



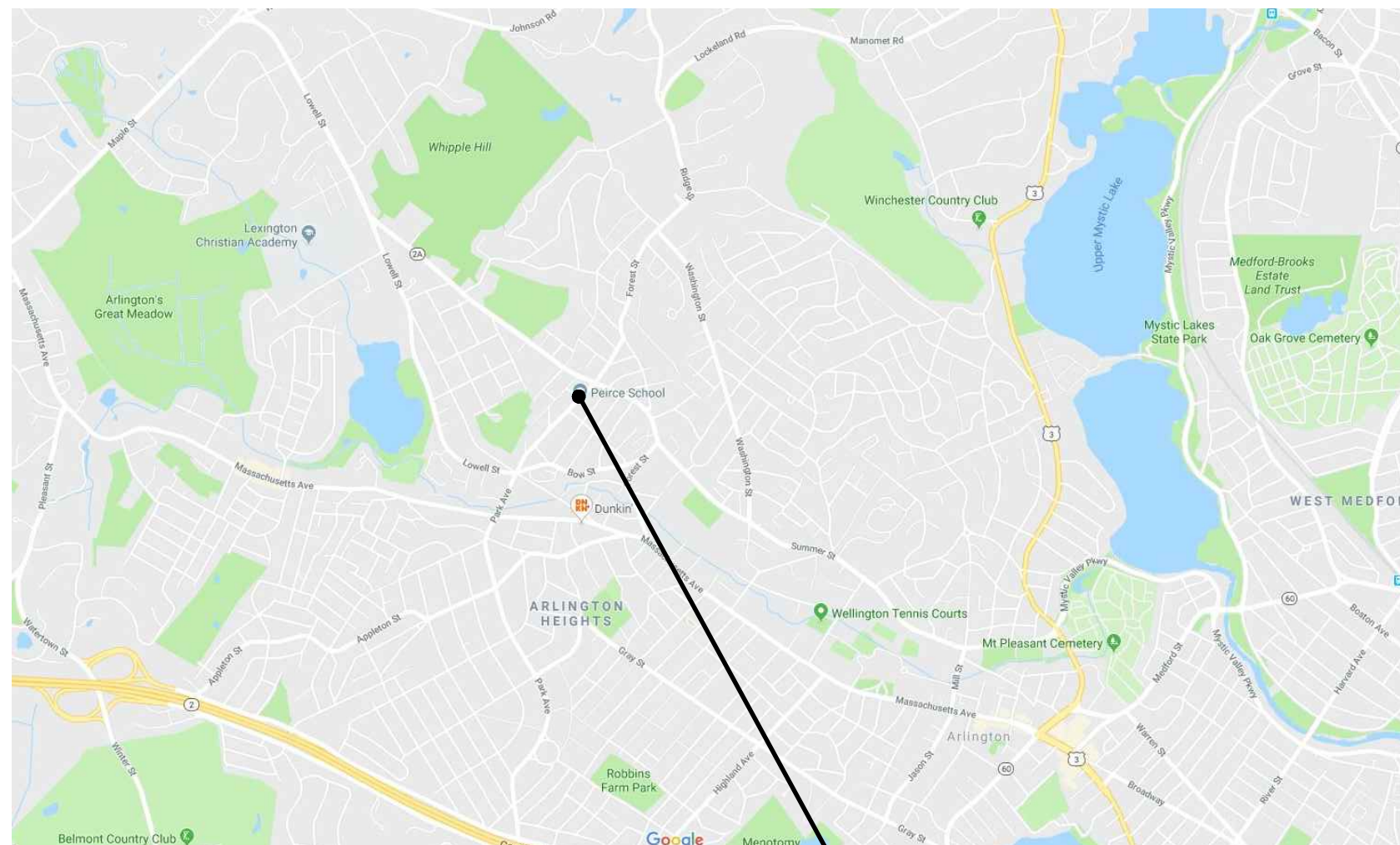
Town of Arlington, Massachusetts

PLANS FOR THE IMPROVEMENTS TO Playground