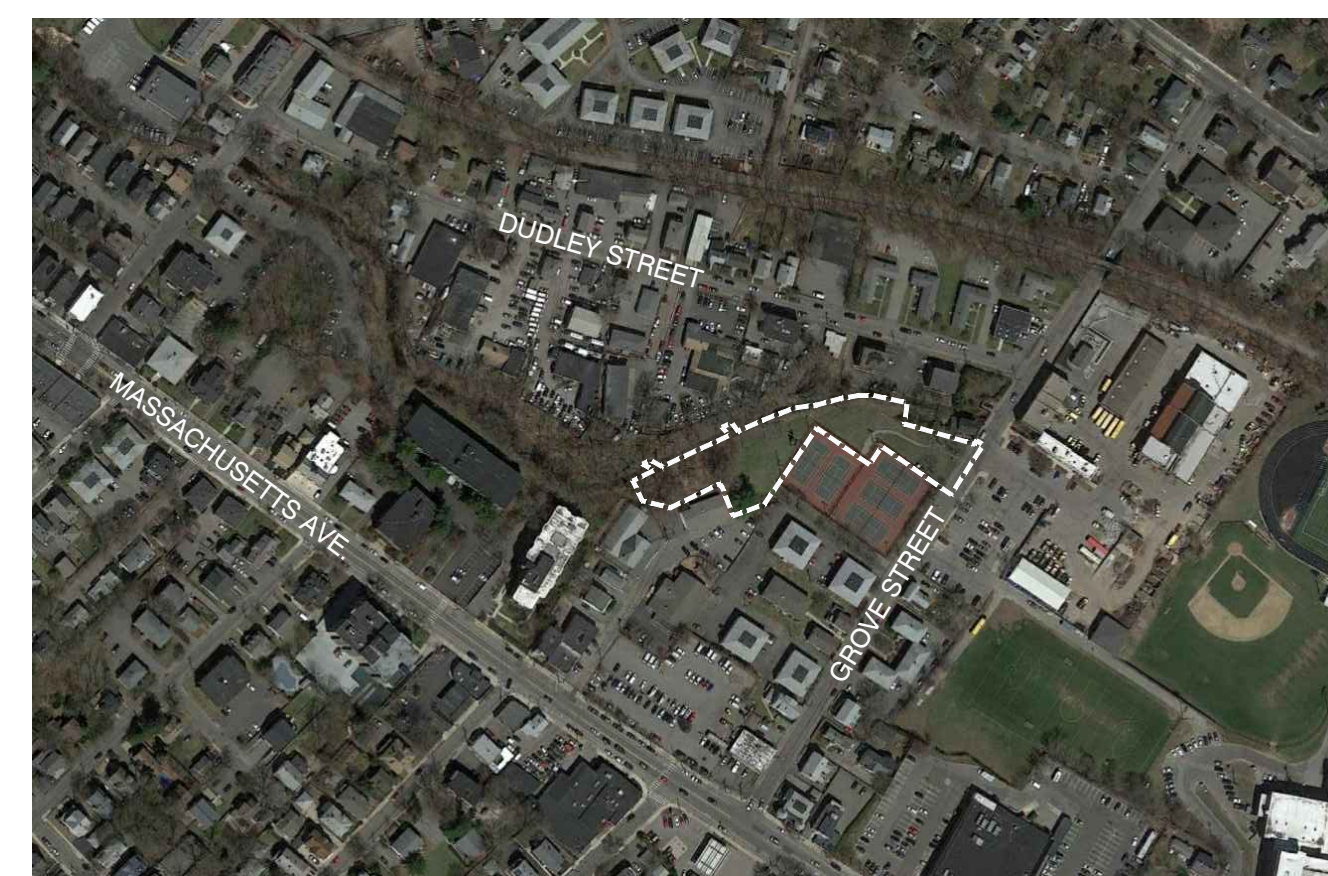
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FOR ILLUSTRATIVE PURPOSES ONLY

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LOCUS MAP

CONSTRUCTION DOCUMENTS

JANUARY 28, 2019

Prepared By



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LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- - - - - APPROXIMATE LIMIT OF INVASIVE SPECIES
- - - - - APPROXIMATE RIVERFRONT MITIGATION AREA
- - - - - 25' RIVERFRONT BUFFER
- - - - - 50' RIVERFRONT BUFFER
- - - - - 100' RIVERFRONT BUFFER
- - - - - 200' RIVERFRONT BUFFER
- CHAIN LINK FENCE
- OHW
- S SEWER LINE
- W WATER LINE
- D STORM DRAIN LINE
- RETAINING WALL
- EDGE OF WOODS
- EASEMENT
- 65 MAJOR CONTOUR LINE
- 66 MINOR CONTOUR LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- SHRUB/BUSH
- LIGHT POLE
- SEWER MANHOLE
- UTILITY POLE
- ELECTRICAL HAND HOLE
- CATCH BASIN
- GAS VALVE
- WATER VALVE
- BORING LOCATION (3)
- GUY WIRE
- BOULDER

GENERAL NOTES

1. THE FIELD SURVEY WAS PERFORMED BY WESTON & SAMPSON INC., PEABODY, MA IN SEPTEMBER 2018. ANY QUANTITIES SHOWN ON THE PLANS ARE FOR BIDDING PURPOSES ONLY. ALL BIDDERS ARE REQUIRED TO INSPECT THE PROJECT SITE IN ITS ENTIRETY PRIOR TO SUBMITTING THEIR BID, AND BECOME FAMILIAR WITH ALL CONDITIONS AS THEY MAY AFFECT THEIR BID. CONTRACTOR AND SUB-CONTRACTOR SHALL BE FAMILIAR WITH ALL DRAWINGS AND SPECIFICATIONS PRIOR TO COMMENCING THE CONSTRUCTION.
2. UTILITIES SHOWN HEREON ARE COMPILED FROM SURFACE FEATURES, PAINT MARKINGS, AND AVAILABLE RECORD INFORMATION. WESTON & SAMPSON DOES NOT WARRANT THE LOCATION OR EXISTENCE OF SAID UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF SUCH UTILITIES, PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7233 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO PROJECT REPRESENTATIVE PRIOR TO EXCAVATION WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
4. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
5. ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON 'AS-BUILT' DRAWINGS.
6. ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE PROJECT LIMITS, SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST AND TO THE SATISFACTION OF THE OWNER.

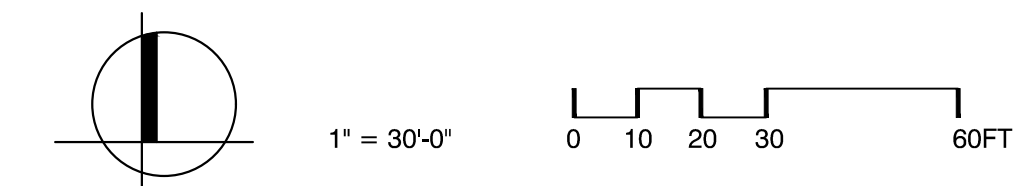
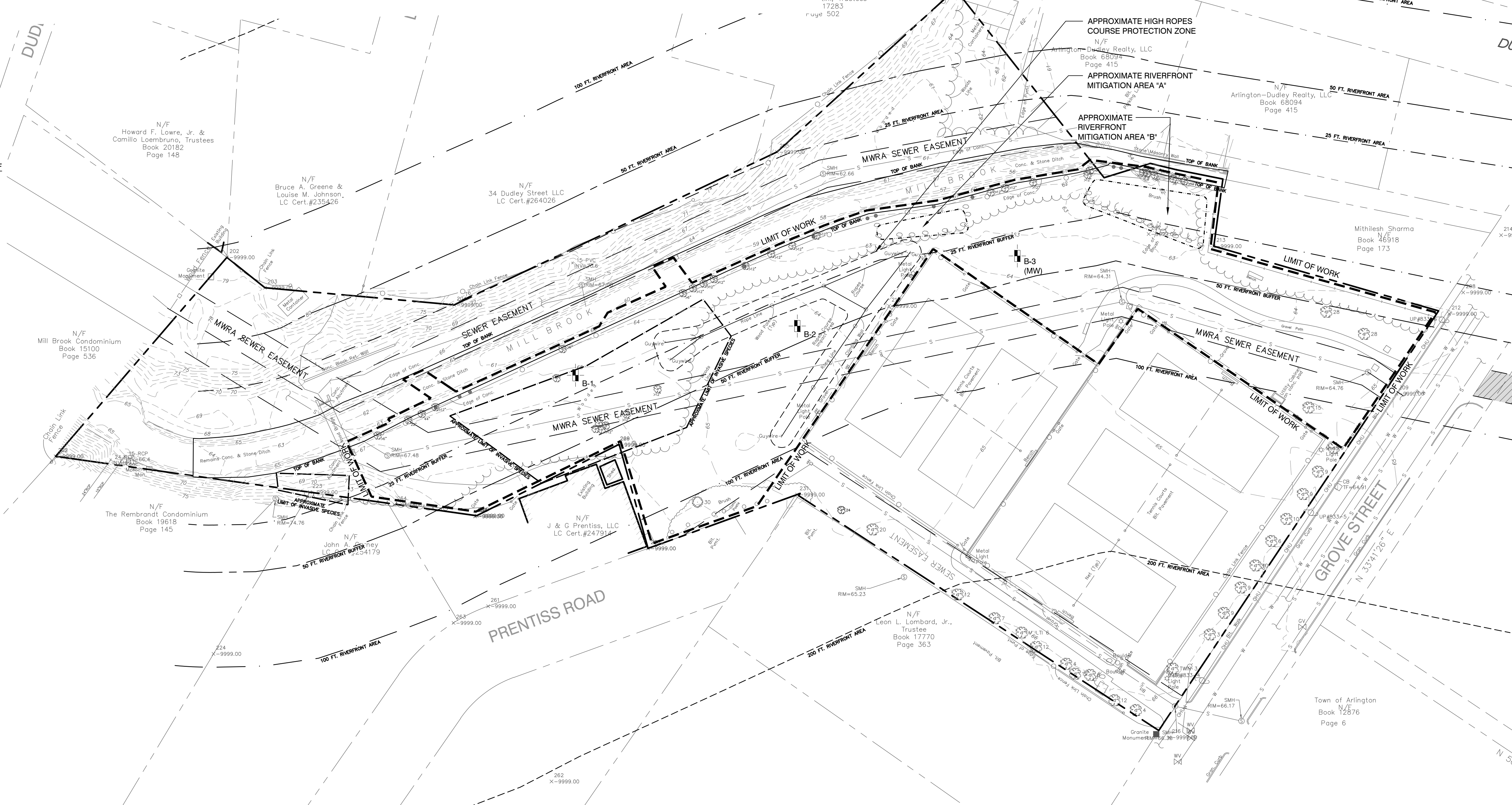
7. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT HIS EMPLOYEES, AS WELL AS PUBLIC USERS, FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS INCLUDING, BUT NOT LIMITED TO, THE ERECTION OF TEMPORARY WALKS, STRUCTURES, PROTECTIVE BARRIERS, COVERINGS, OR FENCES AS NEEDED.
8. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA 'COMPETENT PERSON' PRIOR TO CONSTRUCTION.
9. FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER'S REPRESENTATIVE.
10. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES PER SPECIFICATIONS AND PER TOWN OF ARLINGTON WETLAND BY LAW REGULATIONS FOR TREE PROTECTION. NO STOCKPILING OF MATERIAL, EQUIPMENT, OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL ERECT TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
11. NO FILLING SHALL OCCUR AROUND EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER OR OWNER'S REPRESENTATIVE.
12. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED AND CLEANED, AS OFTEN AS NECESSARY PER THE SPECIFICATIONS, TO KEEP FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND REMAIN OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS, AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES INCLUDING, BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES, AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK FOR THE ENTIRE DURATION OF CONSTRUCTION.
13. THE CONTRACTOR'S STAGING AREA MUST BE WITHIN THE LIMIT OF WORK AND IN AREAS APPROVED BY THE OWNER. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
14. THE CONTRACTOR SHALL KEEP ALL STREETS AND WALKS THAT ARE NOT RESTRICTED FROM PUBLIC USE DURING CONSTRUCTION BROOM CLEAN AT ALL TIMES. THE CONTRACTOR SHALL USE ACCEPTABLE METHODS AND MATERIALS TO MAINTAIN ADEQUATE DUST CONTROL THROUGHOUT CONSTRUCTION.

15. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER'S REPRESENTATIVE.
16. SEE WRITTEN SPECIFICATIONS FOR HOURS OF CONSTRUCTION OPERATIONS. HOURS AND DAYS OF WORK ARE SUBJECT TO CHANGE BASED ON EVENTS SCHEDULED FOR THE TOWN OF ARLINGTON.
17. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL DEVELOP A PEDESTRIAN MANAGEMENT PLAN THAT INDICATES ALTERNATIVE DIRECTIONS OF PEDESTRIAN TRAFFIC, WHERE IMPACTED DURING CONSTRUCTION ACTIVITIES.
18. THE CONTRACTOR SHALL EMPLOY SPECIAL CARE IN SCHEDULING CONSTRUCTION SO AS TO MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN, AND VEHICULAR TRAFFIC.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SWPPP/NOI REPORTING REQUIREMENTS DURING THE ENTIRETY OF CONSTRUCTION.
20. ANY PERMITTING FEES REQUIRED DURING THE COURSE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR.
21. THE CONTRACTOR IS RESPONSIBLE FOR THE SCHEDULING AND COSTS OF ANY REQUIRED POLICE DETAILS FOR GROVE STREET, PRENTISS ROAD, SITE DELIVERIES, AND PEDESTRIAN MANAGEMENT.

SPECIAL LEGEND & NOTES

EXISTING TREES AND TREE STUMPS ALONG SOUTH BANK OF MILL BROOK:
(<6" CALIPER NOT SHOWN)

- EXISTING DECIDUOUS TREE AT BROOK EDGE >6" CALIPER APPROXIMATE LOCATION, VERIFY IN FIELD
- EXISTING DECIDUOUS TREE AT BROOK EDGE >12" CALIPER APPROXIMATE LOCATION, VERIFY IN FIELD
- STUMP OR DEAD TREE AT BROOK EDGE >6" CALIPER APPROXIMATE LOCATION, VERIFY IN FIELD



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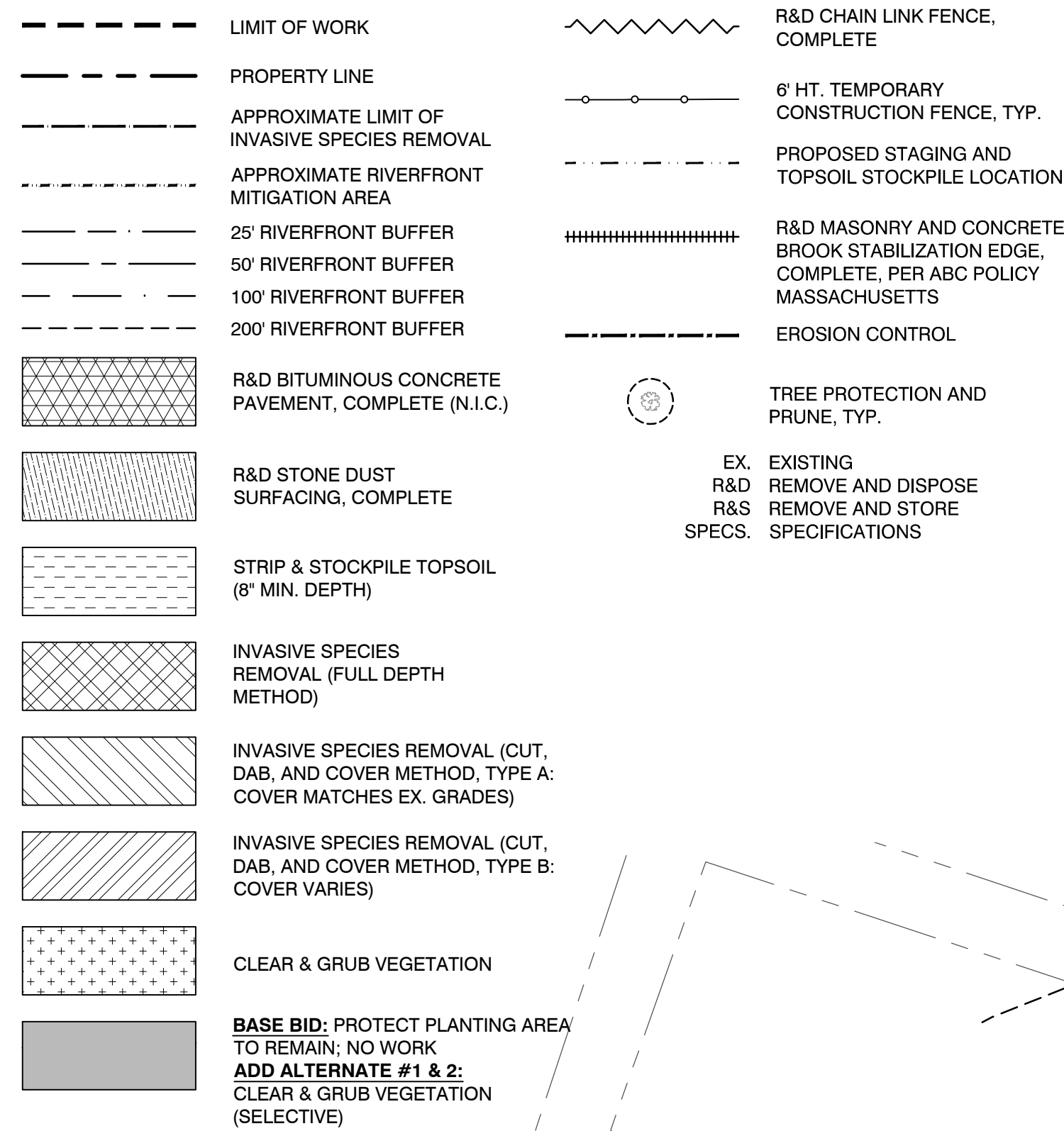
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EXISTING CONDITIONS PLAN

Sheet Number:
L1.01

LEGEND



DEMOLITION & SITE PREPARATION NOTES

- THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE REQUIRED EXCAVATION AND DEMOLITION ACTIVITIES, AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
- THE CONTRACTOR MUST NOTIFY THE OWNER OF ANY WORK TO BE COMPLETED WITHIN THE RIGHT-OF-WAY AT LEAST FORTY-EIGHT HOURS PRIOR TO COMMENCING WORK.
- THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
- UNLESS SPECIFICALLY NOTED TO BE REMOVED AND STOCKPILED (R&S) OR REUSED AND RELOCATED (R&R), ALL SITE FEATURES CALLED TO BE REMOVED AND DISPOSED (R&D) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC, AND TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT A TOWN OF ARLINGTON APPROVED DISPOSAL SITE AT NO COST TO THE OWNER.
- ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE CONTRACTOR/OWNER.
- DURING EARTHWORK OPERATIONS, THE CONTRACTOR SHALL TAKE CARE NOT TO DISTURB EXISTING MATERIALS TO REMAIN OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL, AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED, AS SPECIFIED, TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER'S REPRESENTATIVE, TO REUSE EXISTING PAVEMENT BASE COURSE IF IT MEETS THE

REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.

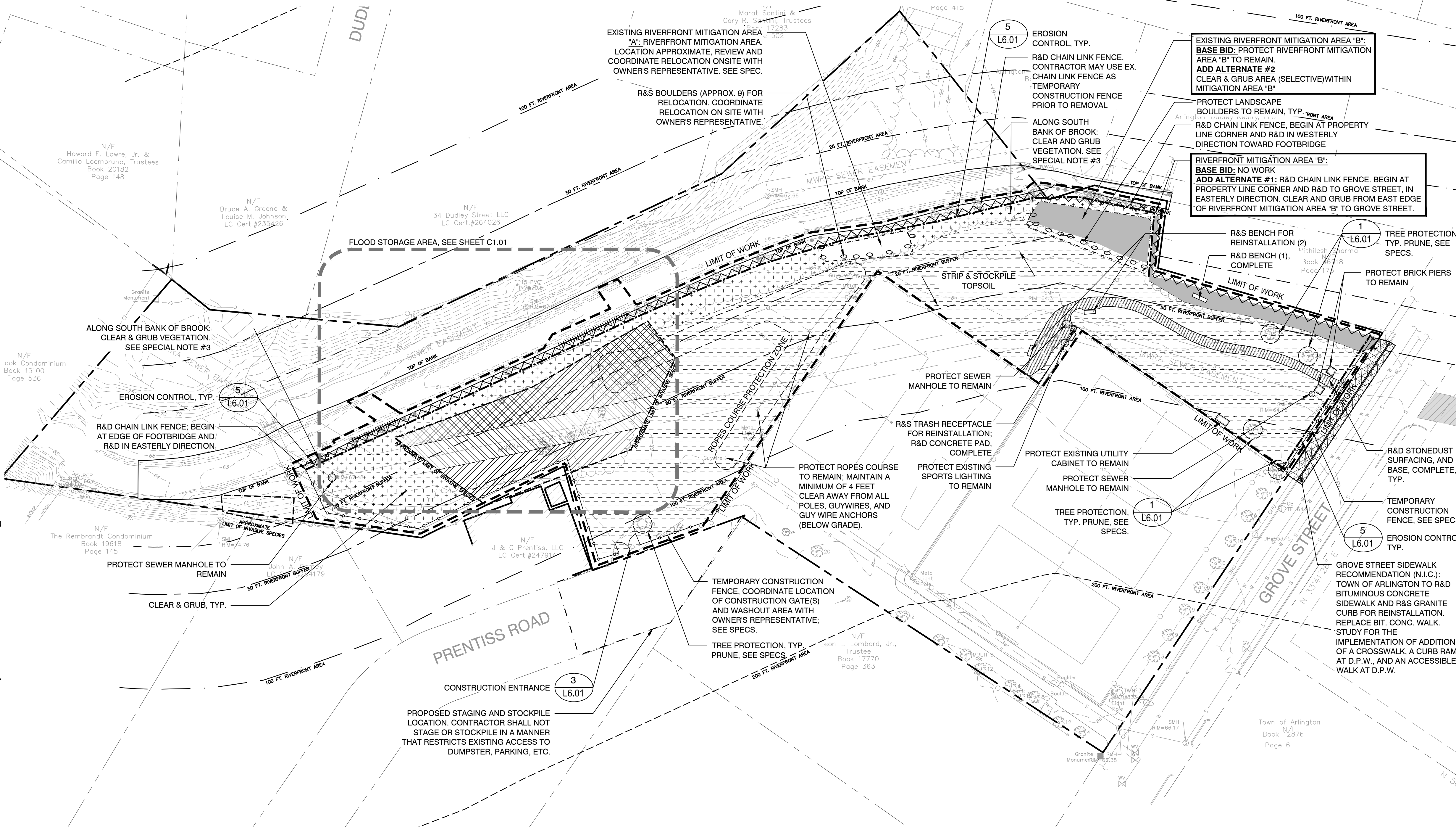
- ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT IF SPECIFICALLY NOTED OTHERWISE.
- STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE AS INDICATED ON PLANS WITH APPROPRIATE EROSION AND SEDIMENT CONTROL. THE CONTRACTOR SHALL PROVIDE TESTING RESULTS THAT THE SOIL IS SUITABLE FOR REUSE IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR SHALL SECURELY COVER STOCKPILE.
- LOAM BORROW/TOPSOIL EXCAVATED AND DESIGNATED FOR REUSE SHALL BE SCREENED AND BLENDED WITH SUITABLE AMENDMENT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS. ALL EXCESS TOPSOIL EXCAVATED SHALL BE PROPERLY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. AS PER THE SPECIFICATIONS, AND PER TOWN REGULATIONS.
- THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN PER SPECIFICATIONS AND TOWN OF ARLINGTON WETLAND BYLAW REGULATIONS FOR TREE PROTECTION. CONTRACTOR SHALL INSTALL A TREE PROTECTION BARRIER AFTER CLEARING TURF AND UNDERBRUSH BY HAND, AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.
- THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER AND OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR TO TAKE ALL PRECAUTIONS AND MEASURES REQUIRED TO PREVENT DAMAGE TO THE EXISTING PAVEMENT TO REMAIN AS A RESULT OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL REPAIR DAMAGED PAVEMENT AT NO COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE SITE AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PERIOD. HE/SHE HAS THE OPTION TO USE THE EXISTING CHAIN LINK FENCE AS TEMPORARY CONSTRUCTION FENCE PRIOR TO ITS REMOVAL.

EROSION AND SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO SPECIFICATIONS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. REGULATIONS AND THE TOWN OF ARLINGTON WETLAND BYLAW REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
- EXCAVATED MATERIAL STOCKPILED IN THE AREA DESIGNATED ON THIS PLAN SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
- ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF WORK SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION. EACH STRUCTURE SHALL BE CLEANED AND CLEARED.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/PRIVATE ROADS. THE CONTRACTOR SHALL PROVIDE A WASHOUT AREA ON SITE.

SPECIAL NOTES:

- THE CONTRACTOR SHALL CUT, DAB, AND COVER OR PERFORM FULL DEPTH REMOVAL OF INVASIVE SPECIES IN THE AREAS INDICATED ON THE PLAN. SEE SPECIFICATIONS.
- FOR AREAS CALLED OUT TO HAVE REMOVAL OF INVASIVE SPECIES, THE CONTRACTOR SHALL REMOVE TO DEPTH AS NOTED IN THE SPECIFICATIONS AND DISPOSE OF VEGETATION AND SOIL AT A TOWN OF ARLINGTON APPROVED FACILITY (IN TOWN OR OTHER). SEE SPECIFICATIONS.
- FOR AREAS CALLED OUT TO HAVE CUT, DAB, AND COVER REMOVAL OF INVASIVE SPECIES:
 TYPE A: COVER SHALL MATCH EXISTING GRADES. SEE GRADING PLAN.
 TYPE B: COVER VARIES. SEE GRADING PLAN.
 SEE SPECIFICATIONS AND 8(M) PERMIT FOR REQUIREMENTS WITHIN MWRA SEWER EASEMENT.
- CONTRACTOR TO COORDINATE WITH TOWN ARBORIST AND OWNER'S REPRESENTATIVE FOR THE EVALUATION OF CONDITION OF ALL TREES ALONG SOUTH EDGE OF BROOK. CLEAR & GRUB TREES <6" CALIPER. VINES & SHRUB AS IDENTIFIED FOR R&D BY ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. PROTECT TREES TO REMAIN AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. R&D ALL TREES IN POOR CONDITION OR POSING A HAZARD AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. PROTECT ALL TREE STUMPS PROVIDING WILDLIFE HABITAT AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. R&D ALL TREE STUMPS POSING A HAZARD AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. CONFIRM WITH TOWN ARBORIST AND OWNER'S REPRESENTATIVE PRIOR TO ANY SITE PREPARATION AND DEMOLITION WORK. PRUNE ALL TREES TO REMAIN PER SPEC. WITH PRIOR COORDINATION WITH AND APPROVAL OF OWNER'S REPRESENTATIVE, TOWN ARBORIST, AND PER TOWN OF ARLINGTON WETLAND BYLAW REGULATIONS.
- CONTRACTOR TO LOCATE AND FLAG ENTIRE LENGTH OF EXISTING MWRA SEWER EASEMENT WITHIN PROJECT LIMIT OF WORK PRIOR TO ANY SITE PREPARATION AND DEMOLITION ACTIVITIES, AND FOR THE DURATION OF CONSTRUCTION ACTIVITIES. SEE SPECIFICATIONS AND 8 (M) PERMIT FOR REQUIREMENTS WITHIN EASEMENT.
- ADD ALTERNATES (SEE SPECS):
 #1: R&D CHAIN LINK FENCE. BEGIN AT PROPERTY LINE CORNER AND R&D TO GROVE STREET, IN EASTERLY DIRECTION. CLEAR AND GRUB FROM EAST EDGE OF RIVERFRONT MITIGATION AREA "B" TO GROVE STREET.
 #2: CLEAR AND GRUB AREA (SELECTIVE).
- LIMITS OF PROPOSED BANK EXCAVATION OF MASONRY AND CONCRETE BROOK STABILIZATION EDGE ARE TO BE MARKED IN THE FIELD PRIOR TO DEMOLITION FOR OWNER'S REPRESENTATIVE OBSERVATION, REVIEW, AND APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION DEWATERING AND SURFACE WATER CONTROL TO ACHIEVE STABLE SUBGRADE CONDITIONS AND CONSTRUCTION IN-THE-DRY. GROUNDWATER LEVEL SHALL BE MAINTAINED 24-INCHES BELOW THE EXCAVATION/BACKFILL LEVEL DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PROPERLY DISPOSING OF EXCESS FILL, TREES, INVASIVE SPECIES, AND DEMOLITION DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES AT A PROPER OFF-SITE AREA IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND MASSACHUSETTS REGULATIONS AND POLICIES.