at Peirce Elementary School

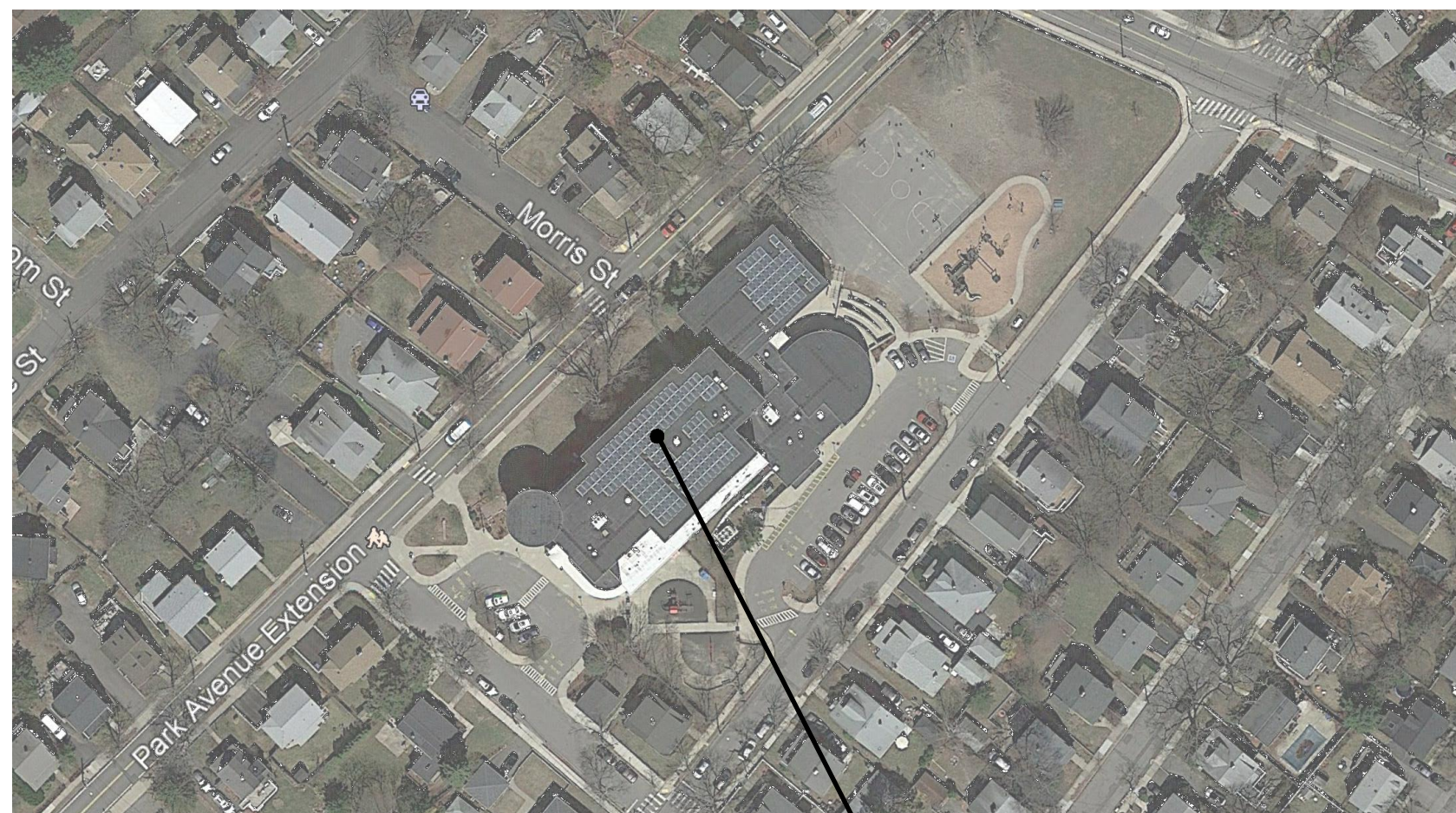
85 Park Avenue Extension
Arlington, Massachusetts

TOWN OF ARLINGTON, MASSACHUSETTS

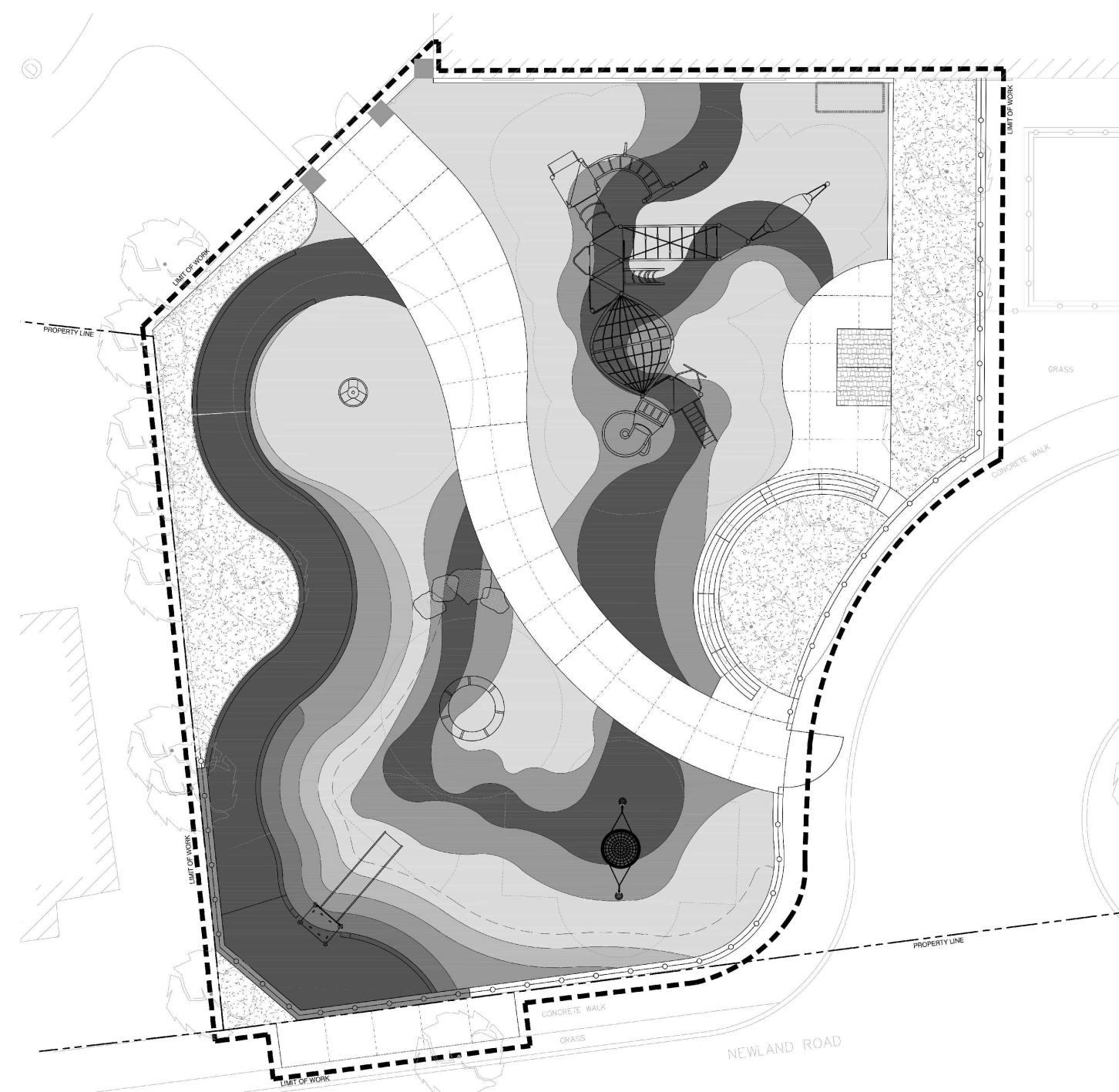
ADAM W. CHAPDELAINE
TOWN MANAGER
730 MASSACHUSETTS AVE
ARLINGTON, MASSACHUSETTS, 02476
PHONE: 781-316-3010



PEIRCE ELEMENTARY SCHOOL
LOCUS MAP



PEIRCE ELEMENTARY SCHOOL
AERIAL



FOR REFERENCE ONLY.