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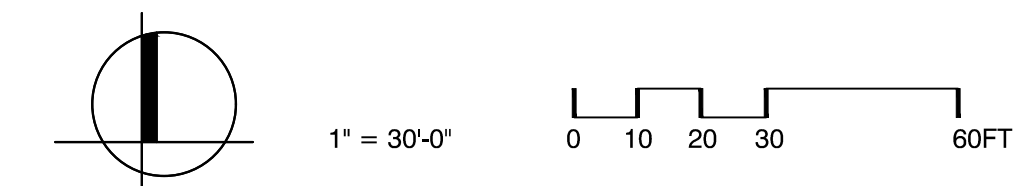
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SITE PREPARATION & DEMOLITION PLAN
 Sheet Number:
L2.01



LEGEND

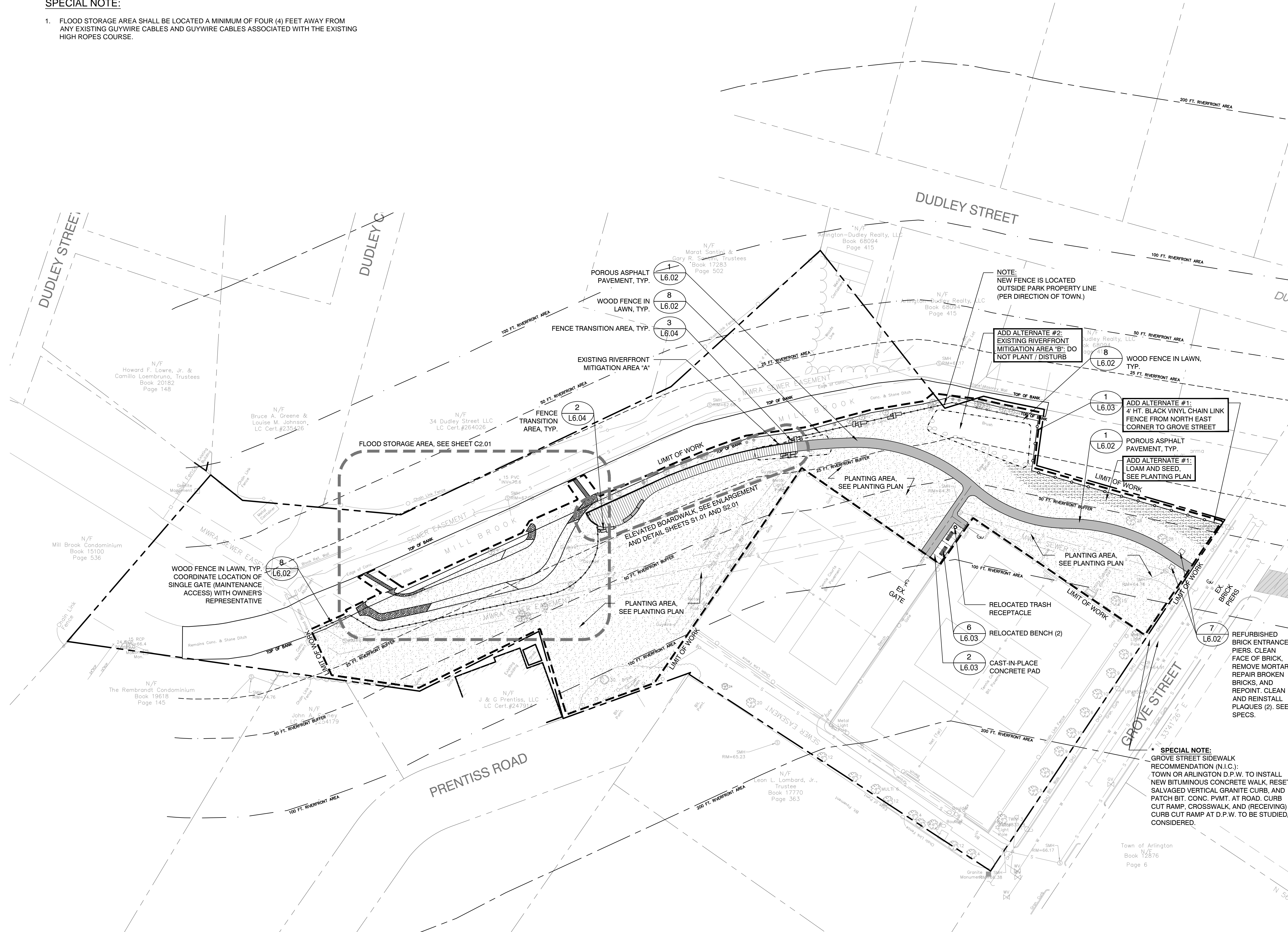
- LIMIT OF WORK
- - - - - PROPERTY LINE
- · - · - - APPROXIMATE RIVERFRONT MITIGATION AREA
- - - - - 25' RIVERFRONT BUFFER
- · - · - - 50' RIVERFRONT BUFFER
- - - - - 100' RIVERFRONT BUFFER
- - - - - 200' RIVERFRONT BUFFER
- [Pattern] CONCRETE PAVEMENT
- [Pattern] POROUS BITUMINOUS CONCRETE PAVEMENT
- [Pattern] ELEVATED BOARDWALK
- [Pattern] RIP RAP SLOPE
- [Pattern] PLANTING AREA, SEE PLANTING PLAN
- [Pattern] ADD ALTERNATE #1: PLANTING AREA, SEE PLANTING PLAN
- SCORE JOINT (SJ)
- EXPANSION JOINT (EJ)
- WOOD GUARDRAIL IN LAWN
- WOOD GUARDRAIL ON BOARDWALK
- 4 HT. BLACK VINYL CHAIN LINK FENCE
- ADD ALTERNATE #1: 4 HT. BLACK VINYL CHAIN LINK FENCE
- [Pattern] STONE WEIR
- RELOCATED TRASH RECEPTACLE
- ▬ RELOCATED BENCH
- TYP. SPECS. TYPICAL SPECIFICATIONS

MATERIALS NOTES

- 1. THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.

SPECIAL NOTE:

- 1. FLOOD STORAGE AREA SHALL BE LOCATED A MINIMUM OF FOUR (4) FEET AWAY FROM ANY EXISTING GUYWIRE CABLES AND GUYWIRE CABLES ASSOCIATED WITH THE EXISTING HIGH ROPES COURSE.



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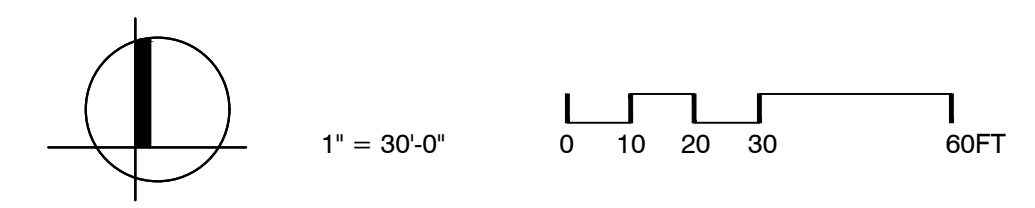
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Drawing Title:
MATERIALS PLAN

Sheet Number:
L3.01



LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- APPROXIMATE RIVERFRONT MITIGATION AREA
- CONCRETE PAVEMENT
- RIP RAP SLOPE
- BIOSTABILIZED SLOPE
- SCORE JOINT (SJ)
- EXPANSION JOINT (EJ)
- WOOD GUARDRAIL
- 4' HT. BLACK VINYL CHAIN LINK FENCE
- ADD ALTERNATE #1:
4' HT. BLACK VINYL CHAIN LINK FENCE
- STONE WEIR
- RELOCATED TRASH RECEPTACLE
- TYP. DIMENSION
- TYP. ARC DIMENSION
- RADIUS DIMENSION
- TYP. SPECS.

LAYOUT NOTES

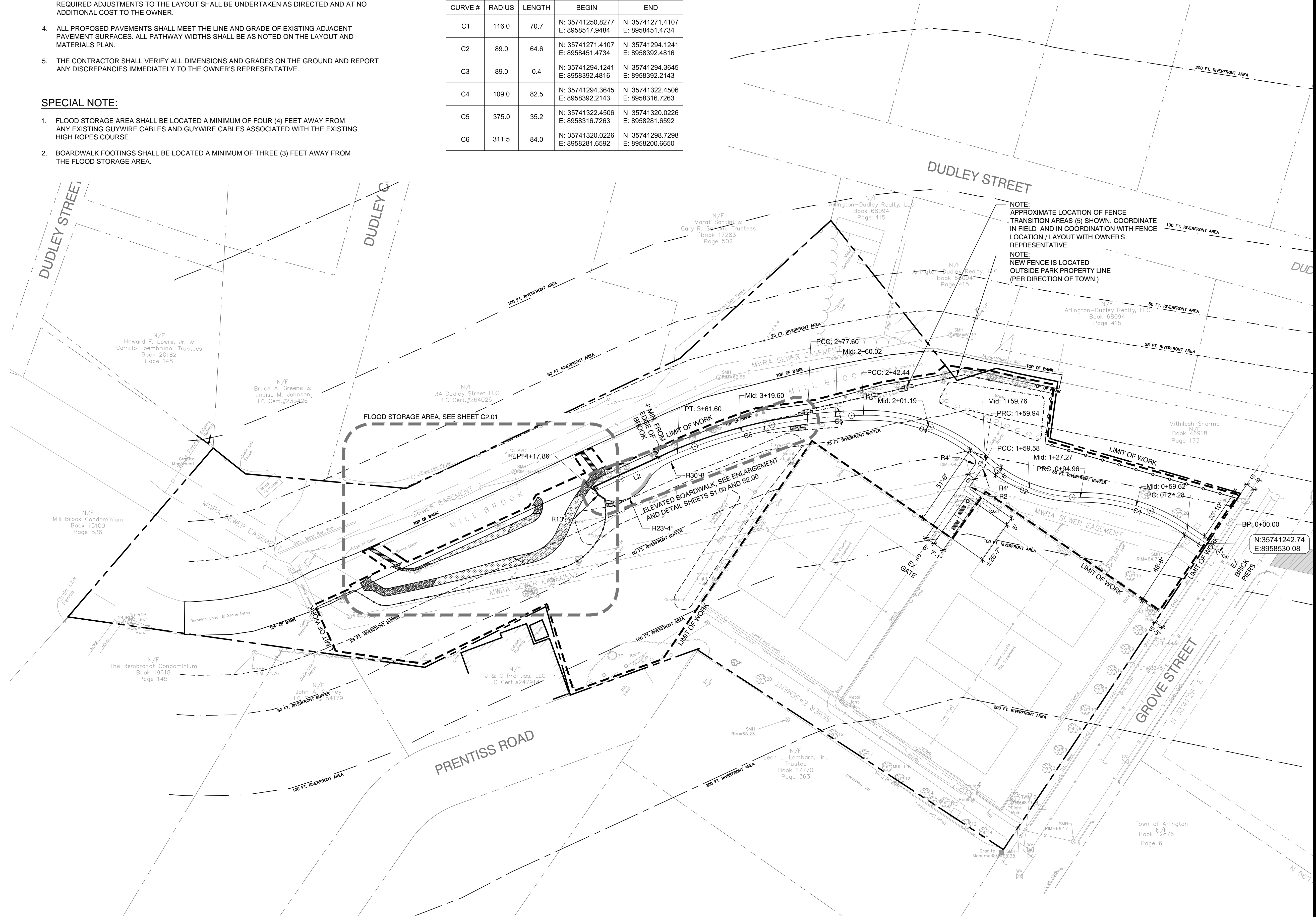
1. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
2. ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE NOTED WITH ANGLE OFFSETS.
3. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED AND AT NO ADDITIONAL COST TO THE OWNER.
4. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
5. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.

SPECIAL NOTE:

1. FLOOD STORAGE AREA SHALL BE LOCATED A MINIMUM OF FOUR (4) FEET AWAY FROM ANY EXISTING GUYWIRE CABLES AND GUYWIRE CABLES ASSOCIATED WITH THE EXISTING HIGH ROPES COURSE.
2. BOARDWALK FOOTINGS SHALL BE LOCATED A MINIMUM OF THREE (3) FEET AWAY FROM THE FLOOD STORAGE AREA.

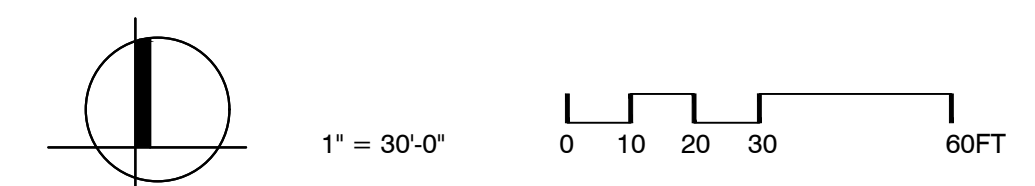
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L2	56.3	N: 35741298.7298 E: 8958200.665	N: 35741294.1241 E: 8958392.4816	N: 35741294.1241 E: 8958392.2143

CURVE TABLE				
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C1	116.0	70.7	N: 35741250.8277 E: 8958517.9484	N: 35741271.4107 E: 8958451.4734
C2	89.0	64.6	N: 35741271.4107 E: 8958451.4734	N: 35741294.1241 E: 8958392.4816
C3	89.0	0.4	N: 35741294.1241 E: 8958392.4816	N: 35741294.3645 E: 8958392.2143
C4	109.0	82.5	N: 35741294.3645 E: 8958392.2143	N: 35741322.4506 E: 8958316.7263
C5	375.0	35.2	N: 35741322.4506 E: 8958316.7263	N: 35741320.0226 E: 8958281.6592
C6	311.5	84.0	N: 35741320.0226 E: 8958281.6592	N: 35741298.7298 E: 8958200.6650



NOTE:
APPROXIMATE LOCATION OF FENCE TRANSITION AREAS (S) SHOWN. COORDINATE IN FIELD AND IN COORDINATION WITH FENCE LOCATION / LAYOUT WITH OWNER'S REPRESENTATIVE.

NOTE:
NEW FENCE IS LOCATED OUTSIDE PARK PROPERTY LINE (PER DIRECTION OF TOWN.)



Project:
TOWN OF ARLINGTON, MA

MILL BROOK CORRIDOR & WELLINGTON PARK REVITALIZATION PROJECT

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LAYOUT PLAN

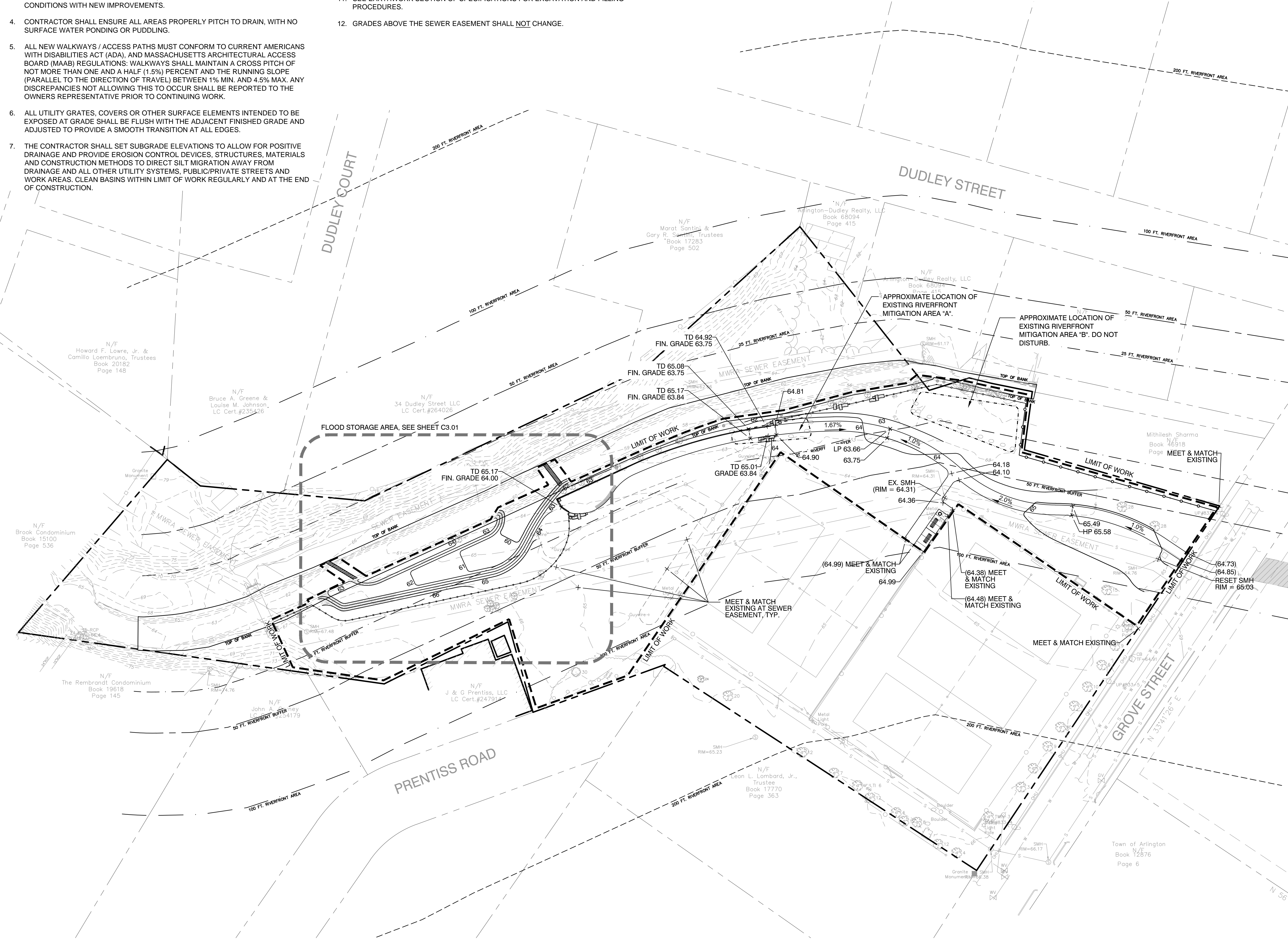
Sheet Number:
L3.02

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- APPROXIMATE RIVERFRONT MITIGATION AREA
- 25' RIVERFRONT BUFFER
- 50' RIVERFRONT BUFFER
- 100' RIVERFRONT BUFFER
- 200' RIVERFRONT BUFFER
- EXISTING DRAINAGE STRUCTURE
- EXISTING CONTOURS
- EXISTING SPOT ELEVATION
- EXISTING INTERPOLATED SPOT ELEVATION. CONTRACTOR TO VERIFY IN FIELD
- PROPOSED MINOR CONTOUR (EVERY 1 FOOT)
- PROPOSED MAJOR CONTOUR (EVERY 5 FEET)
- PROPOSED SLOPE
- PROPOSED SPOT ELEVATION. CONTRACTOR TO VERIFY IN FIELD
- GRADE BREAK
- RIP RAP SLOPE
- TD TOP OF DECK
- BD BOTTOM OF DECK
- TC TOP OF CURB
- BC BOTTOM OF CURB
- LP LOW POINT
- FIN. FINISHED

GRADING & DRAINAGE NOTES

1. ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF ARLINGTON.
2. THE CONTRACTOR SHALL VERIFY ALL GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
3. ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED SURFACE MEETS EXISTING SURFACE. BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES. MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
4. CONTRACTOR SHALL ENSURE ALL AREAS PROPERLY PITCH TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
5. ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA), AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) REGULATIONS. WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 4.5% MAX. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE PRIOR TO CONTINUING WORK.
6. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
7. THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT/MIGRATION AWAY FROM DRAINAGE AND ALL OTHER UTILITY SYSTEMS, PUBLIC/Private STREETS AND WORK AREAS. CLEAN BASINS WITHIN LIMIT OF WORK REGULARLY AND AT THE END OF CONSTRUCTION.
8. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
9. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
10. WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
11. SEE EARTHWORK SECTION OF SPECIFICATIONS FOR EXCAVATION AND FILLING PROCEDURES.
12. GRADES ABOVE THE SEWER EASEMENT SHALL NOT CHANGE.



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GRADING AND DRAINAGE PLAN
 Sheet Number:
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LEGEND

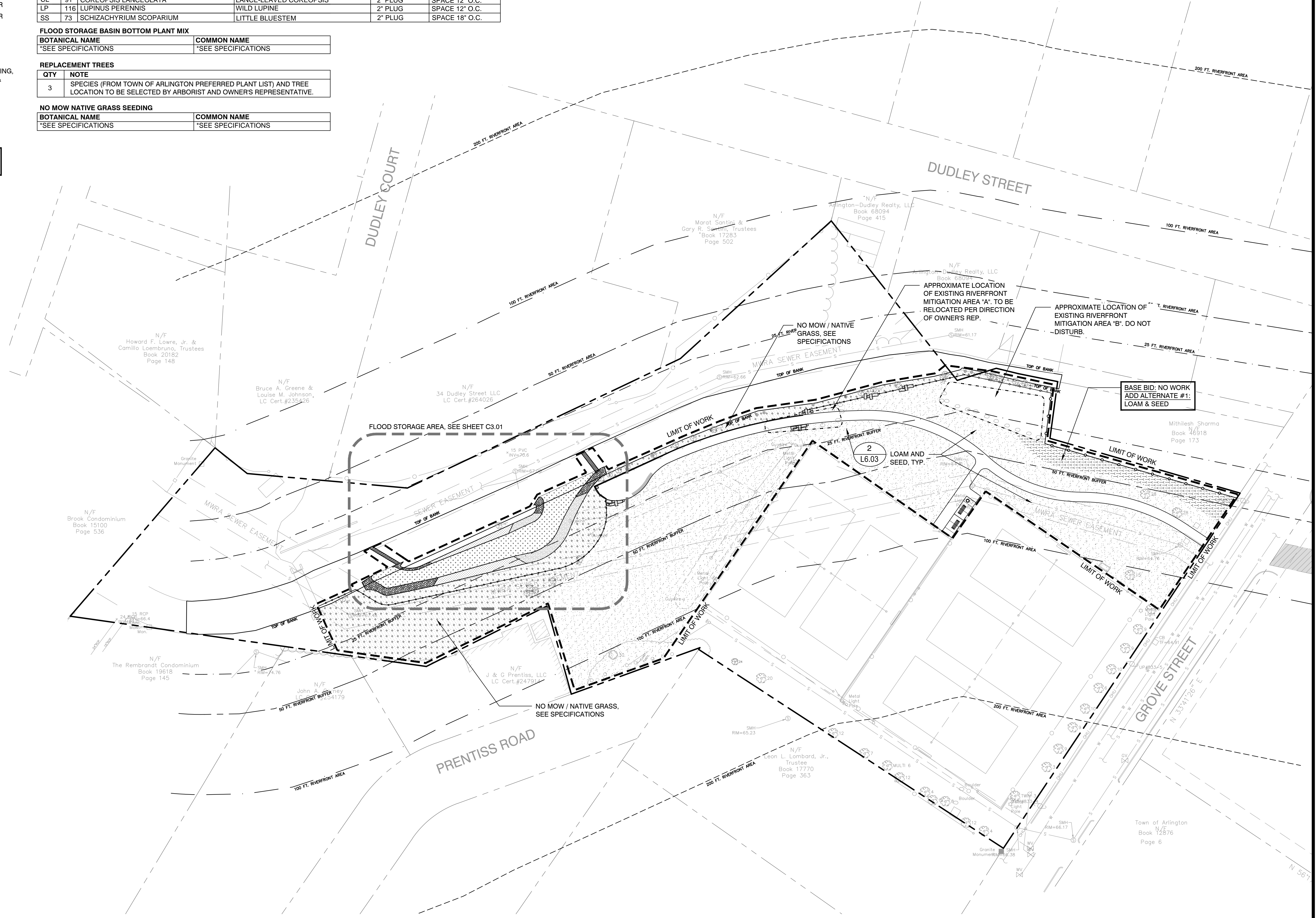
- LIMIT OF WORK
- PROPERTY LINE
- APPROXIMATE RIVERFRONT MITIGATION AREA
- 25' RIVERFRONT BUFFER
- 50' RIVERFRONT BUFFER
- 100' RIVERFRONT BUFFER
- 200' RIVERFRONT BUFFER
- LOAM & SEED, SEE SPECIFICATIONS
- FLOOD STORAGE PLANTING, SEE PLANT SCHEDULE & SPECIFICATIONS
- NO MOW NATIVE GRASS SEEDING, SEE PLANT SCHEDULE & SPECIFICATIONS
- BASE BID: NO WORK ADD ALTERNATE #1: LOAM & SEED
- RIP RAP SLOPE
- EXISTING TREES TO REMAIN

PLANTING NOTES:

1. NEW PLANTING LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. PLANTS SHALL BE LOCATED IN THE FIELD BY THE CONTRACTOR AND VERIFIED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. NEW PLANTING SHALL BE LOCATED IN AREAS THAT AVOID EXISTING TREE ROOTS AND EXISTING NATIVE SPECIES TO REMAIN.
2. RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.

PLANT SCHEDULE

FLOOD STORAGE PLANTING				
SHRUBS				
ABRV.	QTY	BOTANICAL NAME	COMMON NAME	NOTES
CA	23	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#2 CONT.
HERBACEOUS PERENNIALS AND GRASSES				
ABRV.	QTY	BOTANICAL NAME	COMMON NAME	NOTES
AM	52	ACHILLEA MILLEFOLIUM	YARROW	2" PLUG SPACE 18" O.C.
BC	79	BOUTELOUA CURTIPENDULA	SIDEOATS GRAMA	2" PLUG SPACE 18" O.C.
CL	91	COREOPSIS LANCEOLATA	LANCE-LEAVED COREOPSIS	2" PLUG SPACE 12" O.C.
LP	116	LUPINUS PERENNIS	WILD LUPINE	2" PLUG SPACE 12" O.C.
SS	73	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2" PLUG SPACE 18" O.C.
FLOOD STORAGE BASIN BOTTOM PLANT MIX				
BOTANICAL NAME		COMMON NAME		
*SEE SPECIFICATIONS		*SEE SPECIFICATIONS		
REPLACEMENT TREES				
QTY	NOTE			
3	SPECIES (FROM TOWN OF ARLINGTON PREFERRED PLANT LIST) AND TREE LOCATION TO BE SELECTED BY ARBORIST AND OWNER'S REPRESENTATIVE.			
NO MOW NATIVE GRASS SEEDING				
BOTANICAL NAME		COMMON NAME		
*SEE SPECIFICATIONS		*SEE SPECIFICATIONS		



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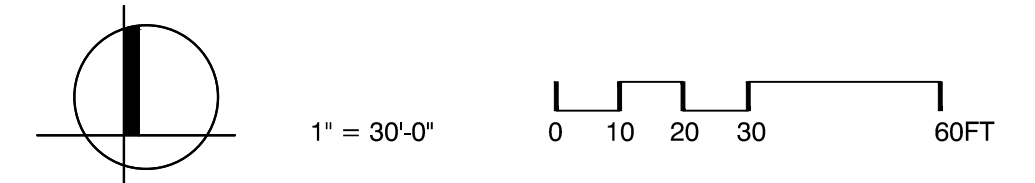
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PLANTING PLAN

Sheet Number:

L5.01



LEGEND

- LIMIT OF WORK
- - - PROPERTY LINE
- - - - - APPROXIMATE LIMIT OF INVASIVE SPECIES REMOVAL
- STRIP & STOCKPILE TOPSOIL (8" MIN. DEPTH)
- INVASIVE SPECIES REMOVAL (FULL DEPTH METHOD)
- INVASIVE SPECIES REMOVAL (CUT, DAB, AND COVER METHOD, TYPE A: COVER MATCHES EX. GRADES)
- INVASIVE SPECIES REMOVAL (CUT, DAB, AND COVER METHOD, TYPE B: COVER VARIES)
- CLEAR & GRUB VEGETATION
- R&D CHAIN LINK FENCE, COMPLETE
- R&D MASONRY AND CONCRETE BROOK STABILIZATION EDGE, COMPLETE
- EROSION CONTROL
- TREE PROTECTION AND PRUNE, TYP.
- EX. EXISTING
- R&D REMOVE AND DISPOSE
- R&S REMOVE AND STORE
- SPECS. SPECIFICATIONS

SPECIAL NOTES:

1. THE CONTRACTOR SHALL CUT, DAB, AND COVER OR PERFORM FULL DEPTH REMOVAL OF INVASIVE SPECIES IN THE AREAS INDICATED ON THE PLAN. SEE SPECIFICATIONS.
2. FOR AREAS CALLED OUT TO HAVE REMOVAL OF INVASIVE SPECIES, THE CONTRACTOR SHALL REMOVE TO DEPTH AS NOTED IN THE SPECIFICATIONS AND DISPOSE OF VEGETATION AND SOIL AT A TOWN OF ARLINGTON APPROVED FACILITY (IN TOWN OR OTHER). SEE SPECIFICATIONS.
3. FOR AREAS CALLED OUT TO HAVE CUT, DAB, AND COVER REMOVAL OF INVASIVE SPECIES: TYPE A: COVER SHALL MATCH EXISTING GRADES. SEE GRADING PLAN. TYPE B: COVER VARIES. SEE GRADING PLAN. SEE SPECIFICATIONS AND 8(M) PERMIT FOR REQUIREMENTS WITHIN MWRA SEWER EASEMENT.
4. CONTRACTOR TO COORDINATE WITH TOWN ARBORIST AND OWNER'S REPRESENTATIVE FOR THE EVALUATION OF CONDITION OF ALL TREES ALONG SOUTH EDGE OF BROOK. CLEAR & GRUB TREES <6" CALIPER, VINES & SHRUB AS IDENTIFIED FOR R&D BY ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. PROTECT TREES TO REMAIN AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. R&D ALL TREES IN POOR CONDITION OR POSING A HAZARD AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. PROTECT ALL TREE STUMPS PROVIDING WILDLIFE HABITAT AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. R&D ALL TREE STUMPS POSING A HAZARD AS IDENTIFIED BY TOWN ARBORIST AND APPROVED BY OWNER'S REPRESENTATIVE. CONFIRM WITH TOWN ARBORIST AND OWNER'S REPRESENTATIVE PRIOR TO ANY SITE PREPARATION AND DEMOLITION WORK. PRUNE ALL TREES TO REMAIN PER SPEC, WITH PRIOR COORDINATION WITH AND APPROVAL OF OWNER'S REPRESENTATIVE, TOWN ARBORIST, AND PER TOWN OF ARLINGTON WETLAND BYLAW REGULATIONS.
5. CONTRACTOR TO LOCATE AND FLAG ENTIRE LENGTH OF EXISTING MWRA SEWER EASEMENT WITHIN PROJECT LIMIT OF WORK PRIOR TO ANY SITE PREPARATION AND DEMOLITION ACTIVITIES, AND FOR THE DURATION OF CONSTRUCTION ACTIVITIES. SEE SPECIFICATIONS AND 8 (M) PERMIT FOR REQUIREMENTS WITHIN EASEMENT.
6. ADD ALTERNATES (SEE SPECS): #1: R&D CHAIN LINK FENCE. BEGIN AT PROPERTY LINE CORNER AND R&D TO GROVE STREET, IN EASTERLY DIRECTION. CLEAR AND GRUB FROM EAST EDGE OF RIVERFRONT MITIGATION AREA 'B' TO GROVE STREET. #2: CLEAR AND GRUB AREA (SELECTIVE).
7. LIMITS OF PROPOSED BANK EXCAVATION OF MASONRY AND CONCRETE BROOK STABILIZATION EDGE ARE TO BE MARKED IN THE FIELD PRIOR TO DEMOLITION FOR OWNER'S REPRESENTATIVE OBSERVATION, REVIEW, AND APPROVAL.
8. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION DEWATERING AND SURFACE WATER CONTROL TO ACHIEVE STABLE SUBGRADE CONDITIONS AND CONSTRUCTION IN-THE-DRY. GROUNDWATER LEVEL SHALL BE MAINTAINED 24-INCHES BELOW THE EXCAVATION/BACKFILL LEVEL DURING CONSTRUCTION.
9. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND PROPERLY DISPOSING OF EXCESS FILL, TREES, INVASIVE SPECIES, AND DEMOLITION DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES AT A PROPER OFF-SITE AREA IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND MASSACHUSETTS REGULATIONS AND POLICIES.

DEMOLITION & SITE PREPARATION NOTES

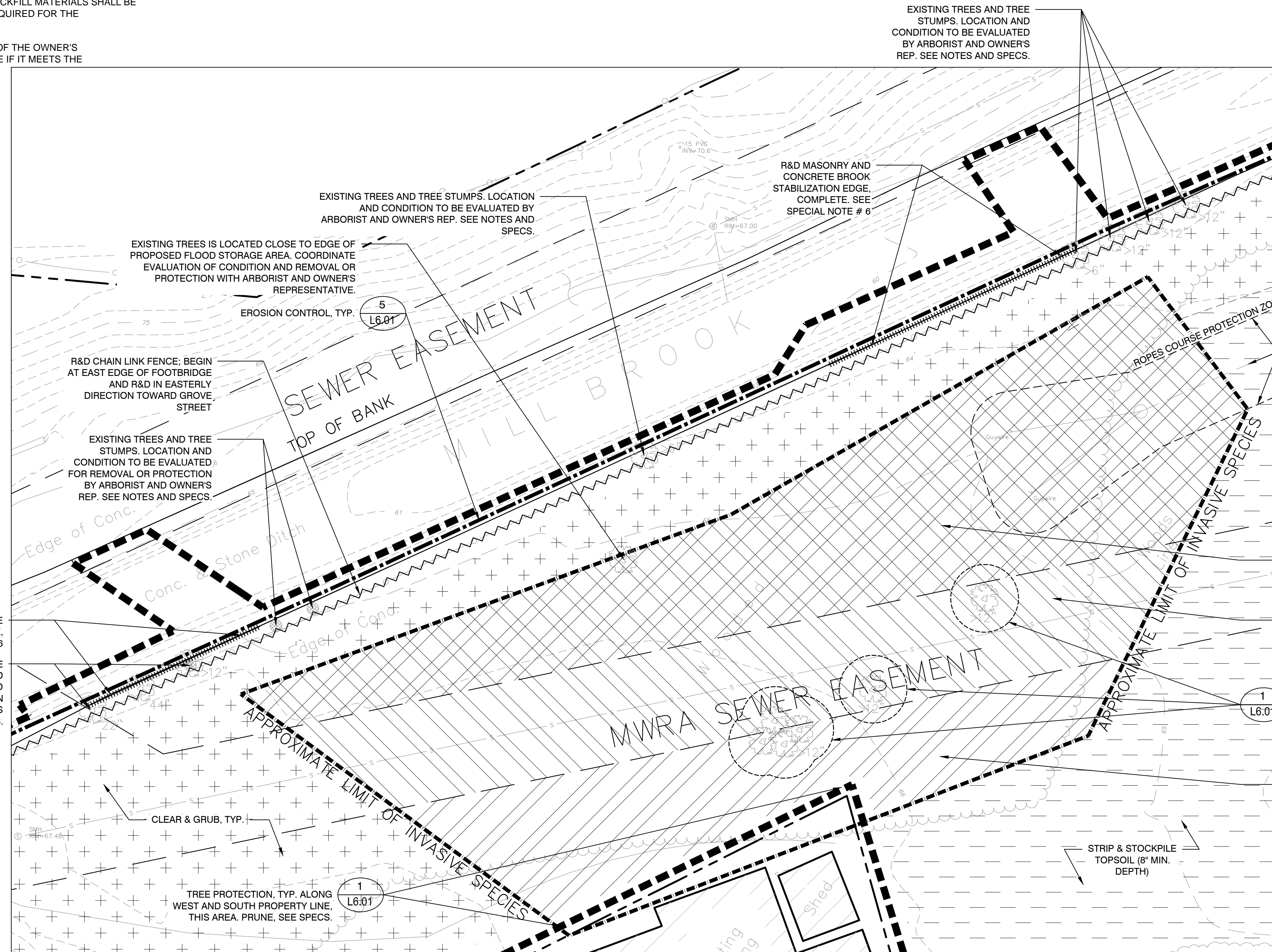
1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE REQUIRED EXCAVATION AND DEMOLITION ACTIVITIES, AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.
2. THE CONTRACTOR MUST NOTIFY THE OWNER OF ANY WORK TO BE COMPLETED WITHIN THE RIGHT-OF-WAY AT LEAST FORTY-EIGHT HOURS PRIOR TO COMMENCING WORK.
3. THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL, THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.
4. UNLESS SPECIFICALLY NOTED TO BE REMOVED AND STOCKPILED (R&S) OR REUSED AND RELOCATED (R&R), ALL SITE FEATURES CALLED TO BE REMOVED AND DISPOSED (R&D) SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC. AND TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT A TOWN OF ARLINGTON APPROVED DISPOSAL SITE AT NO COST TO THE OWNER.
5. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE CONTRACTOR/OWNER.
6. DURING EARTHWORK OPERATIONS, THE CONTRACTOR SHALL TAKE CARE NOT TO DISTURB EXISTING MATERIALS TO REMAIN OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL, AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED, AS SPECIFIED, TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
7. IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER'S REPRESENTATIVE, TO REUSE EXISTING PAVEMENT BASE COURSE IF IT MEETS THE

REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.

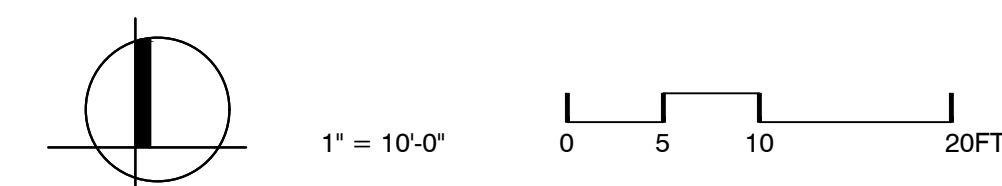
8. ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT IF SPECIFICALLY NOTED OTHERWISE.
9. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE AS INDICATED ON PLANS WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS. THE CONTRACTOR SHALL PROVIDE TESTING RESULTS THAT THE SOIL IS SUITABLE FOR REUSE IN ACCORDANCE WITH THE SPECIFICATIONS. CONTRACTOR SHALL SECURELY COVER STOCKPILE.
10. LOAM BORROW/TOPSOIL EXCAVATED AND DESIGNATED FOR REUSE SHALL BE SCREENED AND BLENDED WITH SUITABLE AMENDMENT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS. ALL EXCESS TOPSOIL EXCAVATED SHALL BE PROPERLY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. AS PER THE SPECIFICATIONS, AND PER TOWN REGULATIONS.
11. THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN PER SPECIFICATIONS AND TOWN OF ARLINGTON WETLAND BYLAW REGULATIONS FOR TREE PROTECTION. CONTRACTOR SHALL INSTALL A TREE PROTECTION BARRIER AFTER CLEARING TURF AND UNDERBRUSH BY HAND, AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.
12. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER AND OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
13. THE CONTRACTOR TO TAKE ALL PRECAUTIONS AND MEASURES REQUIRED TO PREVENT DAMAGE TO THE EXISTING PAVEMENT TO REMAIN AS A RESULT OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL REPAIR DAMAGED PAVEMENT AT NO COST TO THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR SECURING THE SITE AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PERIOD. HE/SHE HAS THE OPTION TO USE THE EXISTING CHAIN LINK FENCE AS TEMPORARY CONSTRUCTION FENCE PRIOR TO ITS REMOVAL.

EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION. REFER TO SPECIFICATIONS AND DETAILS FOR TYPE OF EROSION AND SEDIMENT CONTROL.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
3. CONTRACTOR SHALL MEET ALL OF THE STATE OF MASSACHUSETTS D.E.P. REGULATIONS AND THE TOWN OF ARLINGTON WETLAND BYLAW REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
4. EXCAVATED MATERIAL STOCKPILED IN THE AREA DESIGNATED ON THIS PLAN SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER'S REPRESENTATIVE.
5. ALL CATCH BASINS AND DRAIN GRATES WITHIN LIMIT OF WORK SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION. EACH STRUCTURE SHALL BE CLEANED AND CLEARED.
6. THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
7. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/PRIVATE ROADS. THE CONTRACTOR SHALL PROVIDE A WASHOUT AREA ON SITE.



1 FLOOD STORAGE AREA SITE PREPARATION AND DEMOLITION PLAN
SCALE: 1" = 10'-0"



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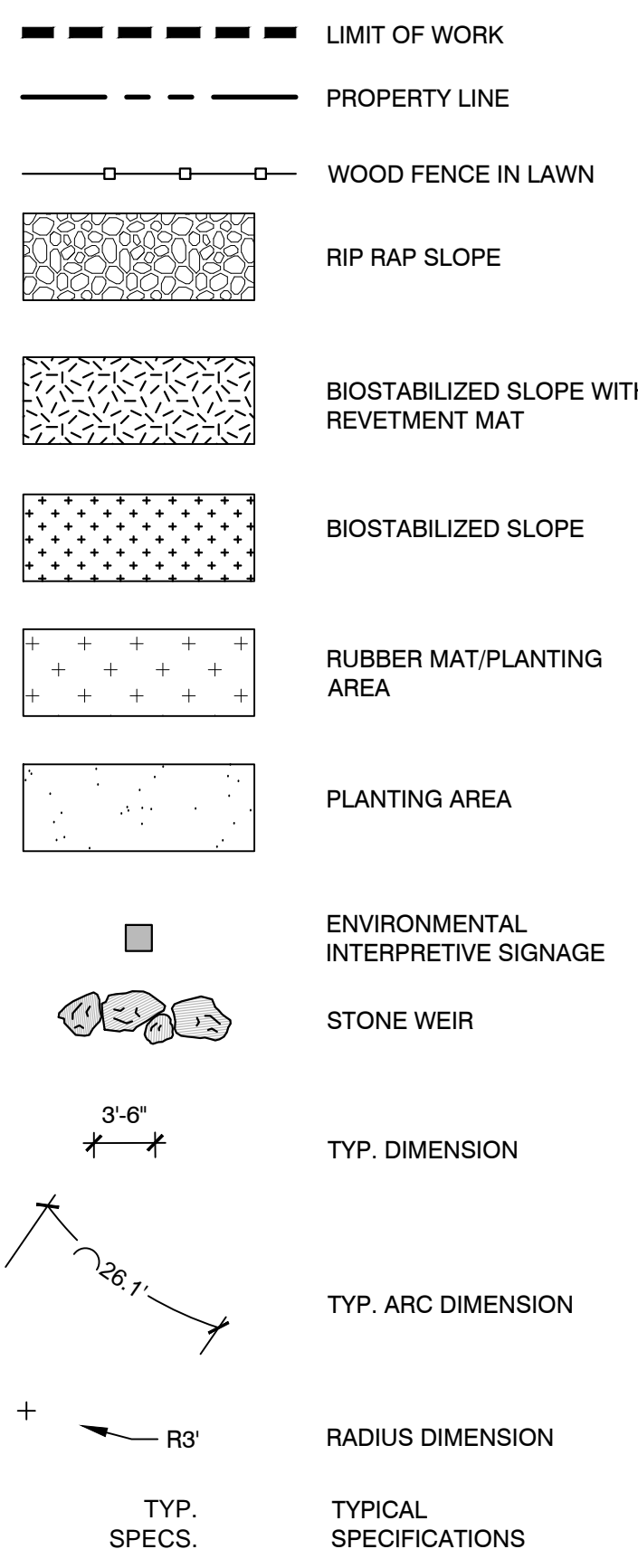
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FLOOD STORAGE AREA SITE PREPARATION & DEMOLITION PLAN

Sheet Number:
C1.01

LEGEND



LAYOUT & MATERIALS NOTES

- COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS REQUIRED BY THE OWNER'S REPRESENTATIVE.
- ALL LAYOUT LINES, OFFSETS, OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE NOTED WITH ANGLE OFFSETS.
- ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED AND AT NO ADDITIONAL COST TO THE OWNER.
- ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT SURFACES. ALL PATHWAY WIDTHS SHALL BE AS NOTED ON THE LAYOUT AND MATERIALS PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- THE DEPTH OF LOAM BORROW FOR ALL PROPOSED LAWN AREAS SHALL BE 6" MINIMUM. ALL DISTURBED AREAS SHALL BE RESTORED WITH LOAM AND SEED UNLESS OTHERWISE NOTED.

SPECIAL NOTE:

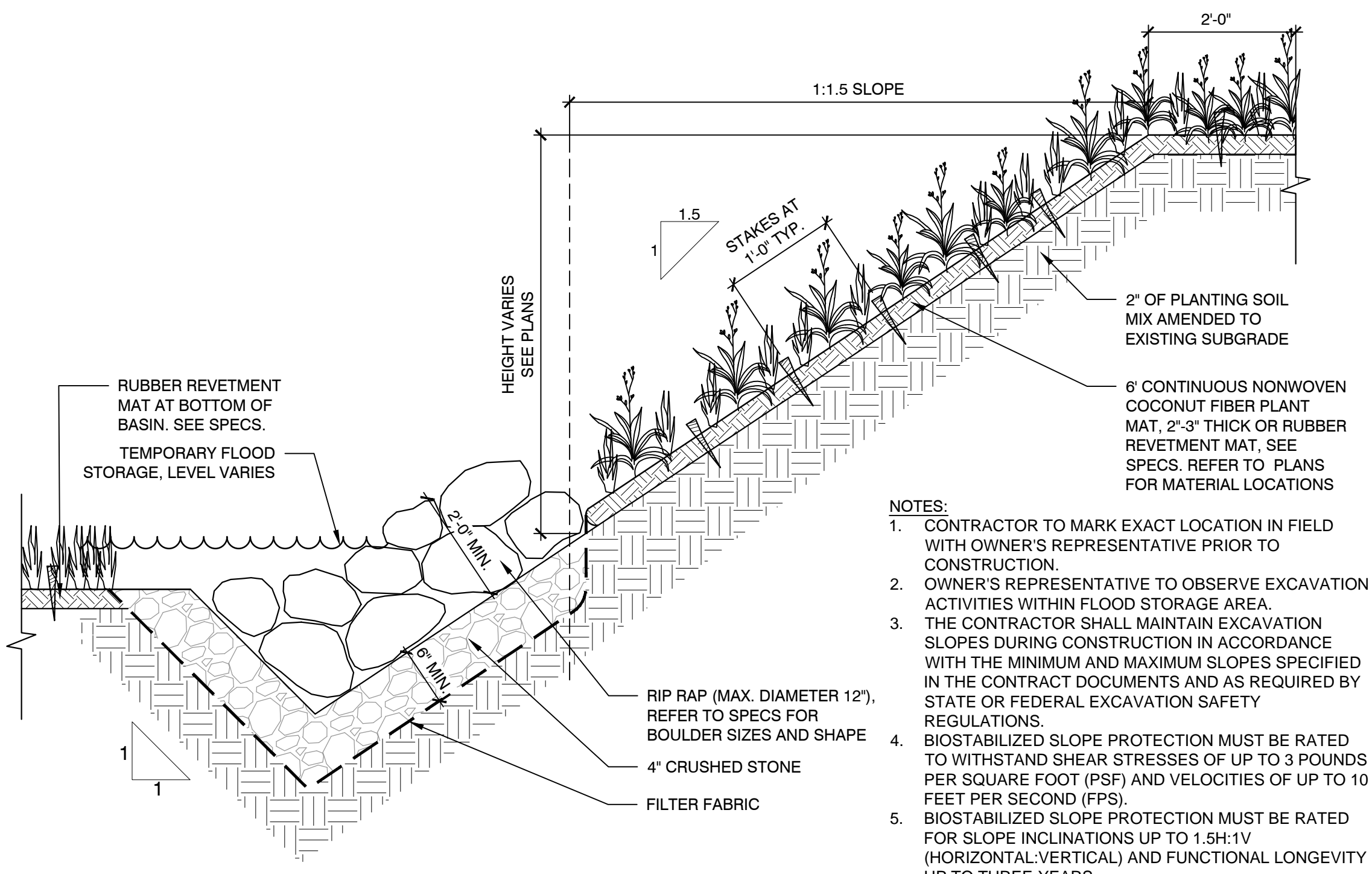
- FLOOD STORAGE AREA SHALL BE LOCATED A MINIMUM OF FOUR (4) FEET AWAY FROM ANY EXISTING GUYWIRE CABLES AND GUYWIRE CABLES ASSOCIATED WITH THE EXISTING HIGH ROPES STRUCTURE.

FLOOD STORAGE AREA STABILIZATION - BIOSTABILIZATION AT BOTTOM OF STORAGE AREA:

- CONTRACTOR TO MARK EXACT LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- OWNER'S REPRESENTATIVE TO OBSERVE EXCAVATION ACTIVITIES WITHIN FLOOD STORAGE AREA.
- BIOSTABILIZED SLOPE PROTECTION MUST BE RATED TO WITHSTAND SHEAR STRESSES OF UP TO THREE (3) POUNDS PER SQUARE FOOT (PSF) AND VELOCITIES OF UP TO TEN (10) FEET PER SECOND (FPS).
- BIOSTABILIZED SLOPE PROTECTION MUST BE RATED FOR FUNCTIONAL LONGEVITY UP TO TEN (10) YEARS.

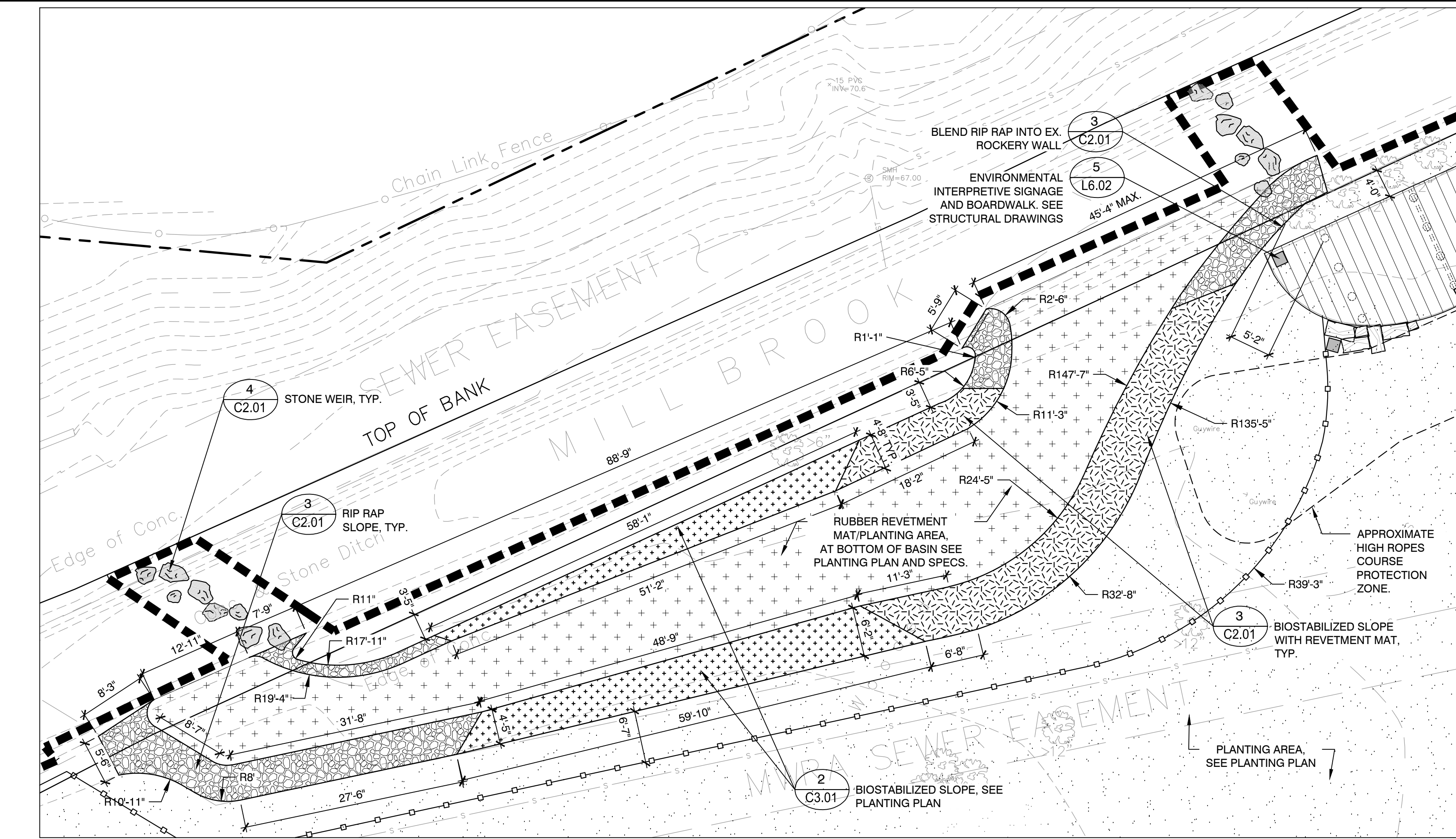
FLOOD STORAGE AREA STABILIZATION - RIP RAP AT BOTTOM OF STORAGE AREA:

- CONTRACTOR TO MARK EXACT LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- OWNER'S REPRESENTATIVE TO OBSERVE EXCAVATION ACTIVITIES WITHIN FLOOD STORAGE AREA.
- RIP RAP SHALL BE PLACED AT EACH PINCH POINT CREATED BY THE FLOOD STORAGE AREA INLET AND OUTLET.
- RIP RAP SHALL BE PLACED SO THAT IT BLENDS INTO EXISTING RIVERBANK, PROPOSED WEIRS, PROPOSED SLOPES, AND PROPOSED BIOSTABILIZATION ALONG THE BOTTOM OF THE FLOOD STORAGE AREA.
- RIP RAP SHALL BE PLACED SO THAT IT IS WELL KEYS AND DENSE.