July 11, 2019

Prepared By



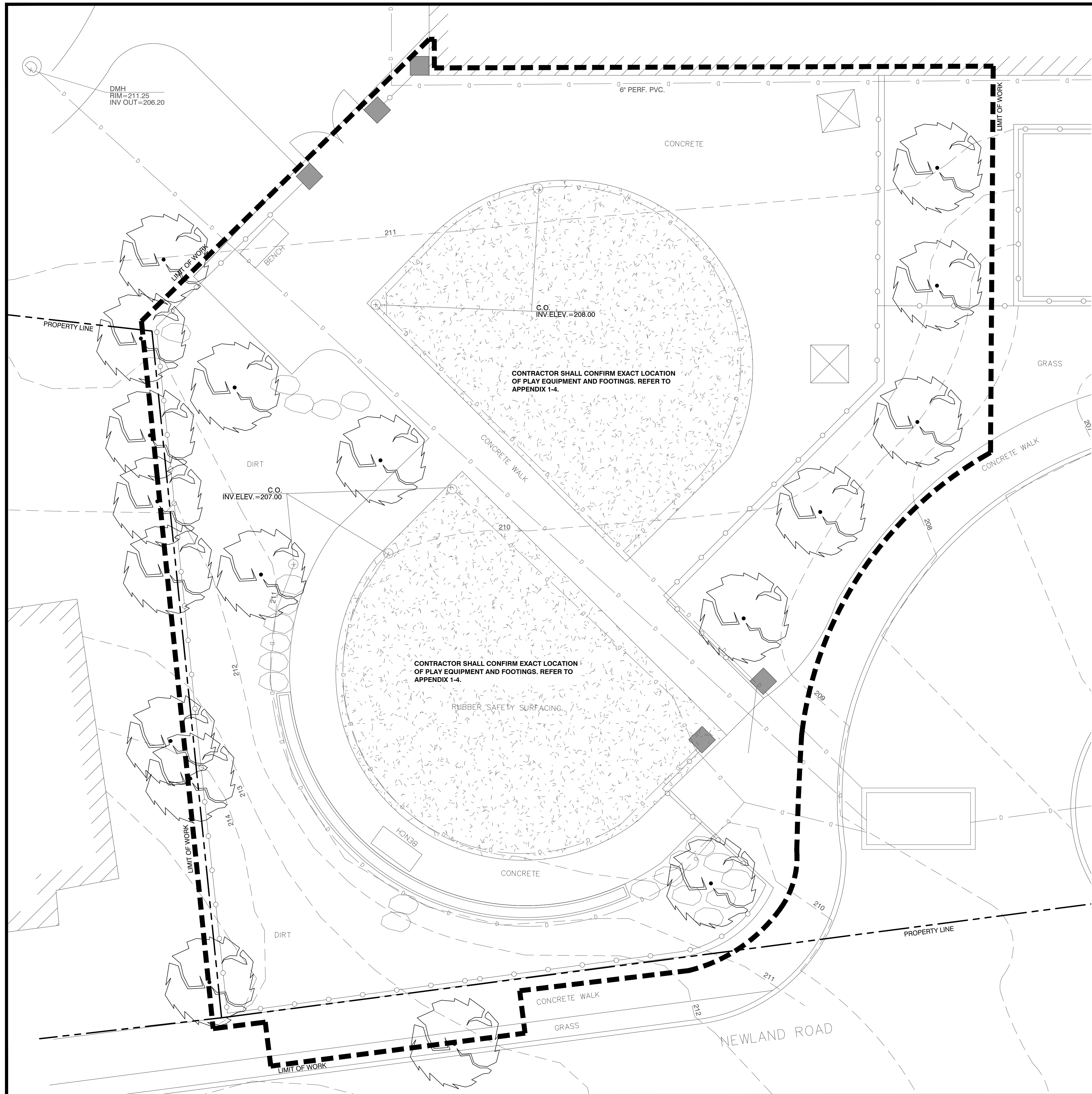
85 Devonshire Street, 3rd Floor
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CONSTRUCTION DOCUMENTS