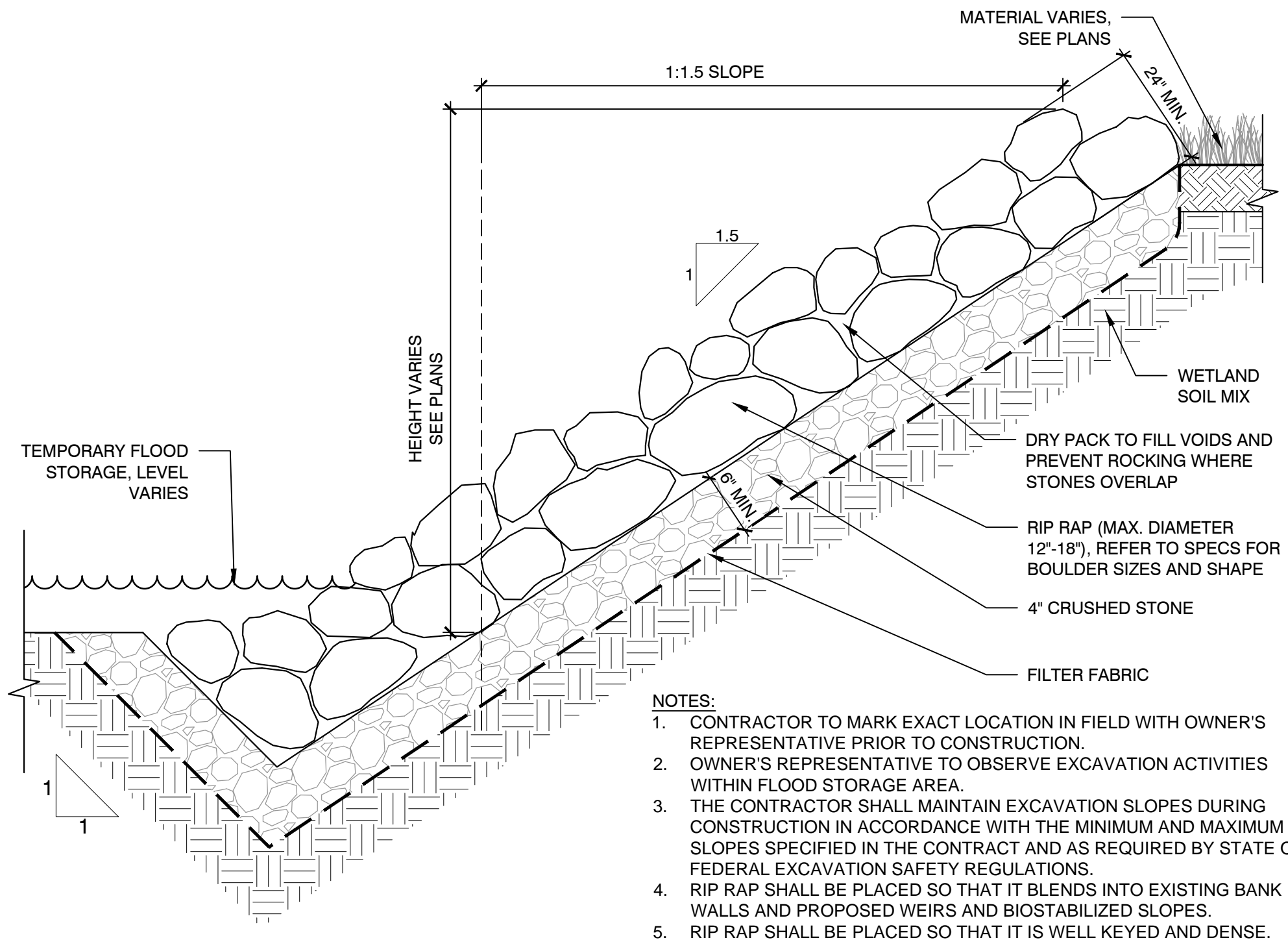


- NOTES:**
- CONTRACTOR TO MARK EXACT LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - OWNER'S REPRESENTATIVE TO OBSERVE EXCAVATION ACTIVITIES WITHIN FLOOD STORAGE AREA.
 - THE CONTRACTOR SHALL MAINTAIN EXCAVATION SLOPES DURING CONSTRUCTION IN ACCORDANCE WITH THE MINIMUM AND MAXIMUM SLOPES SPECIFIED IN THE CONTRACT DOCUMENTS AND AS REQUIRED BY STATE OR FEDERAL EXCAVATION SAFETY REGULATIONS.
 - BIOSTABILIZED SLOPE PROTECTION MUST BE RATED TO WITHSTAND SHEAR STRESSES OF UP TO 3 POUNDS PER SQUARE FOOT (PSF) AND VELOCITIES OF UP TO 10 FEET PER SECOND (FPS).
 - BIOSTABILIZED SLOPE PROTECTION MUST BE RATED FOR SLOPE INCLINATIONS UP TO 1:3H:1V (HORIZONTAL:VERTICAL) AND FUNCTIONAL LONGEVITY UP TO THREE-YEARS.

2 FLOOD STORAGE AREA BANK STABILIZATION - BIOSTABILIZED SLOPE
SCALE: N.T.S.

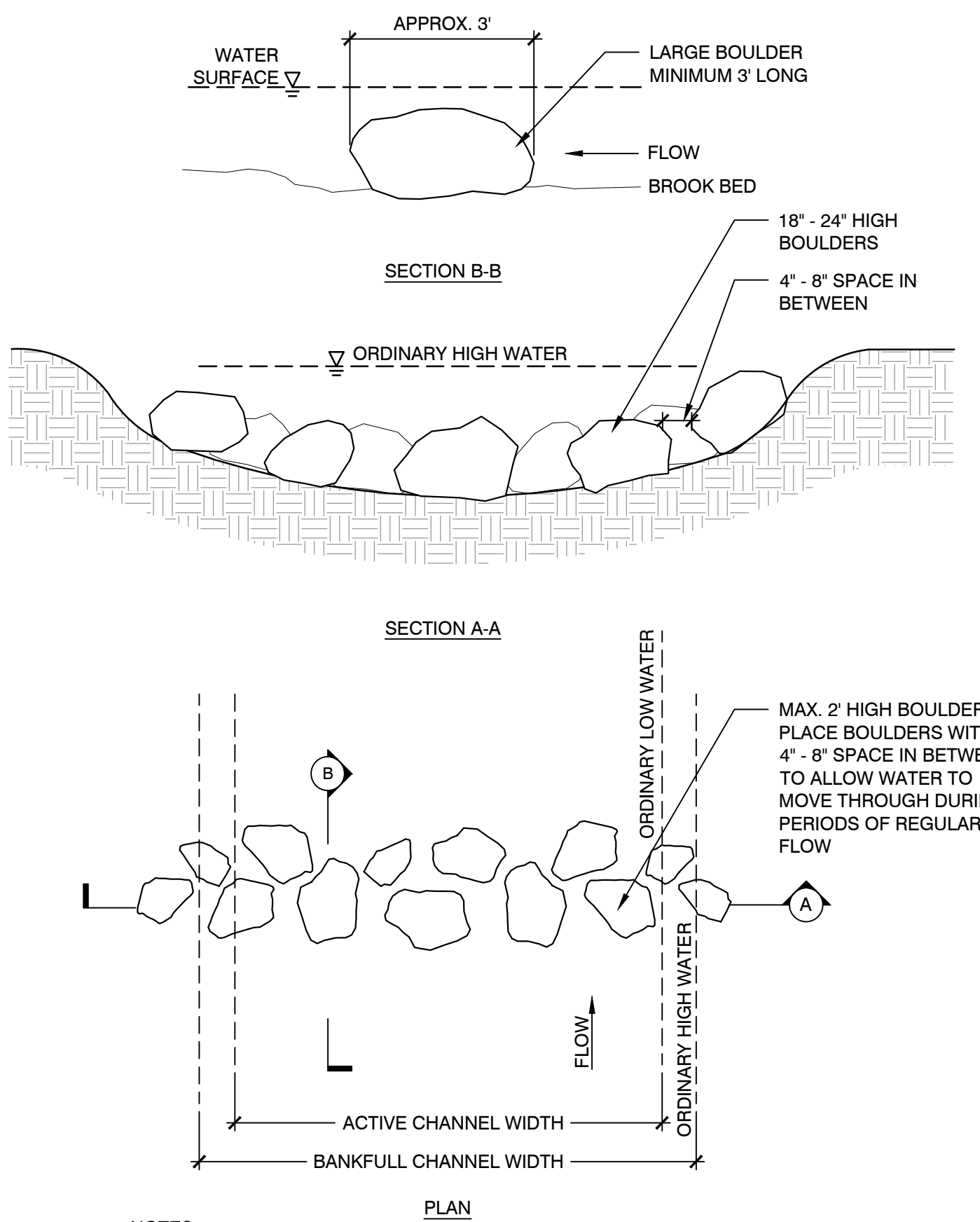


1 FLOOD STORAGE AREA LAYOUT AND MATERIALS ENLARGEMENT PLAN
SCALE: 1" = 10'-0"



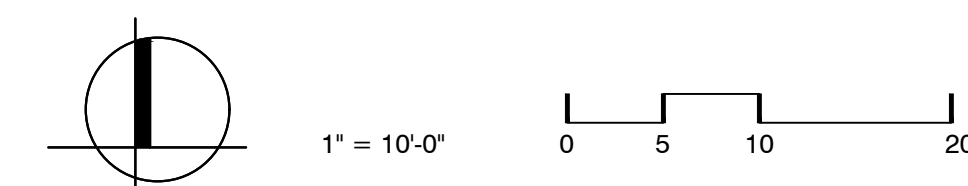
- NOTES:**
- CONTRACTOR TO MARK EXACT LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - OWNER'S REPRESENTATIVE TO OBSERVE EXCAVATION ACTIVITIES WITHIN FLOOD STORAGE AREA.
 - THE CONTRACTOR SHALL MAINTAIN EXCAVATION SLOPES DURING CONSTRUCTION IN ACCORDANCE WITH THE MINIMUM AND MAXIMUM SLOPES SPECIFIED IN THE CONTRACT AND AS REQUIRED BY STATE OR FEDERAL EXCAVATION SAFETY REGULATIONS.
 - RIP RAP SHALL BE PLACED SO THAT IT BLENDS INTO EXISTING BANK WALLS AND PROPOSED WEIRS AND BIOSTABILIZED SLOPES.
 - RIP RAP SHALL BE PLACED SO THAT IT IS WELL KEYS AND DENSE.

3 FLOOD STORAGE AREA BANK STABILIZATION - RIP RAP AT CRITICAL SLOPES
SCALE: N.T.S.



- NOTES:**
- LOCATION AND ORIENTATION OF STONE WEIRS TO BE OBSERVED IN THE FIELD BY OWNER'S REPRESENTATIVE.
 - STONE WEIR TO BE MADE OF BOULDERS NO MORE THAN TWO FEET HIGH AND SPACED APPROXIMATELY FOUR TO EIGHT INCHES APART TO ALLOW WATER TO FLOW THROUGH THE WEIR DURING PERIODS OF REGULAR FLOW. BOULDERS SHALL BE PLACED IN A SINGULAR ROW ACROSS THE WIDTH OF THE BROOK.

4 STONE WEIR
SCALE: N.T.S.



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W&S File No:

Drawing Title:
FLOOD STORAGE AREA LAYOUT & MATERIALS PLAN & DETAILS

Sheet Number:
C2.01

LEGEND

	LIMIT OF WORK
	PROPERTY LINE
	WOOD FENCE IN LAWN
	EXISTING DRAINAGE STRUCTURE
	EXISTING CONTOURS
	EXISTING SPOT ELEVATION
	EXISTING INTERPOLATED SPOT ELEVATION. CONTRACTOR TO VERIFY IN FIELD
	PROPOSED MINOR CONTOUR (EVERY 1 FOOT)
	PROPOSED MAJOR CONTOUR (EVERY 5 FEET)
	PROPOSED SLOPE
	PROPOSED SPOT ELEVATION. CONTRACTOR TO VERIFY IN FIELD
	STONE WEIR
	RIP RAP SLOPE
	TOP OF DECK BOTTOM OF DECK TOP OF CURB BOTTOM OF CURB LOW POINT FINISHED
	LOAM & SEED. SEE SPECIFICATIONS
	NO-MOW NATIVE GRASS SEEDING. SEE PLANT SCHEDULE
	RUBBER MAT/WETLAND PLANT MIX. SEE SPECS.
	SHRUB PLANTING
	3 7 L6.01 L6.01

GRADING & DRAINAGE NOTES

- ALL WORK RELATING TO INSTALLATION, RENOVATION OR MODIFICATION OF WATER, DRAINAGE AND/OR SEWER SERVICES SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS OF THE TOWN OF ARLINGTON.
- THE CONTRACTOR SHALL VERIFY ALL GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
- ALL GRADING IS TO BE SMOOTH AND CONTINUOUS WHERE PROPOSED SURFACE MEETS EXISTING SURFACE. BLEND THE TWO PAVEMENTS AND ELIMINATE ROUGH SPOTS AND ABRUPT GRADE CHANGES. MEET LINE AND GRADE OF EXISTING CONDITIONS WITH NEW IMPROVEMENTS.
- CONTRACTOR SHALL ENSURE ALL AREAS PROPERLY PITCH TO DRAIN, WITH NO SURFACE WATER PONDING OR PUDDLING.
- ALL NEW WALKWAYS / ACCESS PATHS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA), AND MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (MAAB) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 4.5% MAX. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE PRIOR TO CONTINUING WORK.
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/PRIVATE STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF CONSTRUCTION.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
- WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
- WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
- SEE EARTHWORK SECTION OF SPECIFICATIONS FOR EXCAVATION AND FILLING PROCEDURES.
- GRADES ABOVE THE SEWER EASEMENT SHALL NOT CHANGE.

SPECIAL NOTE:

- FLOOD STORAGE AREA SHALL BE LOCATED A MINIMUM OF FOUR (4) FEET AWAY FROM ANY EXISTING GUYWIRE CABLES/ ANCHORS.

PLANT SCHEDULE

FLOOD STORAGE PLANTING

SHRUBS

ABRV.	QTY	BOTANICAL NAME	COMMON NAME	CONT.	NOTES
CA	23	CEANOTHUS AMERICANUS	NEW JERSEY TEA	#2 CONT.	

HERBACEOUS PERENNIALS AND GRASSES

ABRV.	QTY	BOTANICAL NAME	COMMON NAME	CONT.	NOTES
AM	52	ACHILLEA MILLEFOLIUM	YARROW	2" PLUG	SPACE 18" O.C.
BC	79	BOUTELOUA CURTIPENDULA	SIDEOATS GRAMA	2" PLUG	SPACE 18" O.C.
CL	91	COREOPSIS LANCEOLATA	LANCE-LEAVED COREOPSIS	2" PLUG	SPACE 12" O.C.
LP	116	LUPINUS PERENNIS	WILD LUPINE	2" PLUG	SPACE 12" O.C.
SS	73	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	2" PLUG	SPACE 18" O.C.

FLOOD STORAGE BASIN BOTTOM PLANT MIX

BOTANICAL NAME	COMMON NAME
*SEE SPECIFICATIONS	*SEE SPECIFICATIONS

REPLACEMENT TREES

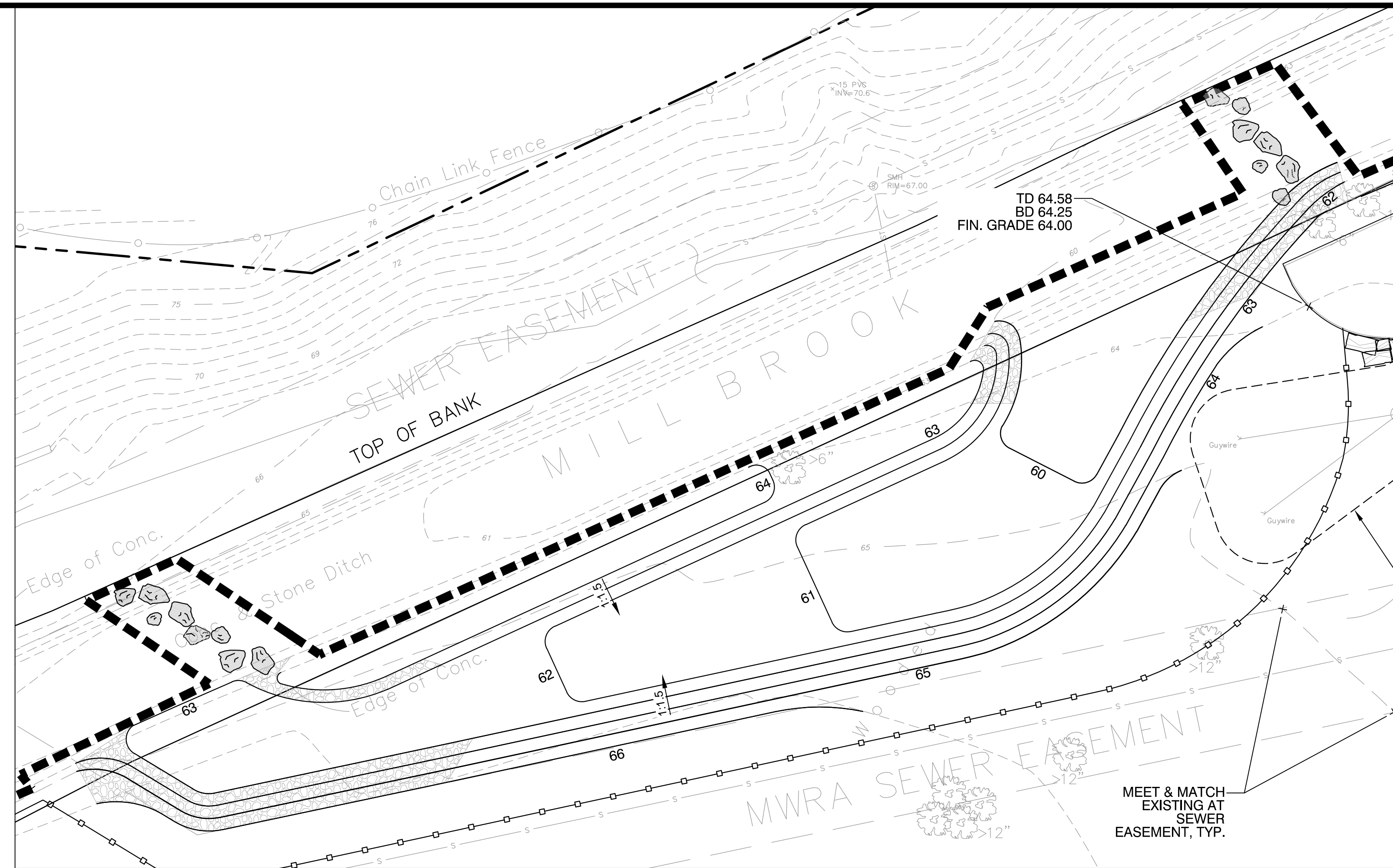
QTY	NOTE
3	SPECIES (FROM TOWN OF ARLINGTON PREFERRED PLANT LIST) AND TREE LOCATION TO BE SELECTED BY ARBORIST AND OWNER'S REPRESENTATIVE.

NO MOW NATIVE GRASS SEEDING

BOTANICAL NAME	COMMON NAME
*SEE SPECIFICATIONS	*SEE SPECIFICATIONS

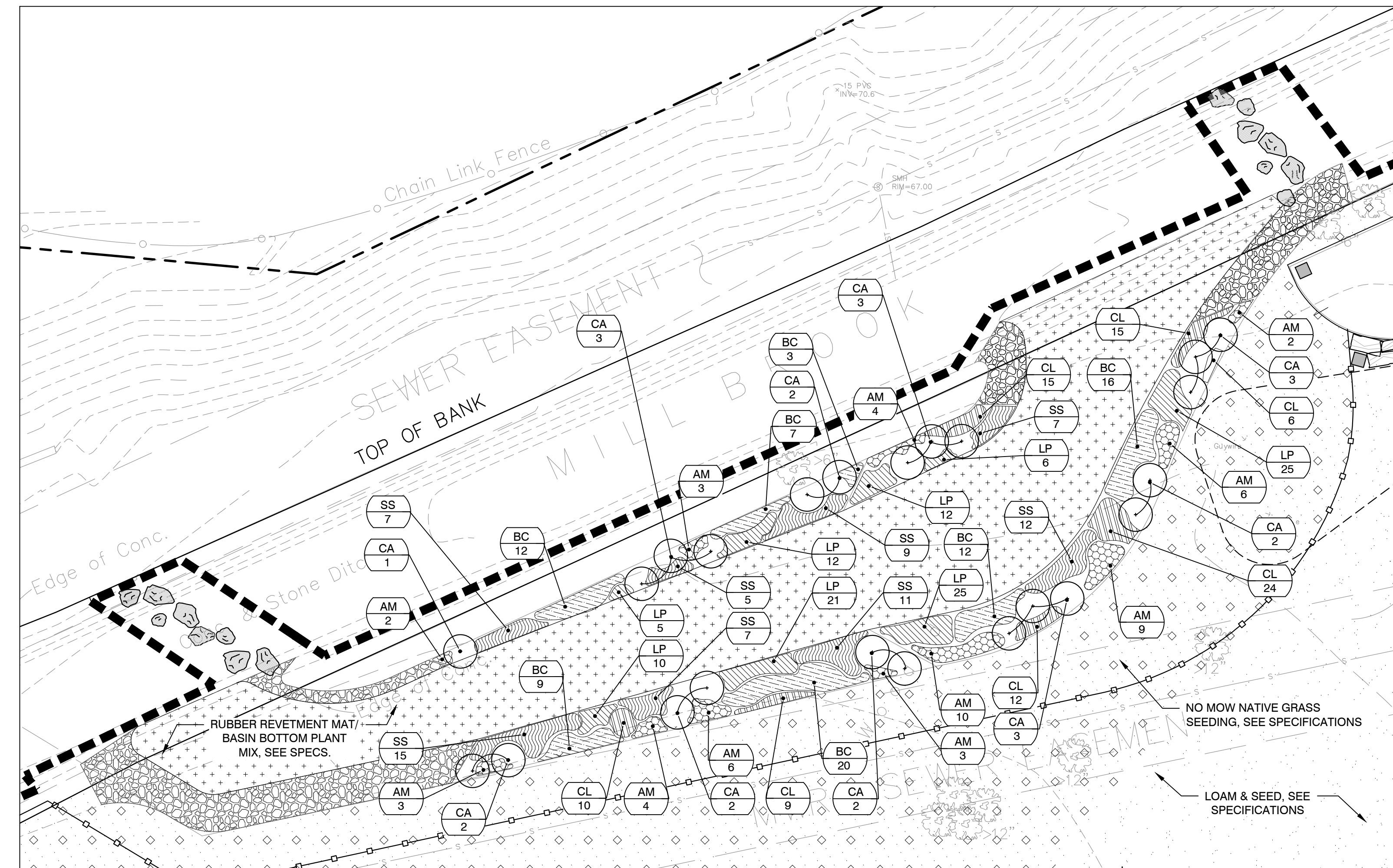
PLANTING NOTES:

- NEW PLANTING LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE. PLANTS SHALL BE LOCATED IN THE FIELD BY THE CONTRACTOR AND VERIFIED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. NEW PLANTING SHALL BE LOCATED IN AREAS THAT AVOID EXISTING TREE ROOTS AND EXISTING NATIVE SPECIES TO REMAIN.
- RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.



1 FLOOD STORAGE AREA GRADING ENLARGEMENT PLAN

SCALE: 1" = 10'-0"



2 FLOOD STORAGE AREA PLANTING ENLARGEMENT PLAN

SCALE: 1" = 10'-0"

Project:

TOWN OF ARLINGTON, MA



MILL BROOK CORRIDOR
& WELLINGTON PARK
REVITALIZATION
PROJECT

Weston & Sampson

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3rd Floor, Boston, MA 02109
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Consultants:

APPROXIMATE
HIGH ROPES
COURSE
PROTECTION
ZONE.

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Drawing Title:

FLOOD STORAGE
AREA GRADING &
PLANTING PLAN

Sheet Number:

C3.01

1.0 GENERAL NOTES

- 1.1 ALL WORK SHALL CONFORM TO THE 9TH EDITION OF THE MASSACHUSETTS STATE BUILDING CODE AND ITS APPLICABLE REFERENCES.
- 1.2 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING, COORDINATING, AND VERIFYING ALL DIMENSIONS AND CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PORTION OF WORK.
- 1.3 ALL BOLTS & HARDWARE SHALL BE HOT-DIPPED GALVANIZED U.N.O.

2.0 CONCRETE

- 2.1 CONCRETE WORK SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318;318R)" AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301)".
- 2.2 CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4500 PSI AND A MAXIMUM WATER-CEMENT RATIO OF 0.45.
- 2.3 CEMENT SHALL CONFORM TO ASTM C 150 TYPE I/II.
- 2.4 SLUMP OF CAST-IN-PLACE CONCRETE SHALL BE 4" +/- 1".
- 2.5 CONCRETE SHALL BE AIR ENTRAINED TO 6% +/- 1.5%

3.0 REINFORCING

- 3.1 REINFORCEMENT WORK OF DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318-02;318R-02)", "ACI DETAILING MANUAL (SP-66-1988)", "CRSI MANUAL OF STANDARD PRACTICE (DA4-90)", AND "STRUCTURAL WELDING CODE REINFORCING STEEL (AWS D1.4-79)" AT MINIMUM OR AS SPECIFIED HEREIN.
- 3.2 STEEL REINFORCEMENT, UNLESS OTHERWISE NOTED, SHALL CONFORM ASTM A615 GRADE 60.
- 3.3 MINIMUM CONCRETE PROTECTIVE COVERING FOR REINFORCEMENT, UNLESS NOTED OTHERWISE, SHALL BE 2.0".
- 3.4 REINFORCEMENT SHALL BE CONTINUOUS THROUGH CONSTRUCTION JOINTS UNLESS OTHERWISE INDICATED.
- 3.5 REINFORCEMENT SHALL NOT BE TACK WELDED.
- 3.6 INSTALLATION OF REINFORCEMENT SHALL BE COMPLETED AT LEAST 24 HOURS PRIOR TO THE SCHEDULED CONCRETE PLACEMENT.

4.0 TIMBER CONSTRUCTION

- 4.1 THE WORK COVERED UNDER THIS SECTION INCLUDES, BUT IS NOT NECESSARILY LIMITED TO, STRINGERS, BEAMS AND RAIL POSTS.
- 4.2 ALL VISUALLY GRADED STRUCTURAL LUMBER AND WOOD CONSTRUCTION SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (ANSI/APA NDS - LATEST EDITION), ITS SUPPLEMENT, AND COMMENTARY BY THE AMERICAN FOREST & PAPER ASSOCIATION / AMERICAN WOOD COUNCIL.
- 4.3 TIMBER SHALL MEET THE REQUIREMENTS OF THE SOUTHERN PINE INSPECTION BUREAU INSPECTION RULES, LATEST EDITION FOR SOUTHERN PINE NO. 1 GRADE MINIMUM.
- 4.4 TIMBER SHALL BE HANDLED CAREFULLY, WITHOUT SUDDEN DROPPING, BREAKING OF OUTER FIBERS, BRUISING OR PENETRATING THE SURFACE WITH TOOLS.
- 4.5 TIMBER SHALL BE CUT AND FRAMED TO A CLOSE FIT IN SUCH A MANNER THAT THE JOINTS SHALL HAVE AN EVEN BEARING OVER THE ENTIRE CONTACT SURFACE. NO SHIMMING, UNLESS OTHERWISE NOTED, WILL BE PERMITTED IN MAKING JOINTS NOR WILL OPEN JOINTS BE ACCEPTED.
- 4.6 ALL TIMBERS SHALL BE PRESSURE TREATED (P.T.) WITH A WOOD PRESERVATIVE TO MEET AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) USE CATEGORY 3B. FOR FRAMING IN CONTACT WITH THE GROUND, MEET AWPA USE CATEGORY 4A. FRAMING SHALL NOT BE INCISED.
- 4.7 FIELD TREAT NEWLY CUT SURFACES OF PRESSURE TREATED TIMBER WITH PRESERVATIVE PER MANUFACTURER'S RECOMMENDATIONS.
- 4.8 MATERIAL SHALL BE SOUND, WELL SEASONED, AND STRAIGHT GRAINED, FREE FROM SHAKES AND LARGE OR LOOSE KNOTS, AND SHALL HAVE NO DECAYED WOOD, WORM HOLES, OR ANY OTHER DEFECTS WHICH THE OWNER DETERMINES WILL IMPAIR ITS STRENGTH OR DURABILITY.
- 4.9 PIECES OF EXCEPTIONALLY LIGHT WEIGHT MATERIAL WILL NOT BE ACCEPTED.
- 4.10 MATERIAL SHALL BE STORED OFF OF THE GROUND IN A MANNER TO PREVENT DAMAGE AND TO PERMIT EASY INSPECTION.
- 4.11 TIMBER SHALL BE SURFACED FOUR SIDES (S4S) UNLESS OTHERWISE NOTED.
- 4.12 HOT-DIPPED OR Z MAX (G185) GALVANIZED SIMPSON STRONG-TIE CONNECTIONS OR APPROVED EQUAL SHALL BE UTILIZED AS SPECIFIED WITHIN THESE CONSTRUCTION DOCUMENTS.
- 4.13 ADHESIVE ANCHOR SYSTEMS SHALL BE UTILIZED AS SPECIFIED WITHIN THESE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR THE ADHESIVE ANCHORING SYSTEM TO THE ENGINEER FOR APPROVAL PRIOR TO PLACING ORDER.
- 4.14 ANCHOR RODS SHALL BE COUNTER-BORED BY THE CONTRACTOR WHERE REQUIRED SUCH THAT THERE IS NO INTERFERENCE BETWEEN DECK BOARDS OR OTHER FRAMING ELEMENTS.

5.0 DECKING

- 5.1 THE WORK COVERED UNDER THIS SECTION INCLUDES, BUT IS NOT NECESSARILY LIMITED TO DECKING.
- 5.2 DECKING SHALL BE FASTENED TO EACH 2X12 STRINGER WITH (2) 14 GAUGE 4" LONG 316 S.S. FLAT HEAD SCREWS.
- 5.3 SCREW HOLES SHALL BE PRE-DRILLED WITH A 5/32" LEAD HOLE. LEAD HOLE SHALL BE NO LONGER THAN THE SCREW EMBEDMENT.
- 5.4 LEAD HOLE SHALL BE COUNTER-SUNK TO ASSURE THAT SCREW HEAD IS FLUSH WITH THE FINISHED DECK SURFACE.
- 5.5 DECK WOOD SHALL BE STORED IN A CLEAN, DRY, WEATHER PROTECTED LOCATION PRIOR TO INSTALLATION. NO DENTED, STAINED, TWISTED, OR DAMAGED MATERIAL SHALL BE INCORPORATED INTO THE WORK.
- 5.6 DECKING TO HAVE 1/8" GAP BETWEEN ADJACENT BOARDS.
- 5.7 DECKING TO HAVE 2"X2" TRIMBOARD AROUND PERIMETER ANYWHERE WHERE GUARD IS NOT PROVIDED.

6.0 DESIGN LOADS

LOADS, LOADING CONDITIONS, AND COMBINATIONS SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE - 780 CMR, IBC 2015, AND ASCE 7-10 AS APPLICABLE.

LOADS DESIGNATED BY 'PSF' ARE UNIFORM LOADS, THOSE DESIGNATED BY 'LB' ARE CONCENTRATED LOADINGS AND SHALL BE APPLIED AS REQUIRED BY THE MA STATE BUILDING CODE.

1. DEAD LOADS

- 1.1 SELF-WEIGHT OF ALL ATTACHED ELEMENTS.

2. LIVE LOADS

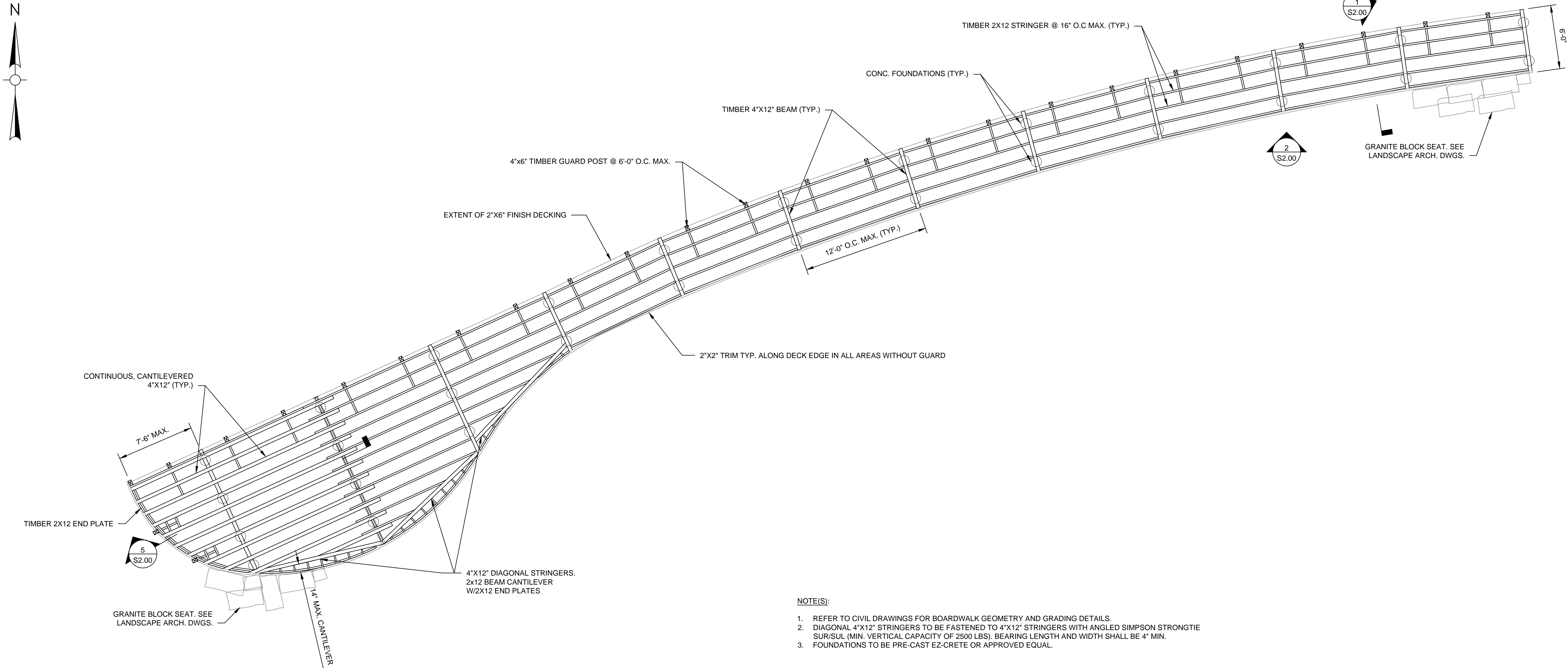
- 2.1 DECK _____ 90 PSF

3. SNOW LOAD

- 3.1 GROUND SNOW LOAD, PG _____ 40 PSF
- 3.2 WEATHER EXPOSED STRUCTURES
 - 3.2.1 SNOW EXPOSURE FACTOR, CE _____ 1.0
 - 3.2.2 SNOW LOAD IMPORTANCE FACTOR, I _____ 1.0
 - 3.2.3 THERMAL FACTOR, CT _____ 1.2

4. WIND DESIGN DATA

- 4.1 BASIC WIND SPEED, V _____ 127 MPH



- NOTE(S):
1. REFER TO CIVIL DRAWINGS FOR BOARDWALK GEOMETRY AND GRADING DETAILS.
 2. DIAGONAL 4"x12" STRINGERS TO BE FASTENED TO 4"x12" STRINGERS WITH ANGLED SIMPSON STRONGTIE SUR/SUL (MIN. VERTICAL CAPACITY OF 2500 LBS), BEARING LENGTH AND WIDTH SHALL BE 4" MIN.
 3. FOUNDATIONS TO BE PRE-CAST EZ-CRETE OR APPROVED EQUAL.

1 PLAN VIEW - FRAMING
SCALE: 3/16"=1'-0"

Project:
TOWN OF ARLINGTON, MA

MILL BROOK CORRIDOR & WELLINGTON PARK REVITALIZATION PROJECT

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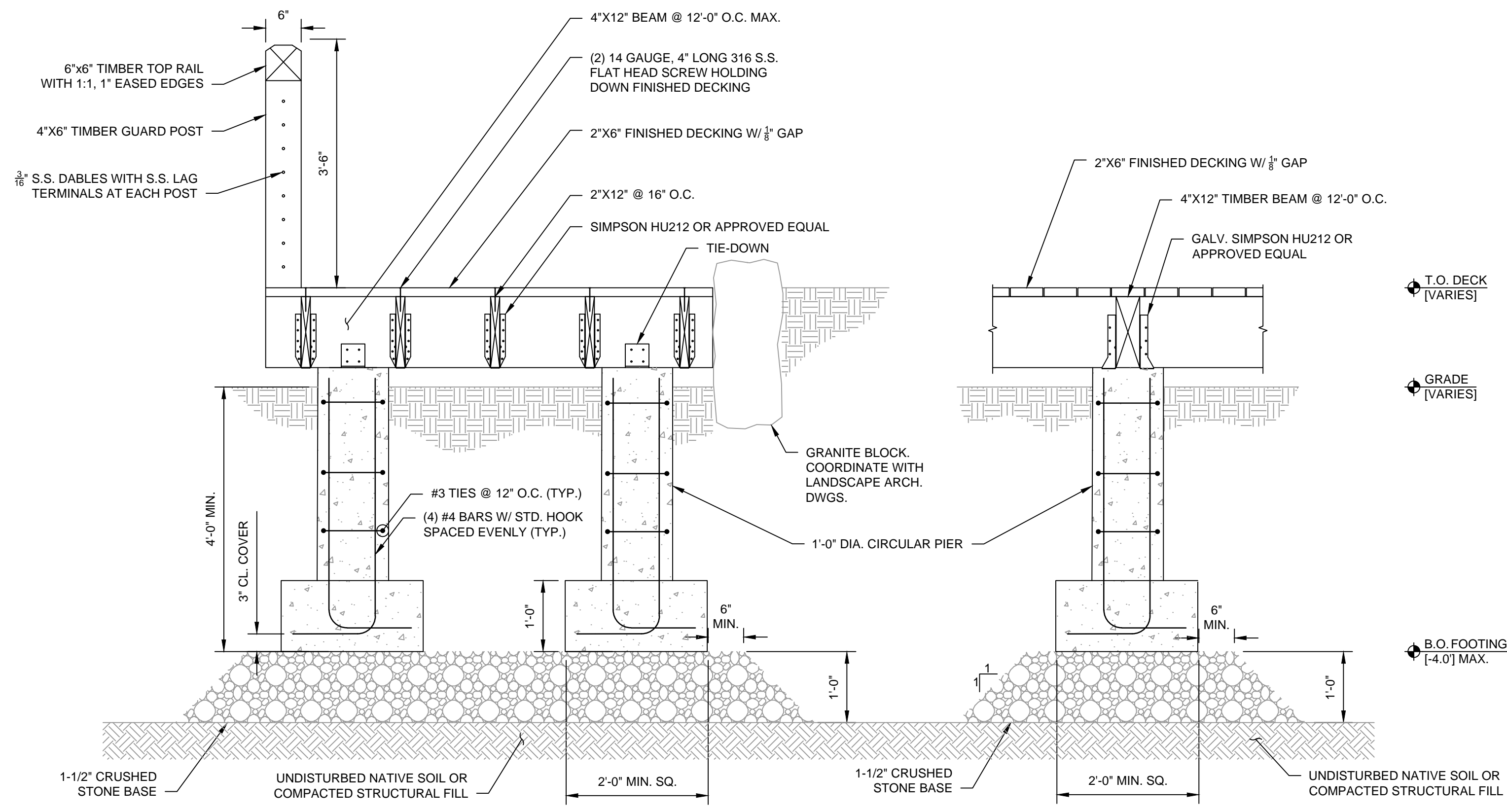
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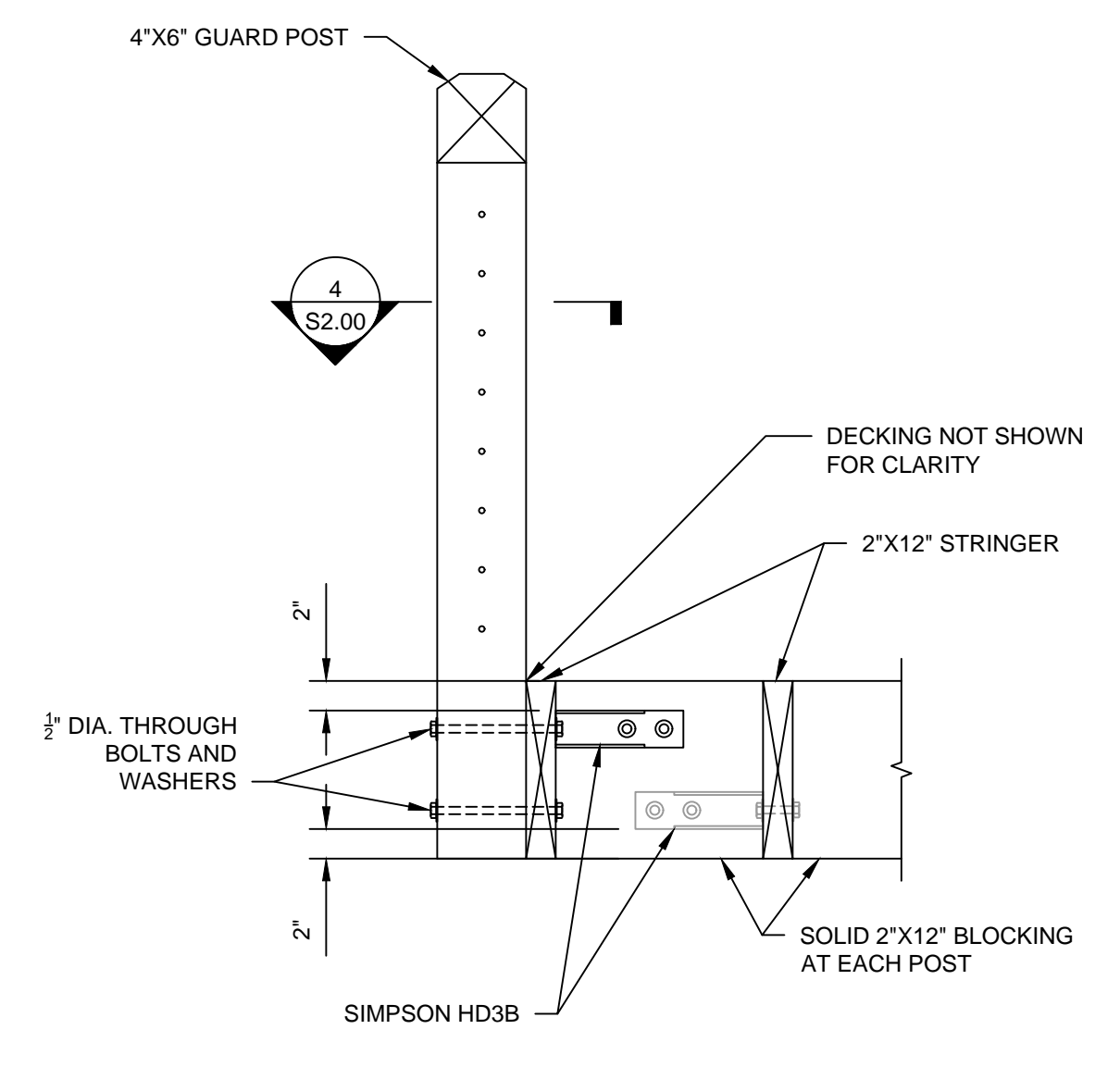
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Reviewed By: CJW
Approved By: RAC
W&S Project No: 2180078
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**BOARDWALK
GENERAL NOTES,
PLANS &
ELEVATION**
Sheet Number:
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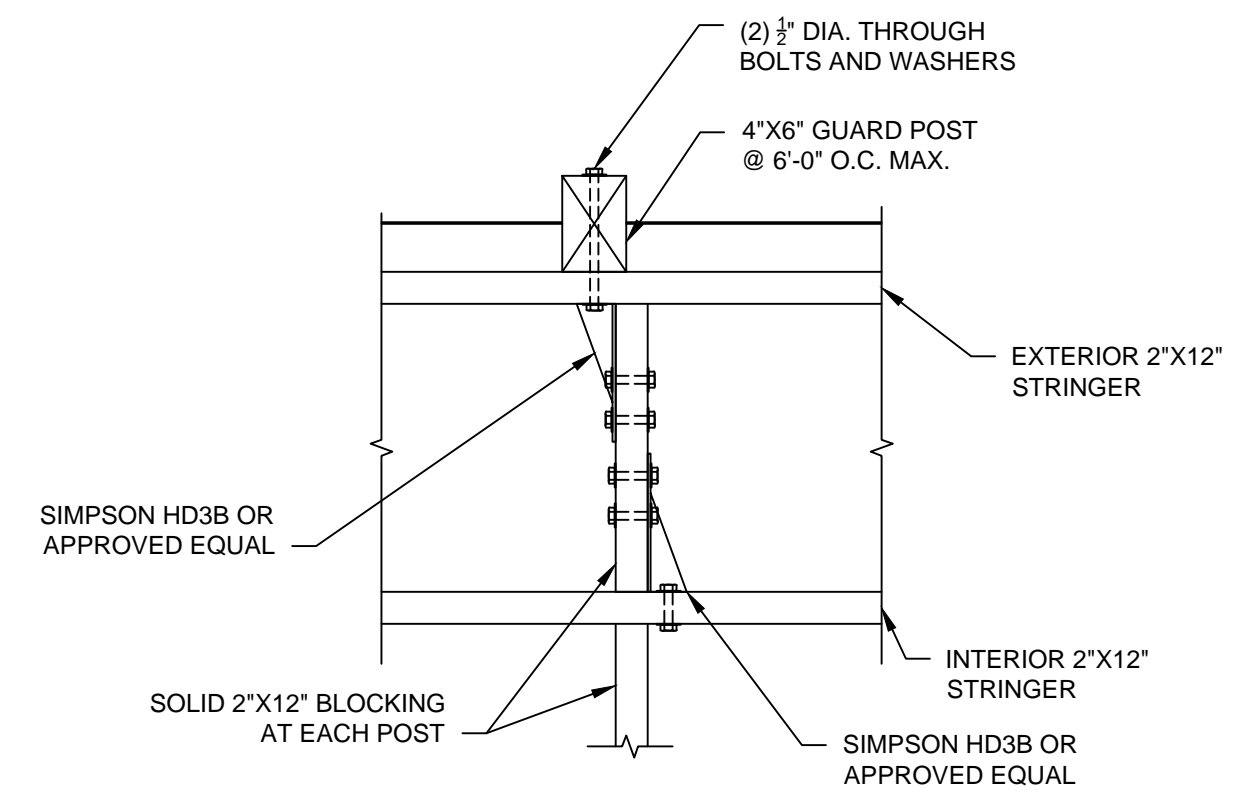


1 BOARDWALK SECTION (FACING EAST)
SCALE: 3/4"=1'-0"

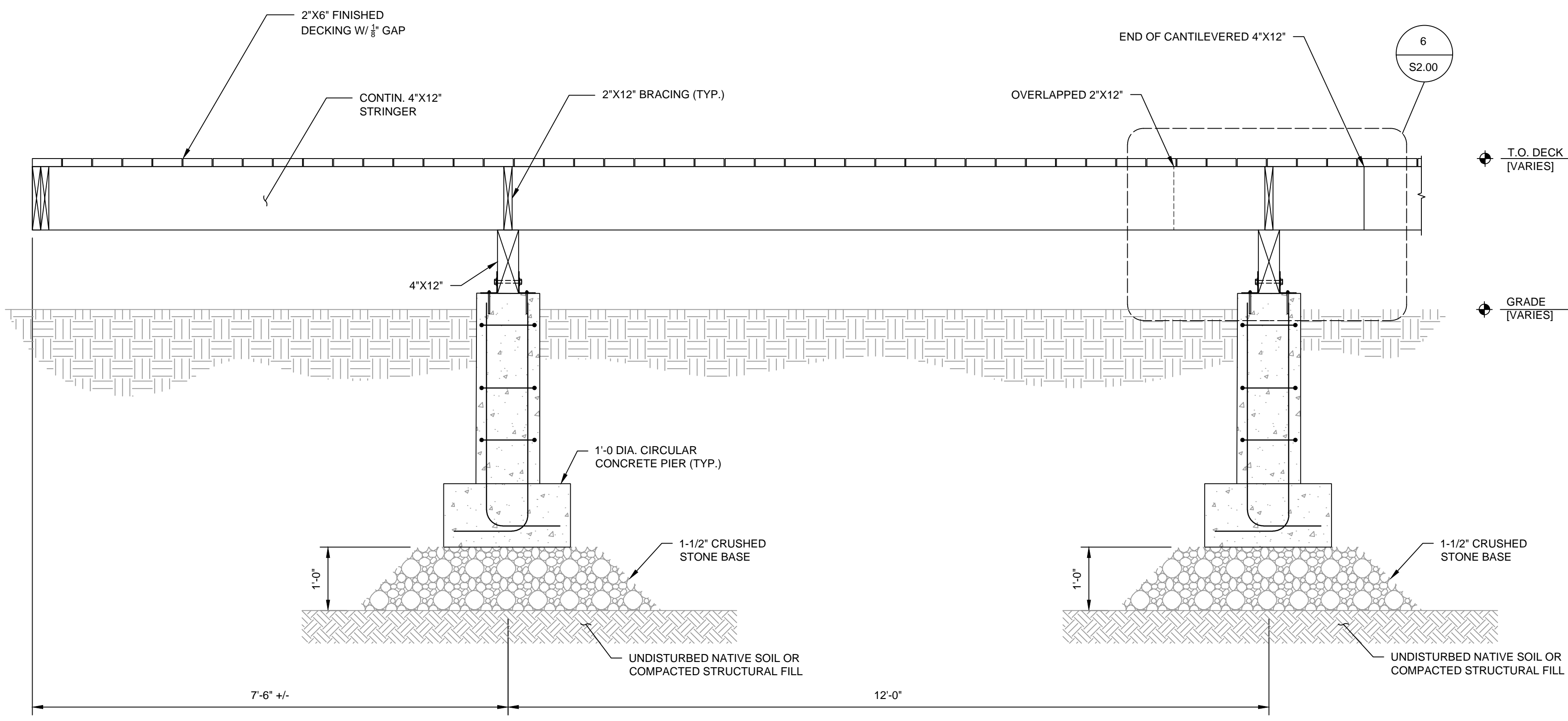
2 BOARDWALK SECTION (FACING NORTH)
SCALE: 3/4"=1'-0"



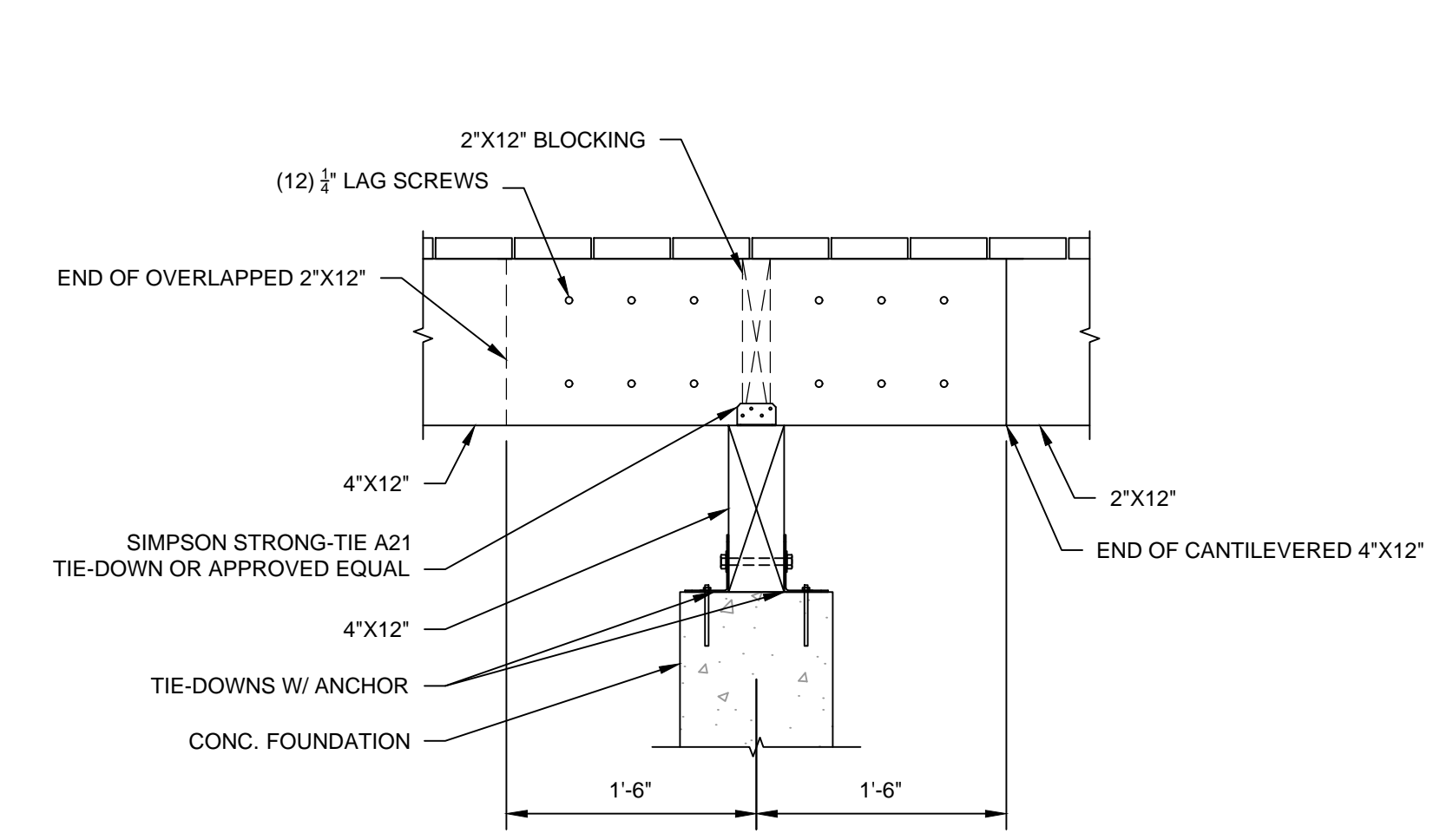
3 TYPICAL GUARD POST ELEVATION
SCALE: 1"=1'-0"



4 GUARD POST DETAIL
SCALE: 1"=1'-0"



5 CANTILEVERED SECTION ELEVATION VIEW
SCALE: 3/8"=1'-0"



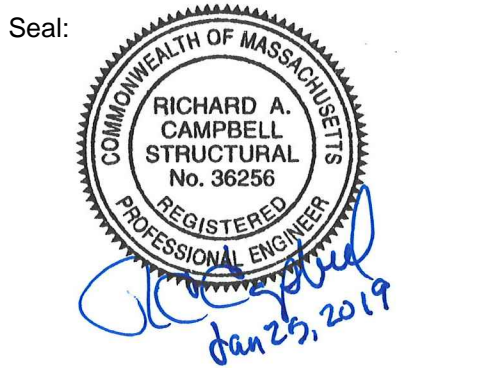
6 CANTILEVER TRANSITION CONNECTION DETAIL
SCALE: 1"=1'-0"

NOTE(S):
1. SEE GENERAL NOTES 1.3 FOR ALL HARDWARE.
2. ALL TIE-DOWNS AND ANCHORS ARE TO BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. MINIMUM TOTAL TENSILE CAPACITY OF ANCHORS PER SUPPORT IS 4500LBS

Consultants:

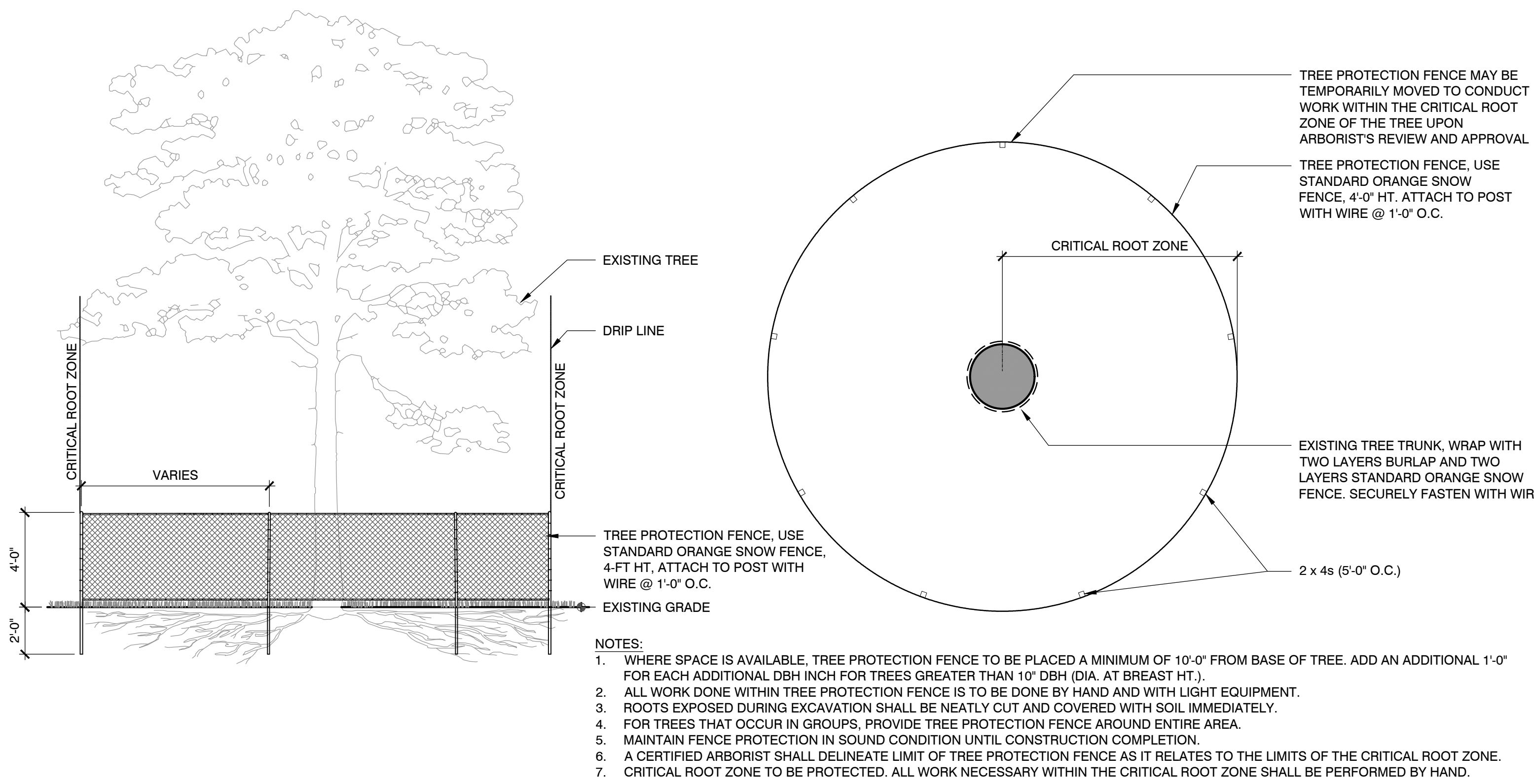
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TREE PROTECTION FENCE MAY BE TEMPORARILY MOVED TO CONDUCT WORK WITHIN THE CRITICAL ROOT ZONE OF THE TREE UPON ARBORIST'S REVIEW AND APPROVAL

TREE PROTECTION FENCE, USE STANDARD ORANGE SNOW FENCE, 4'-0" HT. ATTACH TO POST WITH WIRE @ 1'-0" O.C.