- SPECIAL NOTES REGARDING EXISTING CONDITIONS DOCUMENTATION:**
1. A CURRENT EXISTING CONDITION SITE SURVEY WAS NOT PROVIDED FOR THESE CONSTRUCTION DOCUMENTS.
 2. SITE EXISTING CONDITIONS INFORMATION SHOWN ON THESE CONSTRUCTION DOCUMENTS WAS COMPILED BASED ON PLANS FROM THE PEIRCE ELEMENTARY SCHOOL BUILDING ADDITION ISSUED IN JULY OF 2001 AND PRODUCED BY DRUMMEY ROSANE ANDERSON INC. AND JOHN G. CROWE ASSOCIATES, INC. THE PROPOSED WORK FROM THE BUILDING ADDITION PLANS HAS BEEN COMBINED WITH THE EXISTING CONDITIONS PLANS TO PRODUCE THE ESTIMATED CURRENT EXISTING CONDITIONS.
 3. IT IS IMPORTANT TO NOTE, THE EXISTING CONDITIONS INFORMATION SHOWN IS NOT EXACT AND IS BASED UPON UNVERIFIED PLAN INFORMATION RECEIVED. WESTON & SAMPSON DID NOT RECEIVE AS-BUILT PLANS FROM THE 2001 BUILDING ADDITION PROJECT. ALL EXISTING CONDITIONS INFORMATION IS APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR.
 4. DUE TO LACK OF SURVEY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL SURVEY CONTROLS AND VERTICAL AND HORIZONTAL DATUMS.

SHEET INDEX

L0.00	COVER SHEET
L1.00	EXISTING CONDITIONS PLAN (ILLUSTRATIVE ONLY)
L2.00	SITE PREPARATION & DEMOLITION PLAN
L3.00	MATERIALS & LAYOUT PLAN
L3.01	MATERIALS ENLARGEMENT PLANS
L4.00	GRADING, DRAINAGE & UTILITY PLAN (ILLUSTRATIVE ONLY)
L5.00 - L5.02	CONSTRUCTION DETAILS
AP1	APPENDIX 1 - L-2 SITE GRADING PLAN (03/07/2001)
AP2	APPENDIX 2 - L-3 SITE UTILITY PLAN (03/07/2001)
AP3	APPENDIX 3 - L-4 SITE LAYOUT PLAN (03/07/2001)
AP4	APPENDIX 4 - L-6.F DETAILED SITE PLAN AND HANDICAP RAMP DETAIL (03/07/2001)



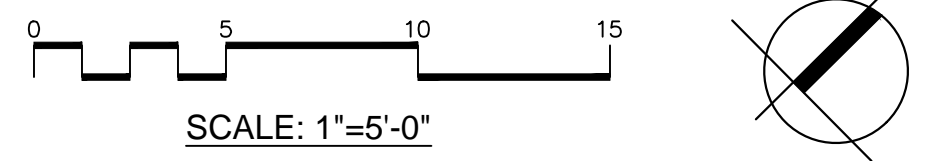
LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- CHAIN LINK FENCE
- CONTOUR LINE
- DRAIN LINE
- POURED IN PLACE RUBBER SURFACING
- BOULDER
- PORTABLE PLAYHOUSE
- BRICK PILLAR
- CAST-IN-PLACE CONCRETE RETAINING WALL
- BUILDING
- TREE
- SINGLE CHAIN LINK SWING GATE
- DOUBLE CHAIN LINK SWING GATE
- CLEAN OUT
- INVERT
- ELEVATION
- DRAINAGE MANHOLE
- PERFORATED