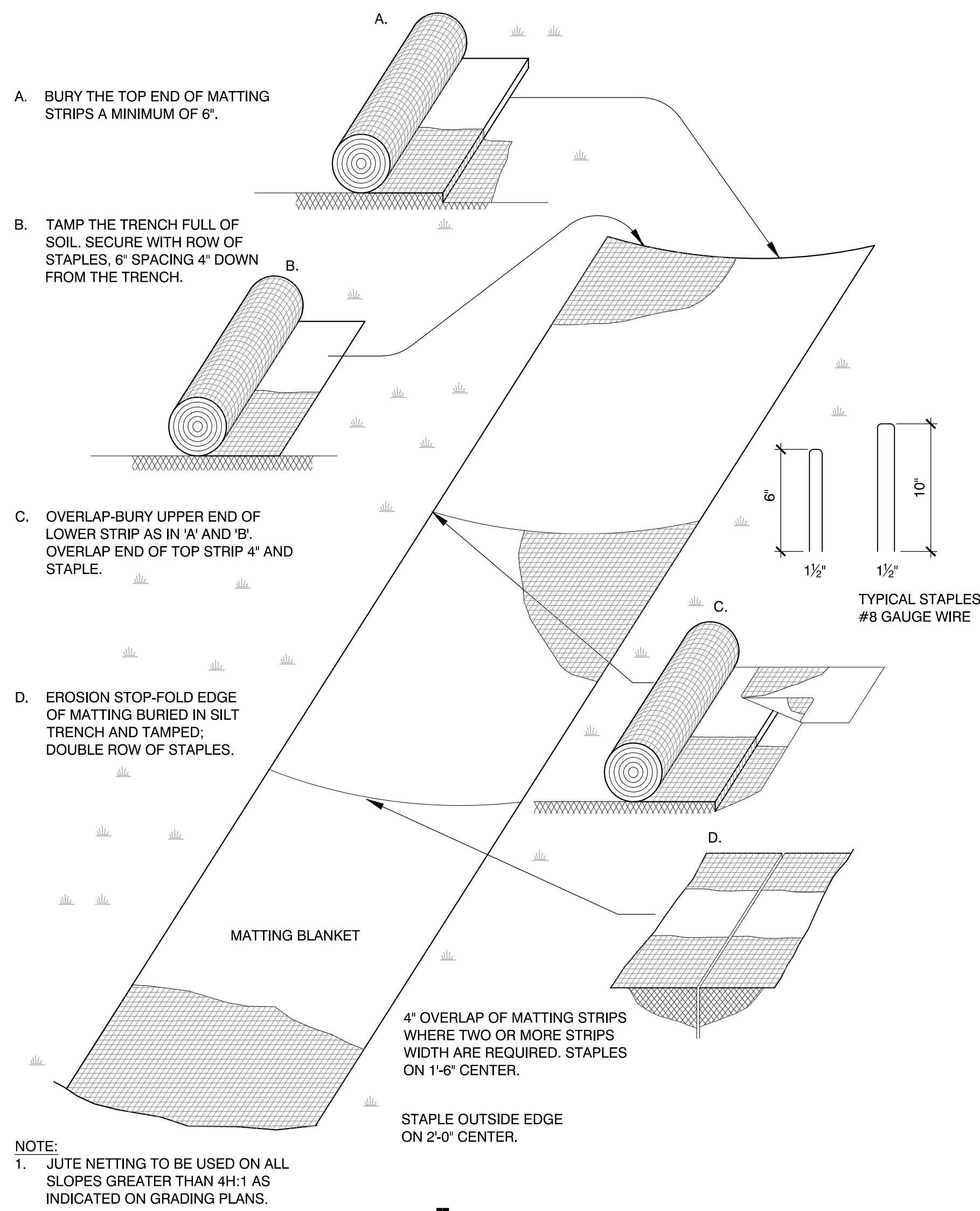
EXISTING TREE TRUNK, WRAP WITH TWO LAYERS BURLAP AND TWO LAYERS STANDARD ORANGE SNOW FENCE. SECURELY FASTEN WITH WIRE.

2 x 4s (5'-0" O.C.)

- NOTES:
- WHERE SPACE IS AVAILABLE, TREE PROTECTION FENCE TO BE PLACED A MINIMUM OF 10'-0" FROM BASE OF TREE. ADD AN ADDITIONAL 1'-0" FOR EACH ADDITIONAL DBH INCH FOR TREES GREATER THAN 10" DBH (DIA. AT BREAST HT.).
 - ALL WORK DONE WITHIN TREE PROTECTION FENCE IS TO BE DONE BY HAND AND WITH LIGHT EQUIPMENT.
 - ROOTS EXPOSED DURING EXCAVATION SHALL BE NEATLY CUT AND COVERED WITH SOIL IMMEDIATELY.
 - FOR TREES THAT OCCUR IN GROUPS, PROVIDE TREE PROTECTION FENCE AROUND ENTIRE AREA.
 - MAINTAIN FENCE PROTECTION IN SOUND CONDITION UNTIL CONSTRUCTION COMPLETION.
 - A CERTIFIED ARBORIST SHALL DELINEATE LIMIT OF TREE PROTECTION FENCE AS IT RELATES TO THE LIMITS OF THE CRITICAL ROOT ZONE.
 - CRITICAL ROOT ZONE TO BE PROTECTED. ALL WORK NECESSARY WITHIN THE CRITICAL ROOT ZONE SHALL BE PERFORMED BY HAND.

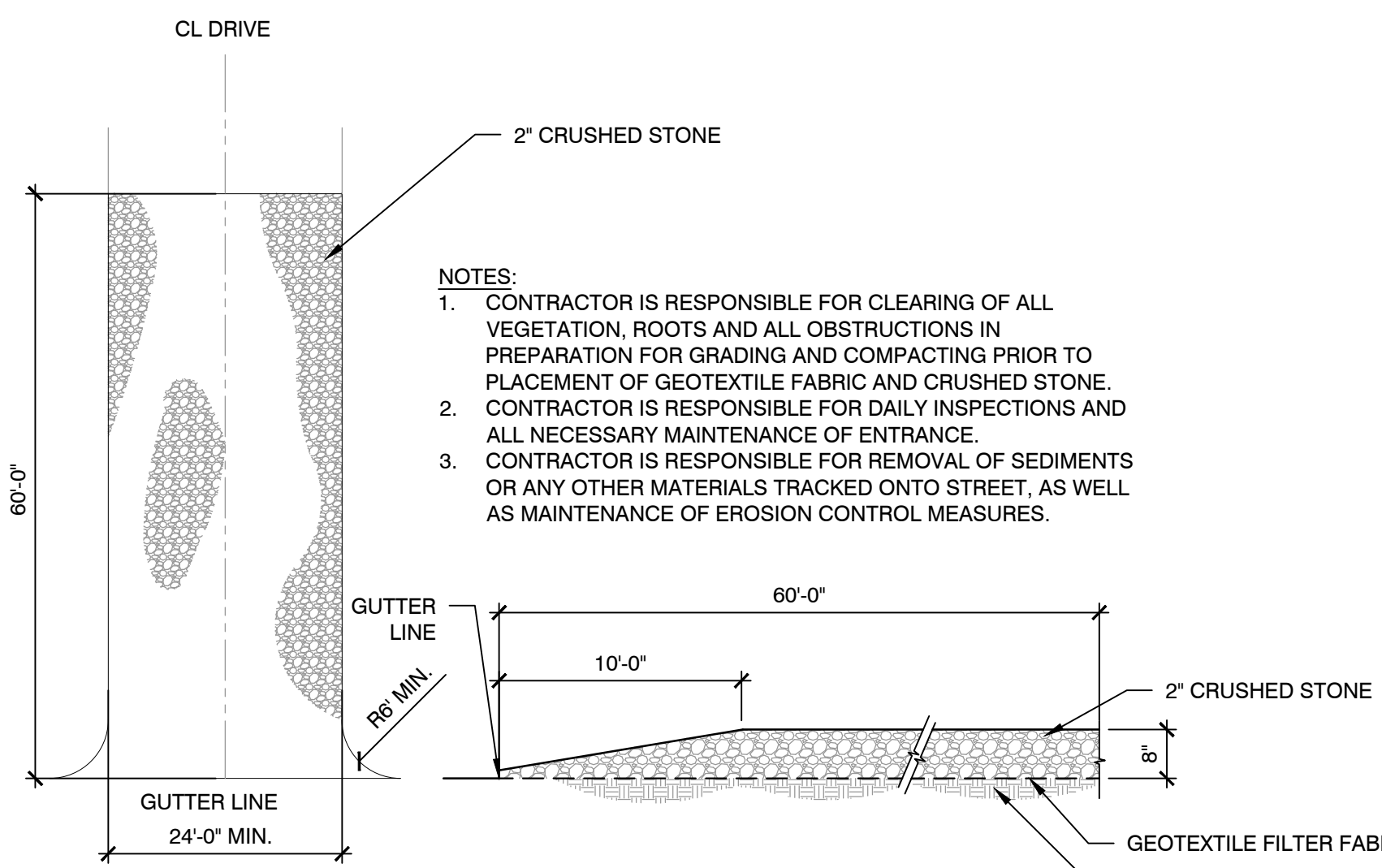
1 TREE PROTECTION

SCALE: N.T.S.



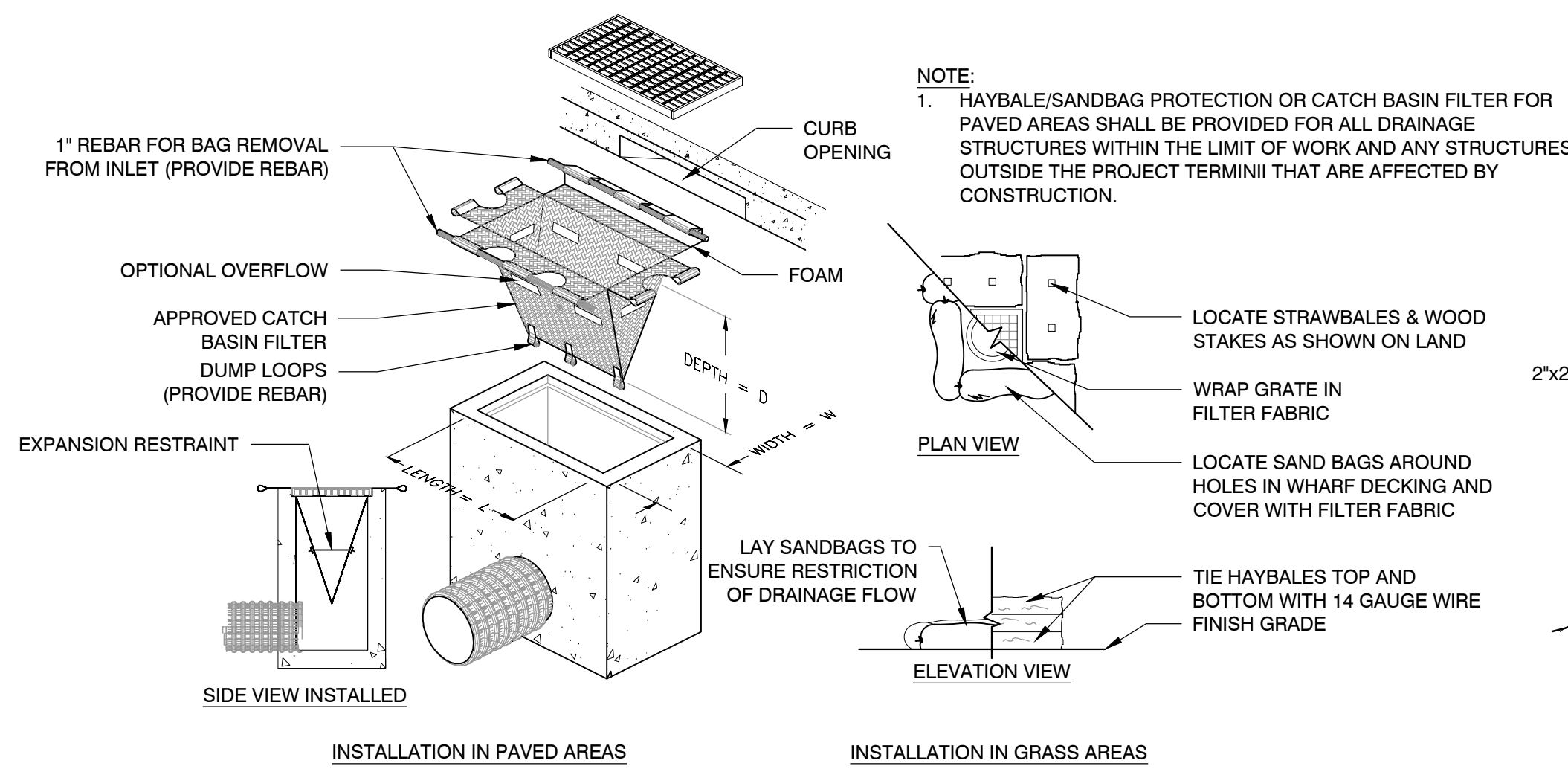
2 EROSION CONTROL MAT

SCALE: N.T.S.



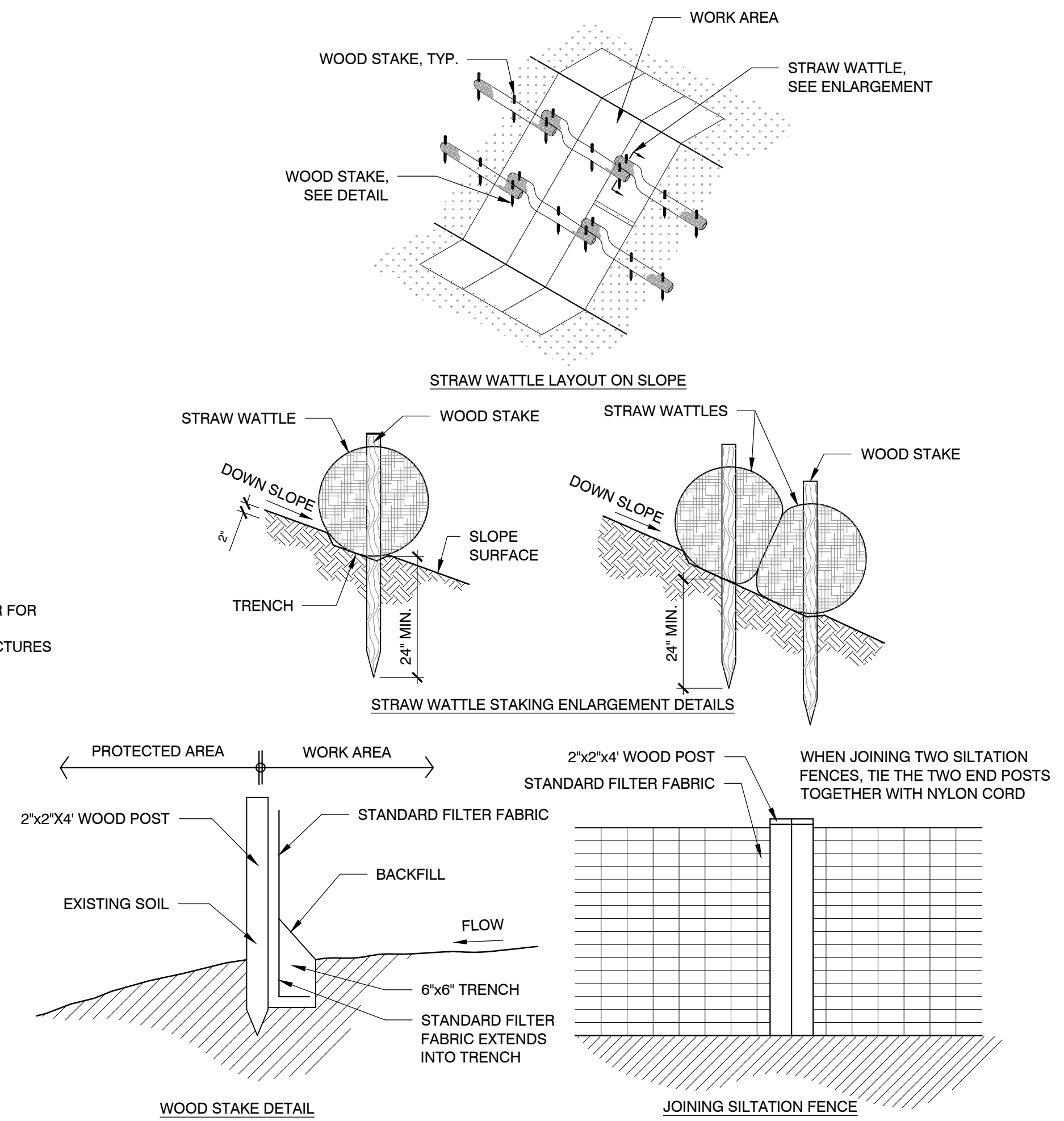
3 CONSTRUCTION ENTRANCE

SCALE: N.T.S.



4 INLET SEDIMENT CONTROL

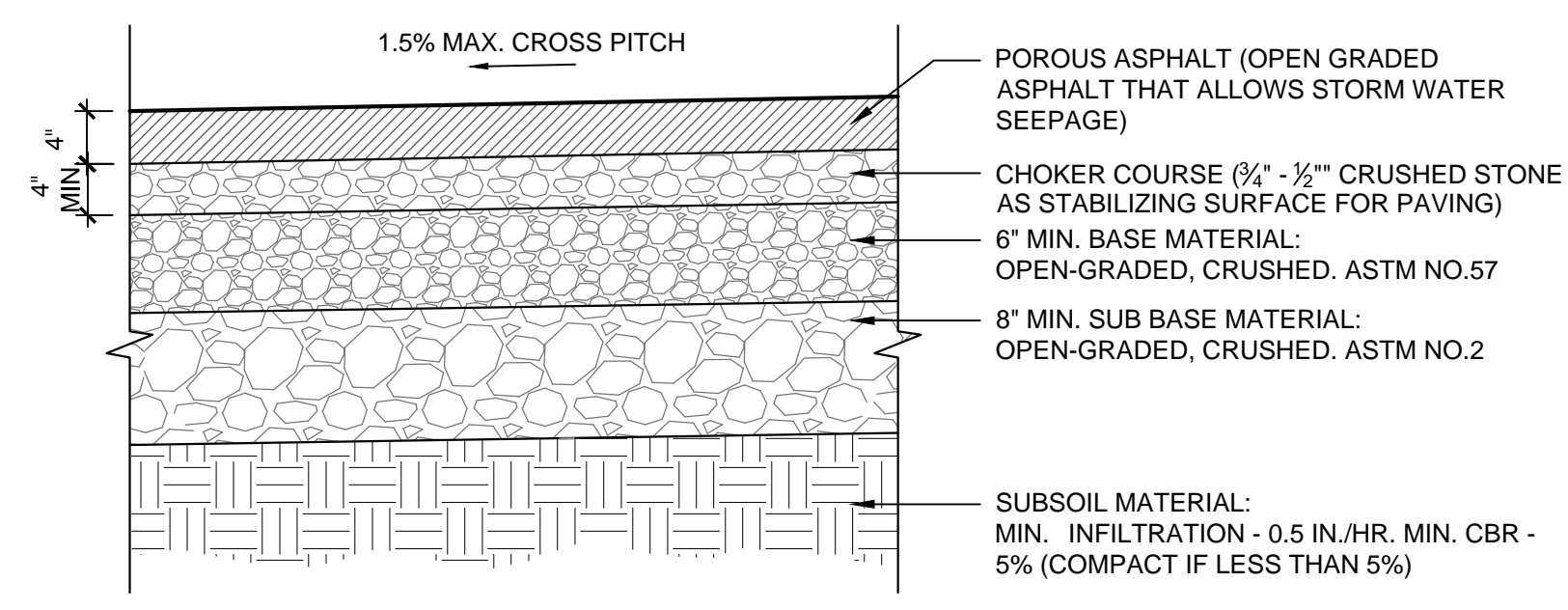
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5 SILTATION - EROSION CONTROL

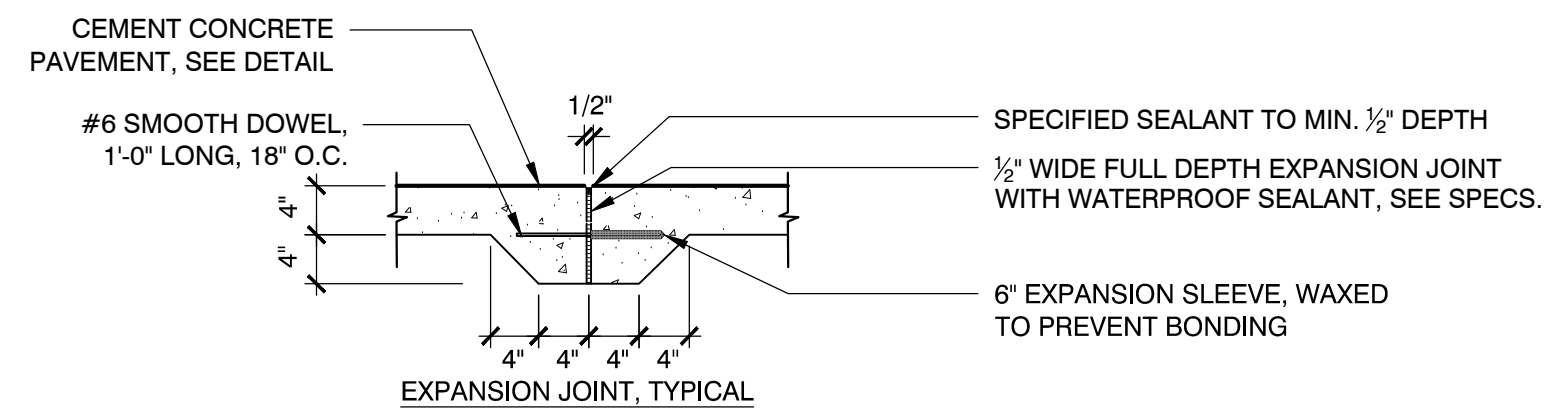
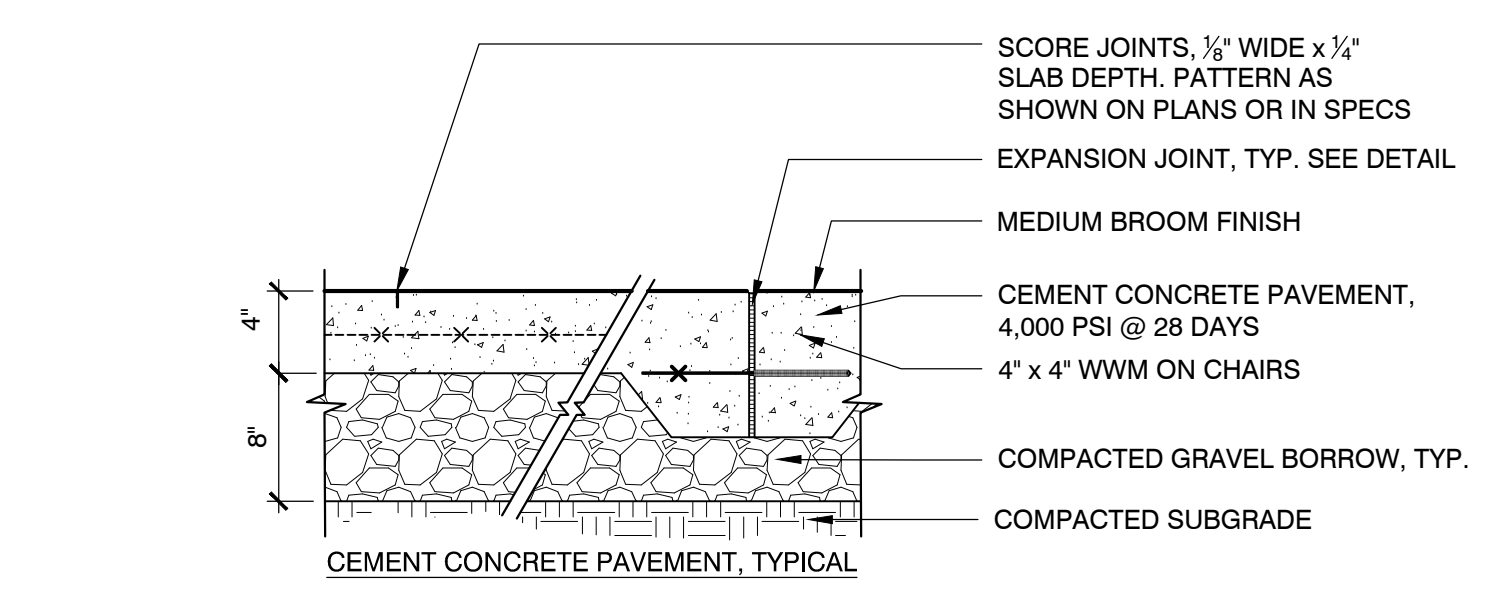
SCALE: N.T.S.

No.	Date	Description



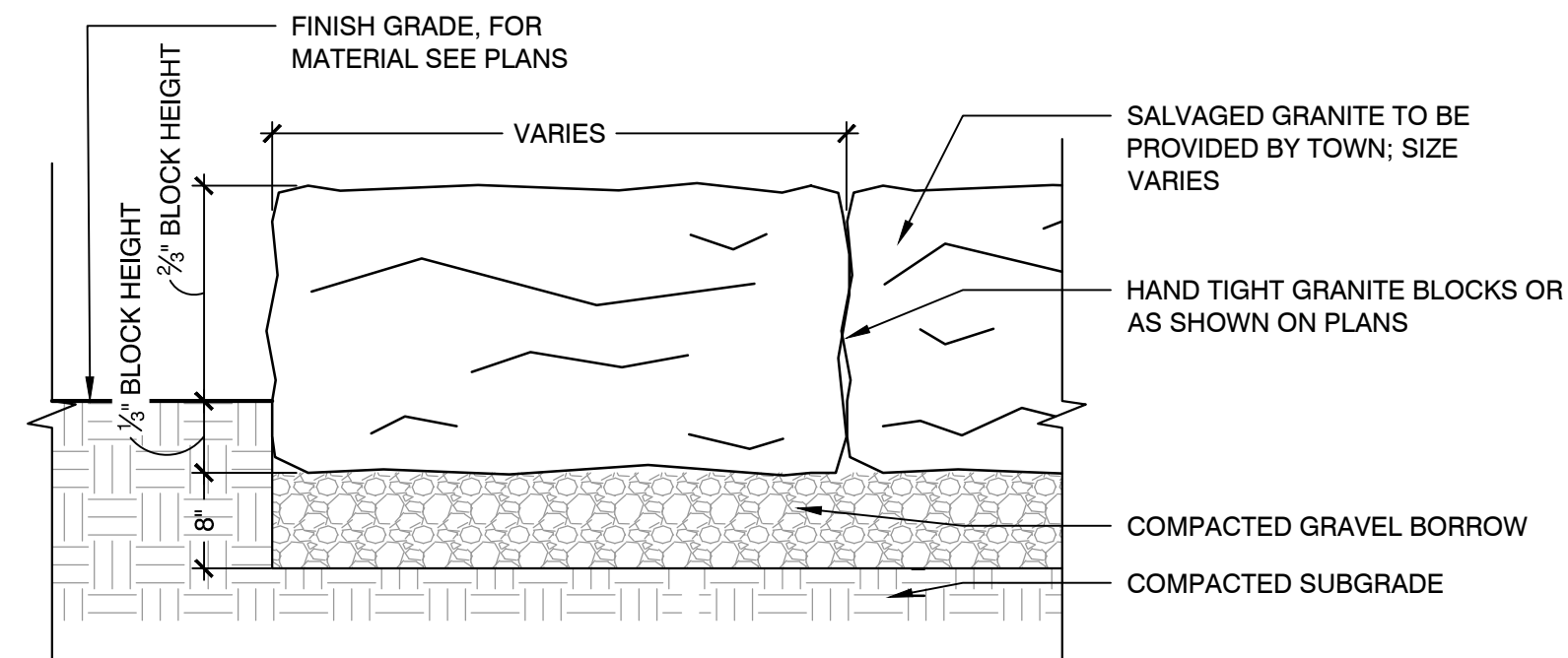
- NOTES:
1. ALL AGGREGATE MATERIAL SHALL BE CRUSHED, ANGULAR STONE AND FREE OF FINES.
 2. SURFACE SLOPE SHALL BE A MINIMUM OF 1% AND A MAXIMUM OF 5%.
 3. THE MINIMUM AGGREGATE THICKNESS ARE AFTER COMPACTION.

1 POROUS BITUMINOUS CONCRETE PAVEMENT
SCALE: N.T.S.



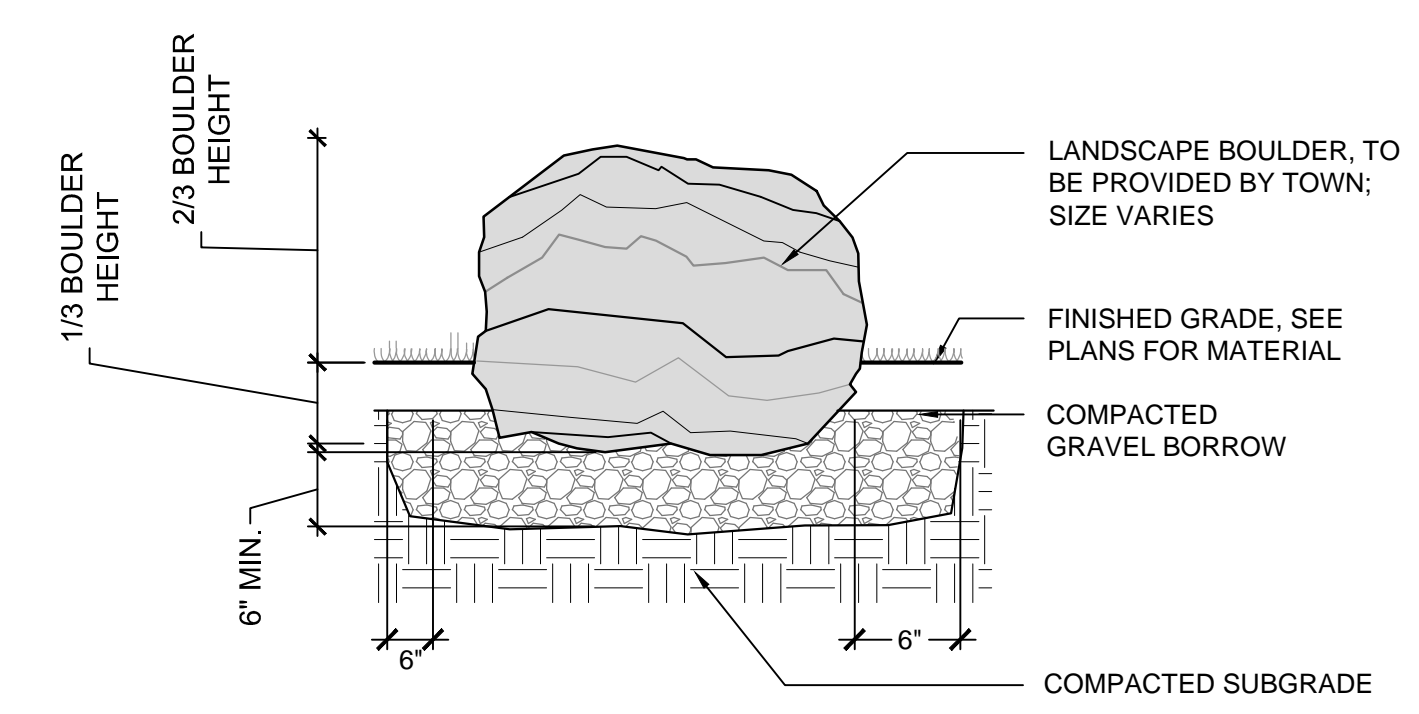
- EXPANSION JOINT INSTALLATION NOTES:
1. DOWEL IS TYPICAL AT ALL EXPANSION JOINTS (18\"/>

2 CIP CONCRETE PAVEMENT
SCALE: N.T.S.

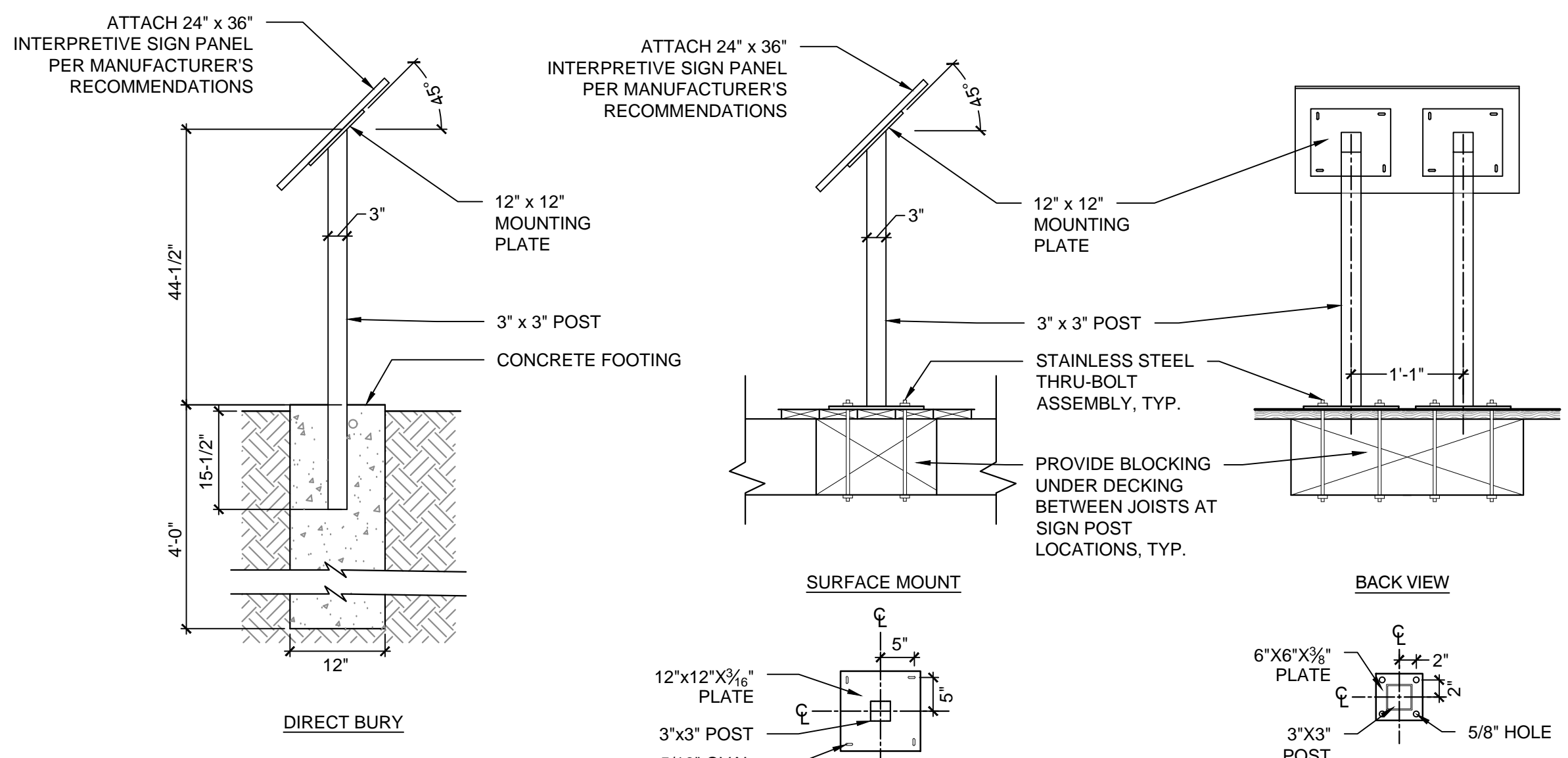


NOTE:
1. CONTRACTOR TO VERIFY EXACT LOCATION IN FIELD WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.

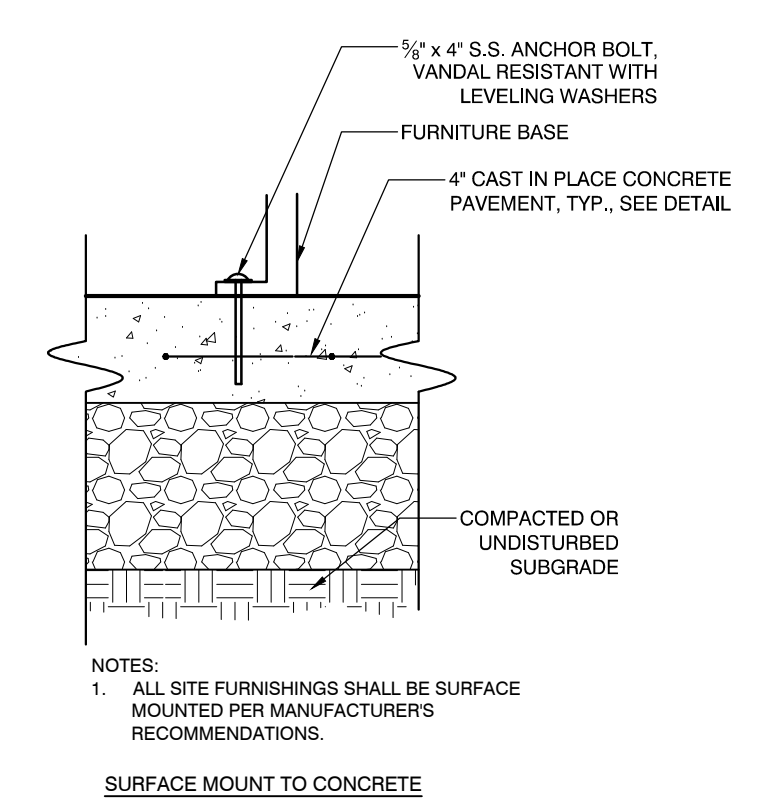
3 SALVAGED GRANITE BLOCK
SCALE: N.T.S.



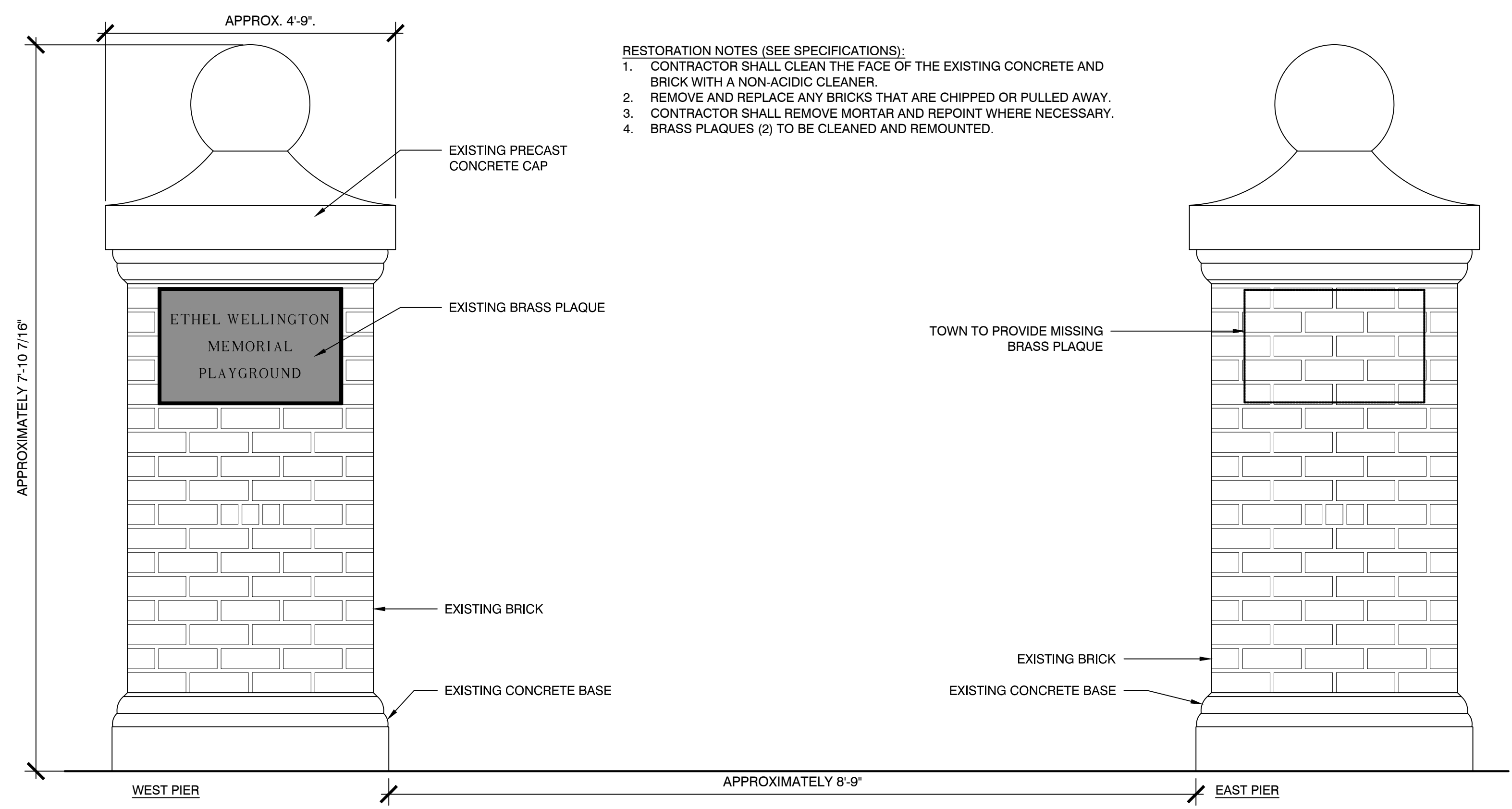
4 LANDSCAPE BOULDER
SCALE: N.T.S.



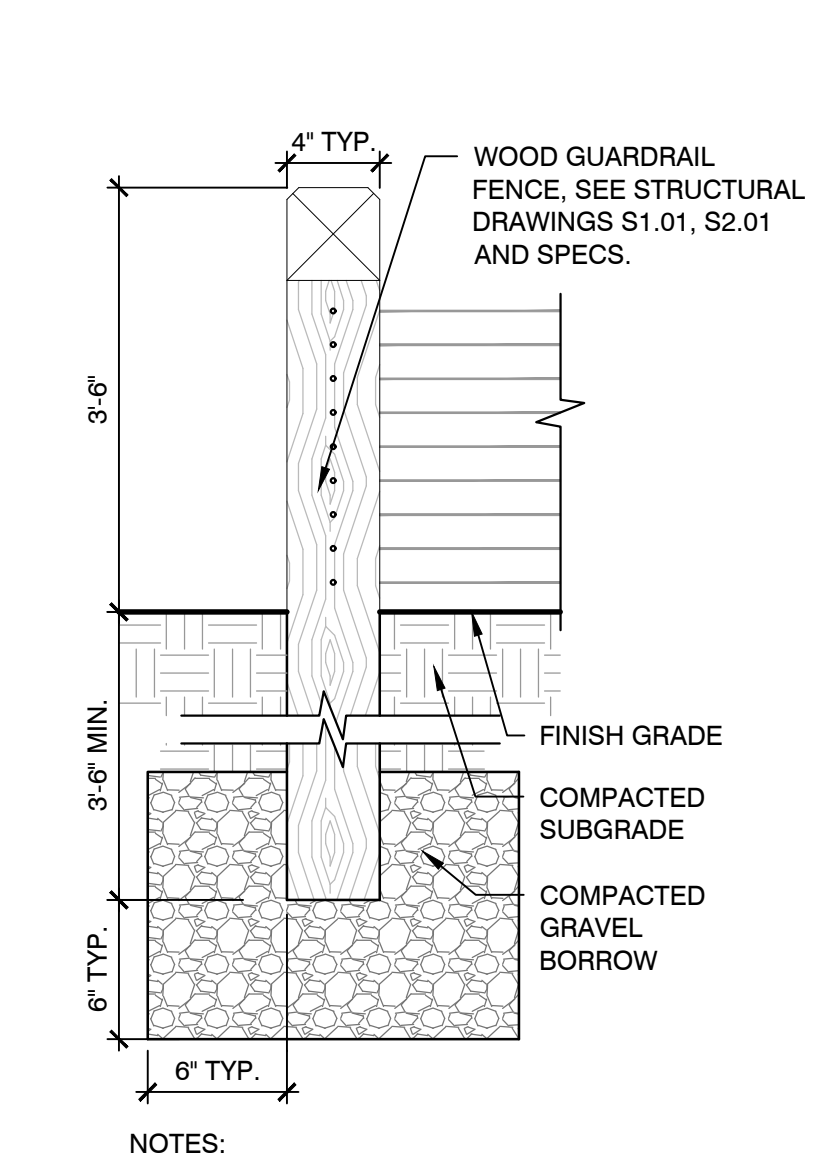
5 ENVIRONMENTAL INTERPRETIVE SIGNAGE - DOUBLE POST
SCALE: N.T.S.



6 FURNITURE SURFACE MOUNT
SCALE: N.T.S.



7 REFURBISHED BRICK ENTRANCE PIERS
SCALE: N.T.S.



8 WOOD FENCE AT LAWN
SCALE: N.T.S.

Project:
TOWN OF ARLINGTON, MA

MILL BROOK CORRIDOR & WELLINGTON PARK REVITALIZATION PROJECT

Weston & Sampson
85 Devonshire Street,
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www.westonandsampson.com

Consultants:

Revisions:

No.	Date	Description

Seal:

Issued For:
CONSTRUCTION DOCUMENTS

Scale:
Date: JANUARY 28, 2019
Drawn By: CB, EB
Reviewed By: JL, CR
Approved By: CR
W&S Project No: 2180078
W&S File No:

Drawing Title:
LANDSCAPE DETAILS
Sheet Number:
L6.02

Consultants:

Revisions:

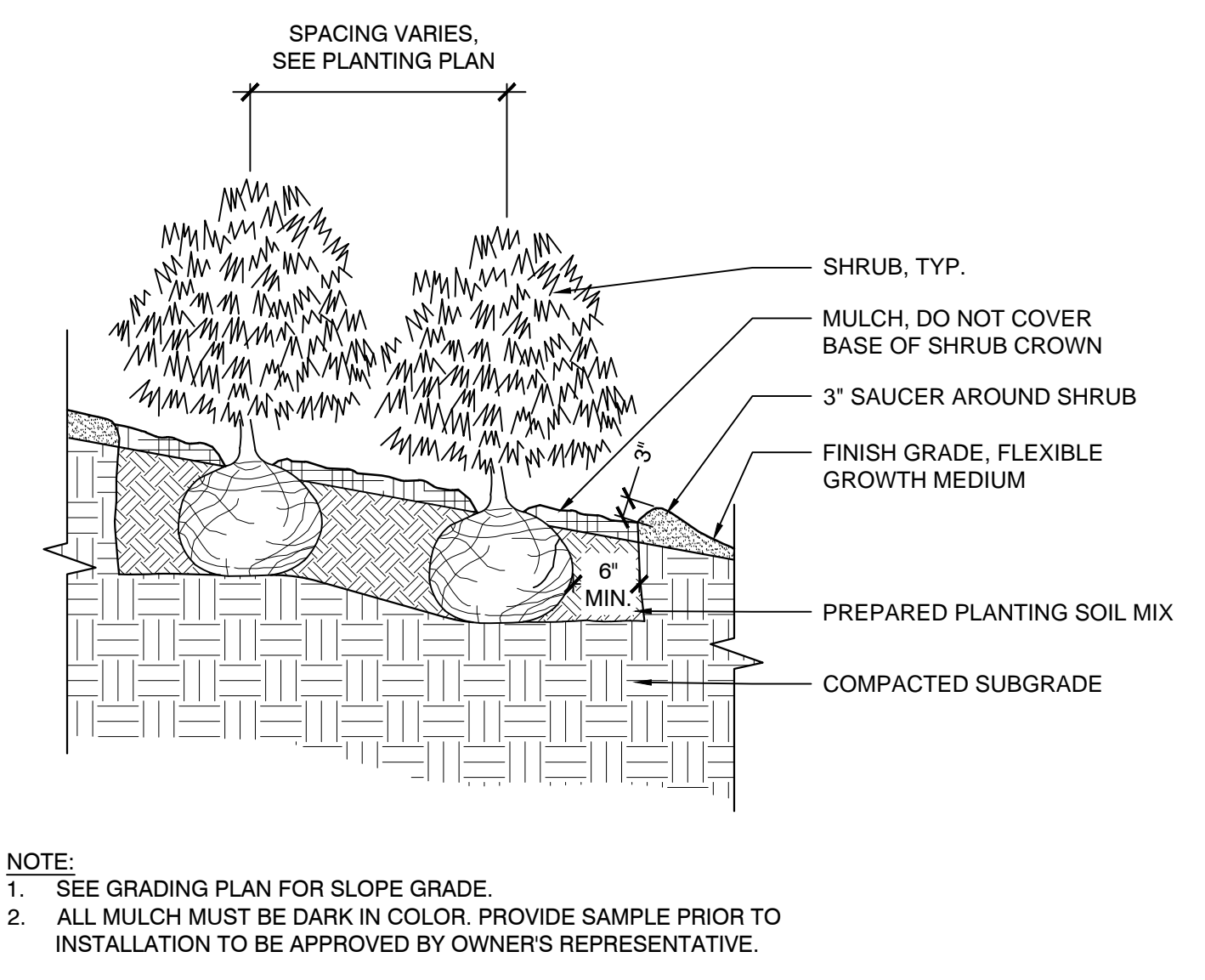
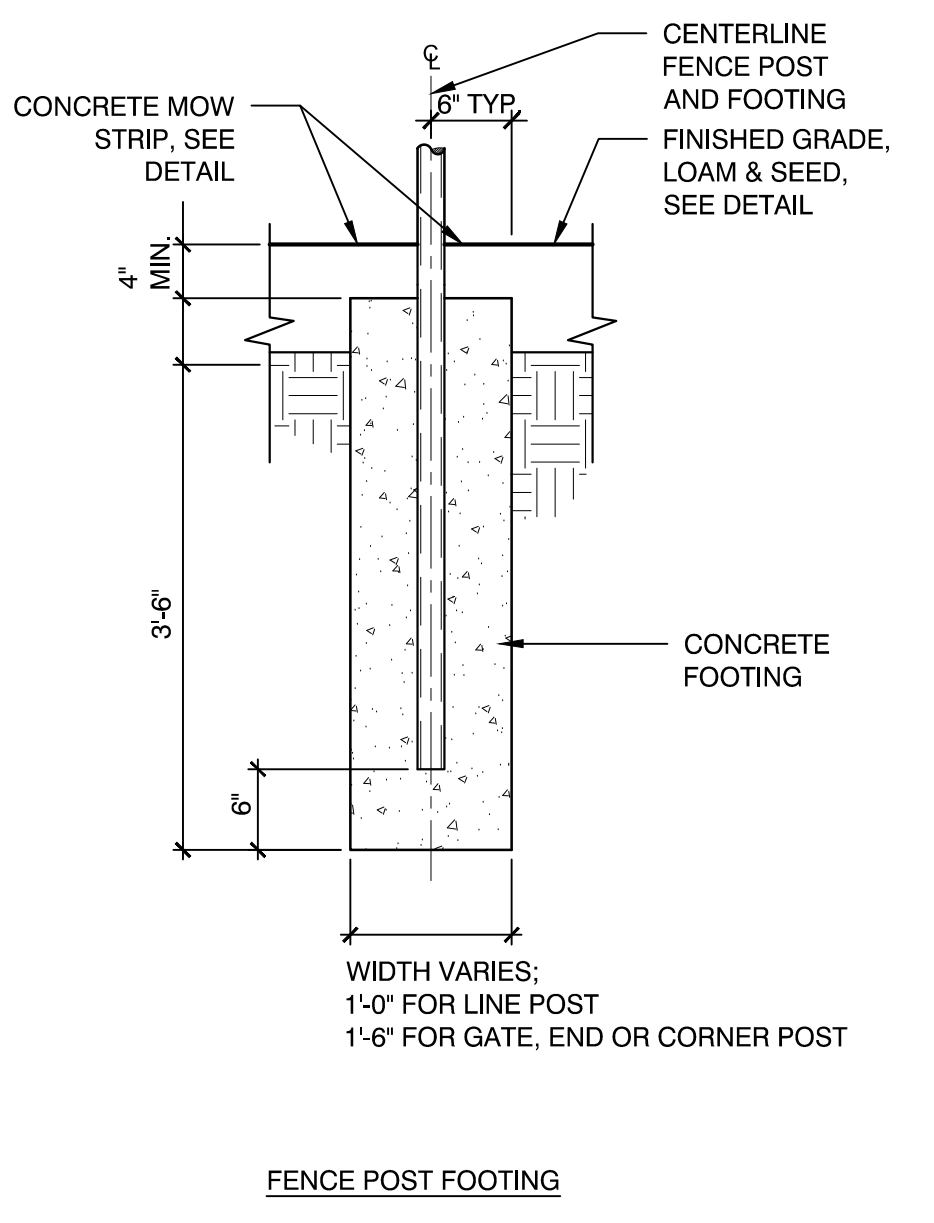
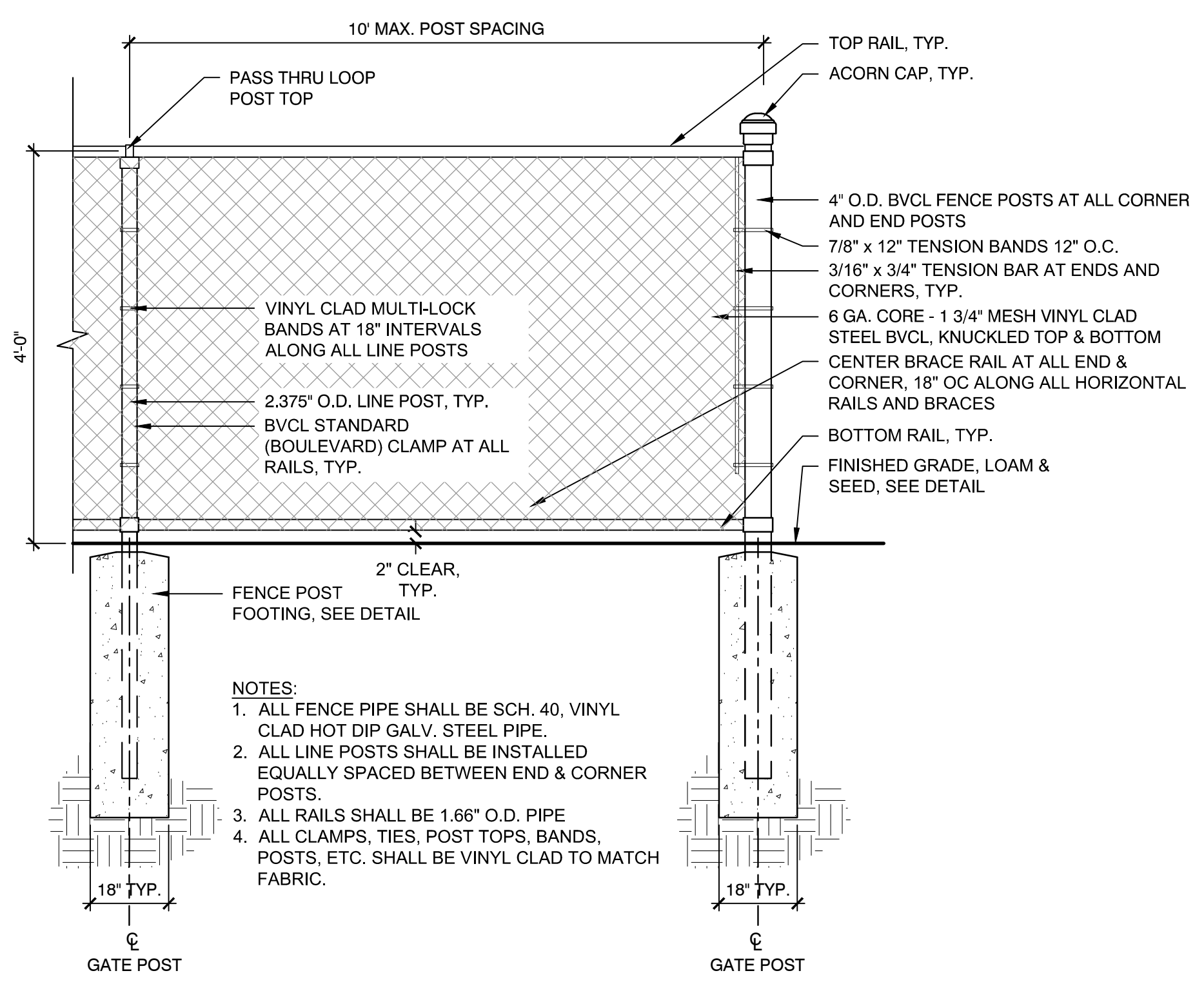
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Issued For:
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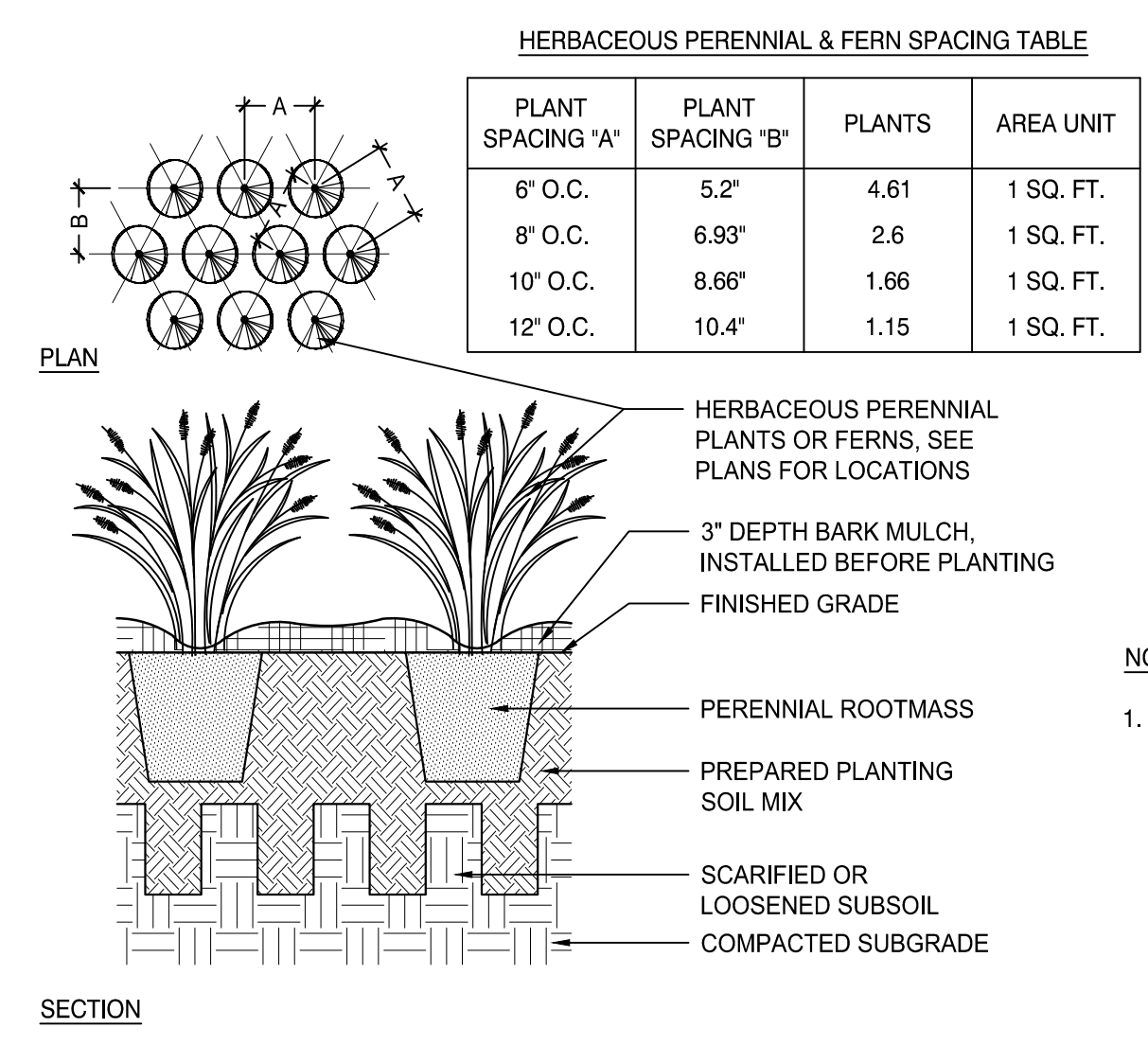
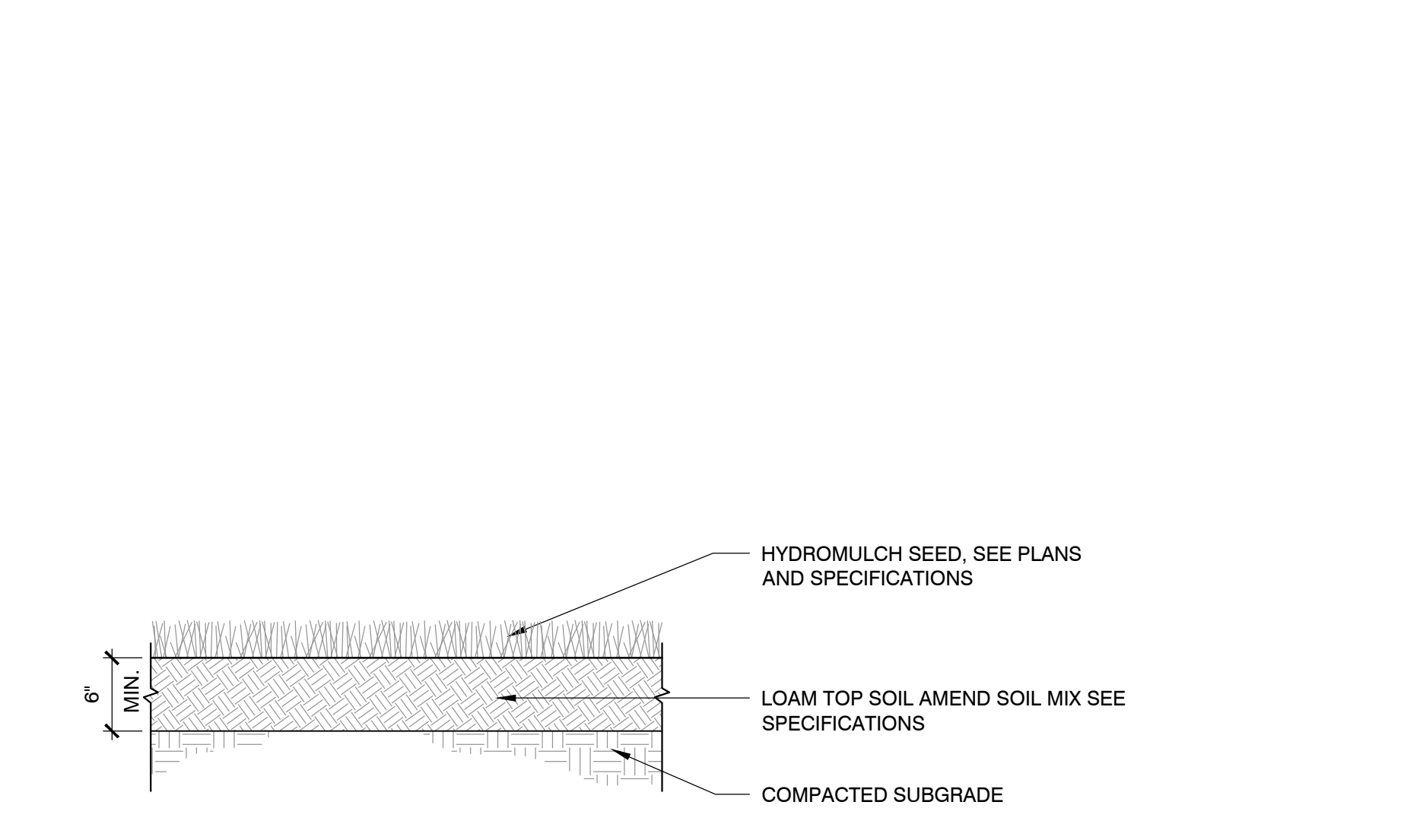
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 Drawn By: CB, EB
 Reviewed By: JL, CR
 Approved By: CR
 W&S Project No: 2180078
 W&S File No:

Drawing Title:
LANDSCAPE DETAILS
 Sheet Number:
L6.03
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1 4' HT. BLACK VINYL CHAIN LINK (BVCL) FENCE AND FOOTING
 SCALE: N.T.S.

6 SHRUB PLANTING ON SLOPE
 SCALE: N.T.S.

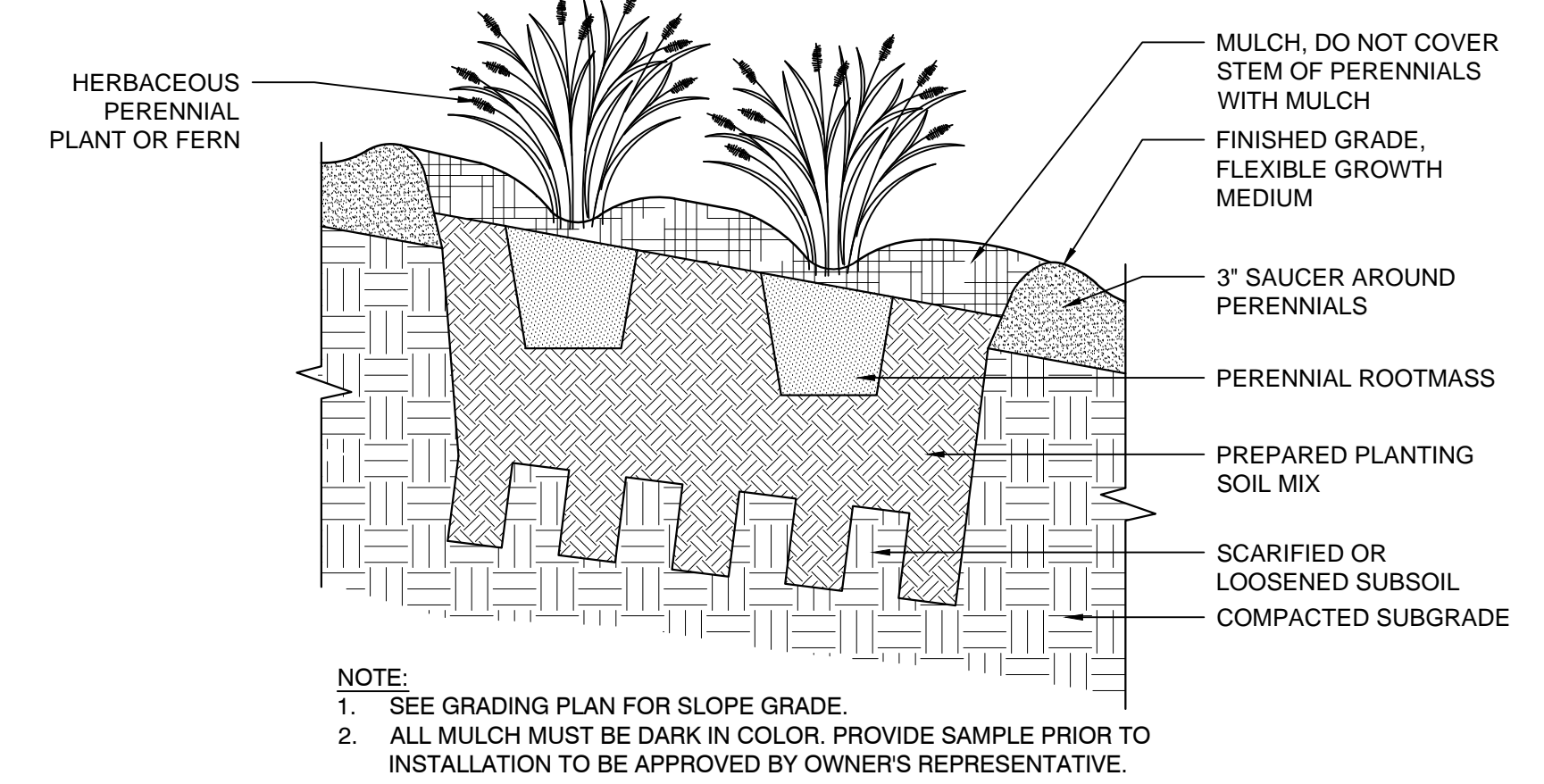
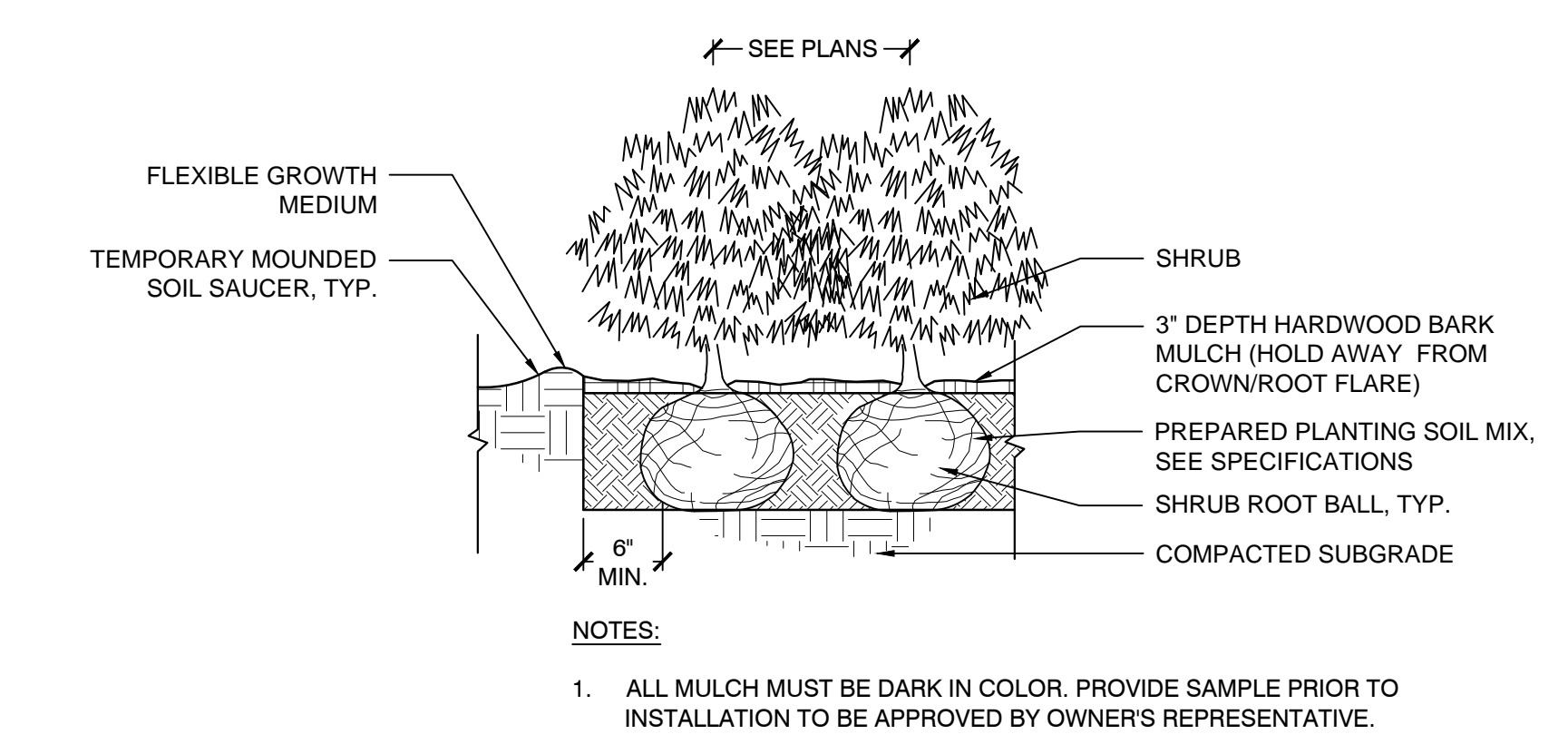


HERBACEOUS PERENNIAL & FERN SPACING TABLE

PLANT SPACING 'A'	PLANT SPACING 'B'	PLANTS	AREA UNIT
6" O.C.	5.2"	4.61	1 SQ. FT.
8" O.C.	6.93"	2.6	1 SQ. FT.
10" O.C.	8.66"	1.66	1 SQ. FT.
12" O.C.	10.4"	1.15	1 SQ. FT.

2 LOAM & SEED
 SCALE: N.T.S.

4 HERBACEOUS PERENNIAL
 SCALE: N.T.S.

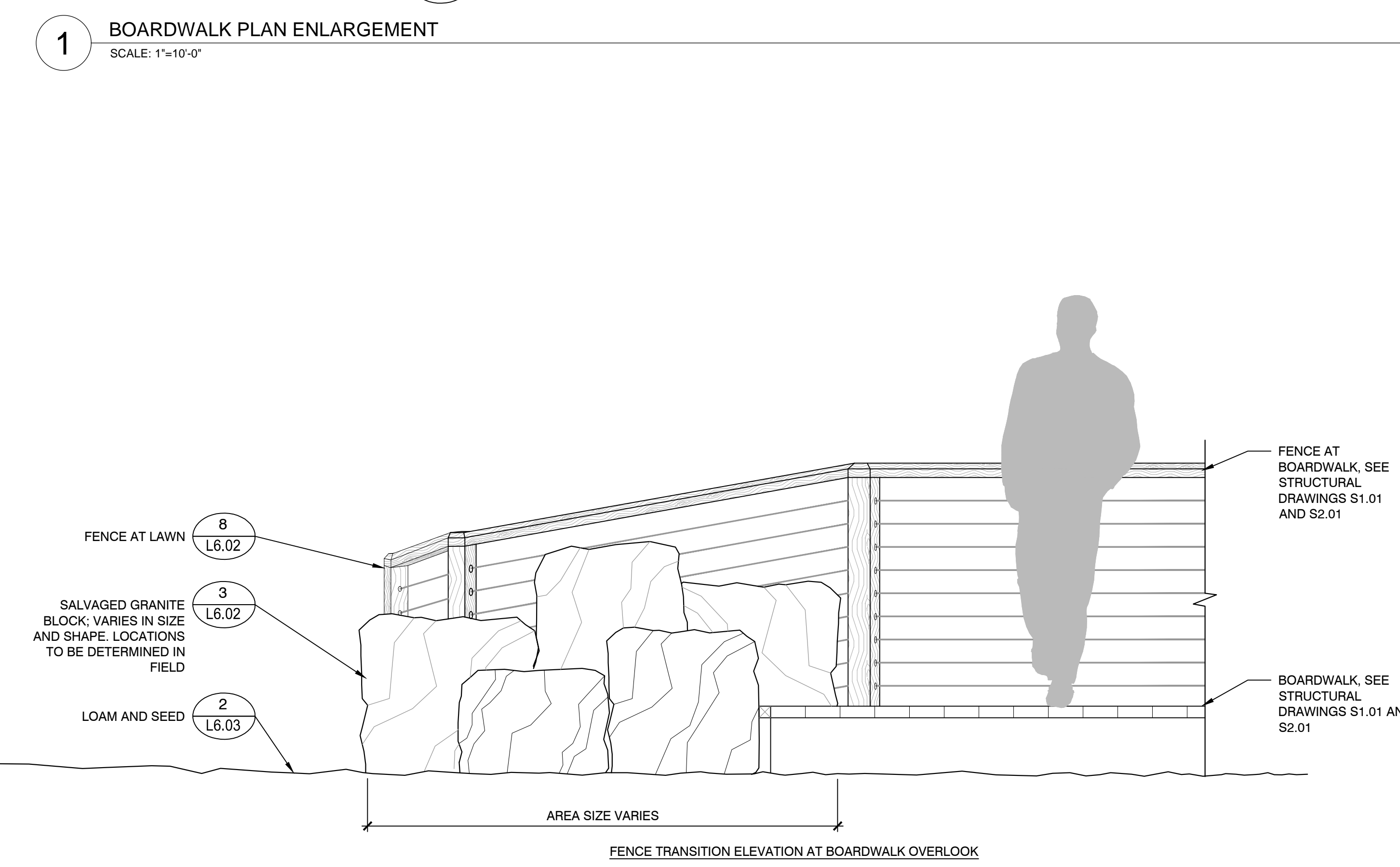
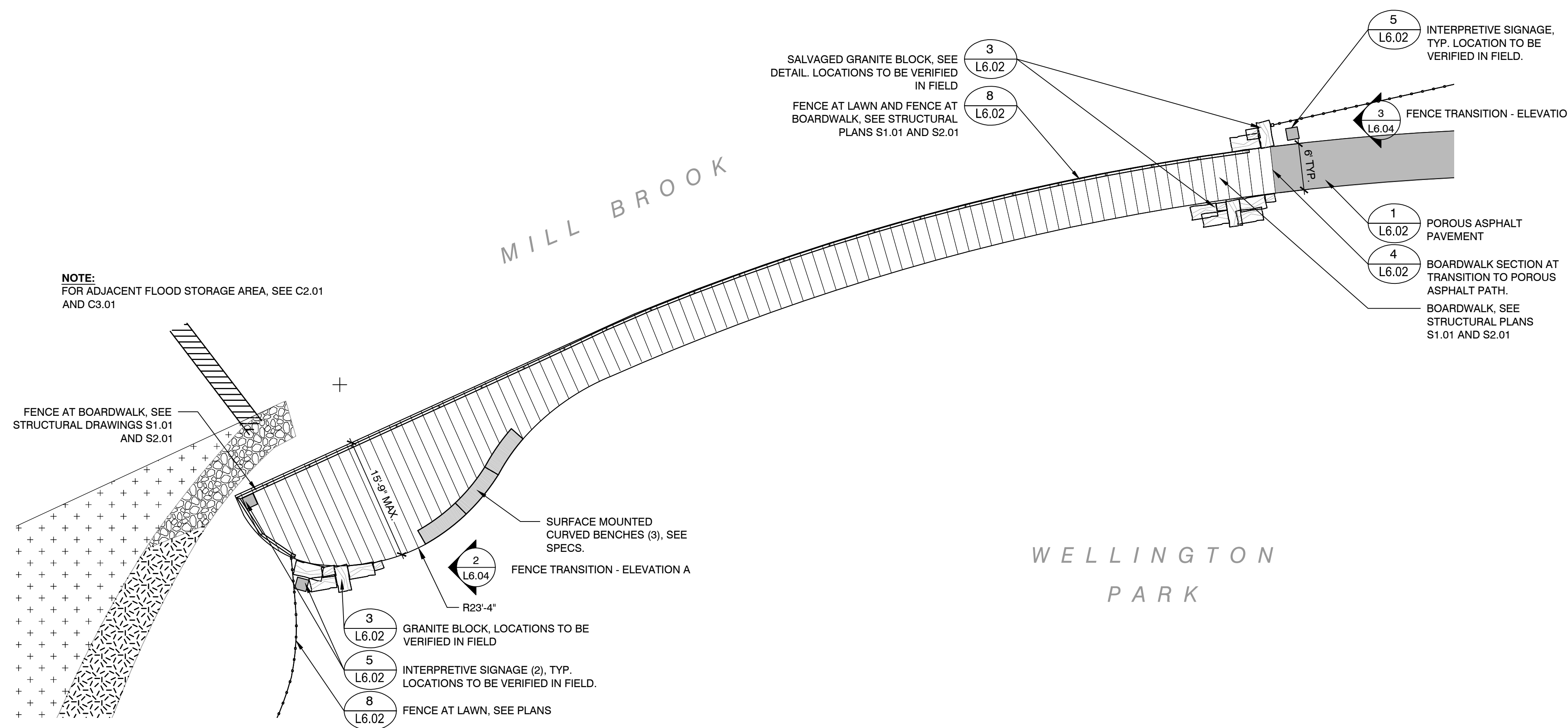


3 SHRUB PLANTING
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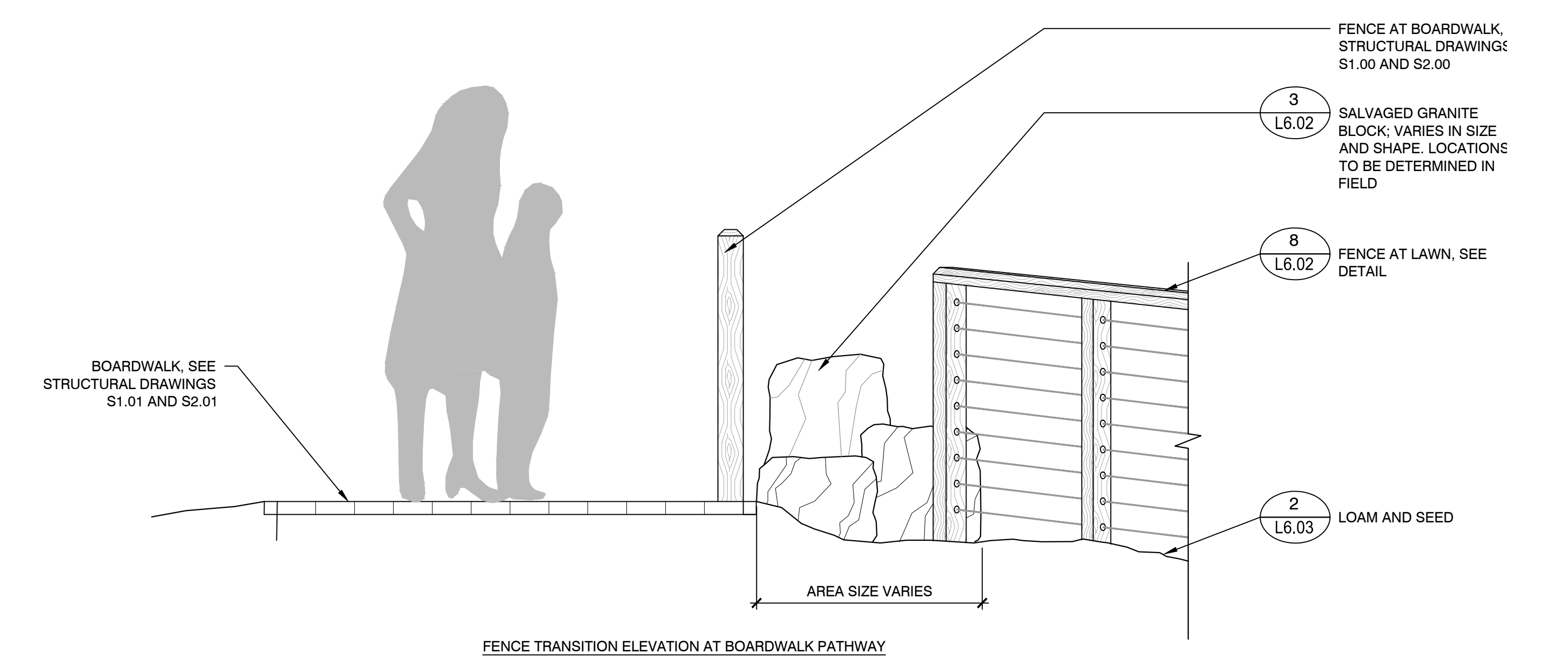
5 HERBACEOUS PERENNIAL PLANTING ON SLOPE
 SCALE: N.T.S.



No.	Date	Description



2 FENCE TRANSITION - ELEVATION A
SCALE: N.T.S.



3 FENCE TRANSITION - ELEVATION B
SCALE: N.T.S.