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- GENERAL NOTES**
- LOCATIONS OF ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES AND REPAIRING ANY DAMAGE DONE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ON-SITE COORDINATION WITH UTILITY COMPANIES AND PUBLIC AGENCIES, AND FOR OBTAINING ALL REQUIRED PERMITS AND PAYING ALL REQUIRED FEES. IN ACCORDANCE WITH M.G.L. CHAPTER 82, SECTION 40, INCLUDING AMENDMENTS, CONTRACTORS SHALL NOTIFY ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES IN WRITING PRIOR TO EXCAVATION. CONTRACTOR SHALL ALSO CALL "DIG SAFE" AT (888) 344-7293 NO LESS THAN 72 HOURS, (EXCLUSIVE OF WEEKENDS AND HOLIDAYS), PRIOR TO SUCH EXCAVATION. DOCUMENTATION OF REQUESTS SHALL BE PROVIDED TO THE OWNER PRIOR TO EXCAVATION WORK.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE EXTENT OF EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE SITE IMPROVEMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE, REVIEWING THE DRAWINGS, AND ASSUMING RESPONSIBILITY OF VERIFYING ALL EXISTING CONDITIONS AND MATERIALS SHOWN WITHIN THE LIMIT OF WORK.
 - ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND EXISTING CONDITIONS, EXISTING CONDITIONS TO REMAIN, TEMPORARY CONSTRUCTION, PERMANENT CONSTRUCTION, AND WORK OF ADJACENT CONTRACTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER BEFORE PROCEEDING. ITEMS ENCOUNTERED IN AREAS OF EXCAVATION THAT ARE NOT INDICATED ON THE DRAWINGS, BUT ARE VISIBLE ON SURFACE, SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
 - ANY ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE GENERAL CONTRACTOR ON "AS-BUILT" DRAWINGS. CONTRACTOR SHALL SUPPLY AN ELECTRONIC COPY OF THE AS-BUILT DRAWINGS IN PDF AND CAD FORMATS TO THE OWNER AND THE OWNER'S REPRESENTATIVE FOLLOWING COMPLETION OF CONSTRUCTION.
 - ALL AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR AT NO ADDITIONAL COST TO AND TO THE SATISFACTION OF THE OWNER.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THEIR EMPLOYEES, AS WELL AS PUBLIC USERS FROM INJURY DURING THE ENTIRE CONSTRUCTION PERIOD USING ALL NECESSARY SAFEGUARDS.
 - THE CONTRACTOR SHALL SUPPLY THE OWNER WITH THE NAME OF THE OSHA 'COMPETENT PERSON' PRIOR TO CONSTRUCTION.
 - FILLING OF EXCAVATED AREAS SHALL NOT TAKE PLACE WITHOUT THE PRESENCE OR PERMISSION OF THE OWNER.
 - EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. NO STOCKPILING OF MATERIAL, EQUIPMENT OR VEHICULAR TRAFFIC SHALL BE ALLOWED WITHIN THE DRIP LINE OF TREES TO REMAIN. NO GUYS SHALL BE ATTACHED TO ANY TREE TO REMAIN. WHEN NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE, THE CONTRACTOR SHALL ERECT ADDITIONAL TEMPORARY BARRIERS FOR THE PROTECTION OF EXISTING TREES DURING CONSTRUCTION.
 - NO CUTTING OR FILLING SHALL OCCUR WITHIN TEN (10) FEET OF EXISTING TREES TO REMAIN WITHOUT THE APPROVAL OF THE OWNER.
 - ANY QUANTITIES SHOWN ON PLANS ARE FOR COMPARATIVE BIDDING PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VISIT THE PROJECT SITE TO VERIFY ALL QUANTITIES PRIOR TO SUBMITTING BID.
 - THE LAYOUT OF ALL NEW WALKWAYS AND THE GRADING OF ALL SLOPES AND CROSS SLOPES SHALL CONFORM TO THE COMMONWEALTH OF MASSACHUSETTS RULES AND REGULATIONS FOR HANDICAP ACCESS INCLUDING CMR 821, AND THE AMERICANS WITH DISABILITIES ACT (ADA), INCLUDING TITLE 3. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE REQUIRED.
 - ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS, SOIL, SEDIMENT, AND FOREIGN MATERIAL AND OPERATIONAL THROUGHOUT THE LIFE OF THE CONTRACT. REMOVE ALL SOIL, SEDIMENT, DEBRIS, AND FOREIGN MATERIAL FROM ALL DRAINAGE STRUCTURES, INCLUDING BUT NOT LIMITED TO, DRAINAGE INLETS, MANHOLES, AND CATCH BASINS WITHIN THE LIMIT OF WORK AND DRAINAGE STRUCTURES OUTSIDE THE LIMIT OF WORK THAT ARE IMPACTED BY THE WORK PRIOR TO INSTALLING ANY NECESSARY SILT SACKS AND POST CONSTRUCTION.
 - CONTRACTOR'S STAGING AREA MUST BE WITHIN THE LIMIT OF WORK LINE. ANY OTHER AREAS THAT THE CONTRACTOR MAY WISH TO USE FOR STAGING MUST BE COORDINATED WITH THE OWNER.
 - IN CASE OF CONFLICT WITHIN THE CONTRACT DOCUMENTS THE TOWN OWNS "BEST AND MOST."



Consultants:

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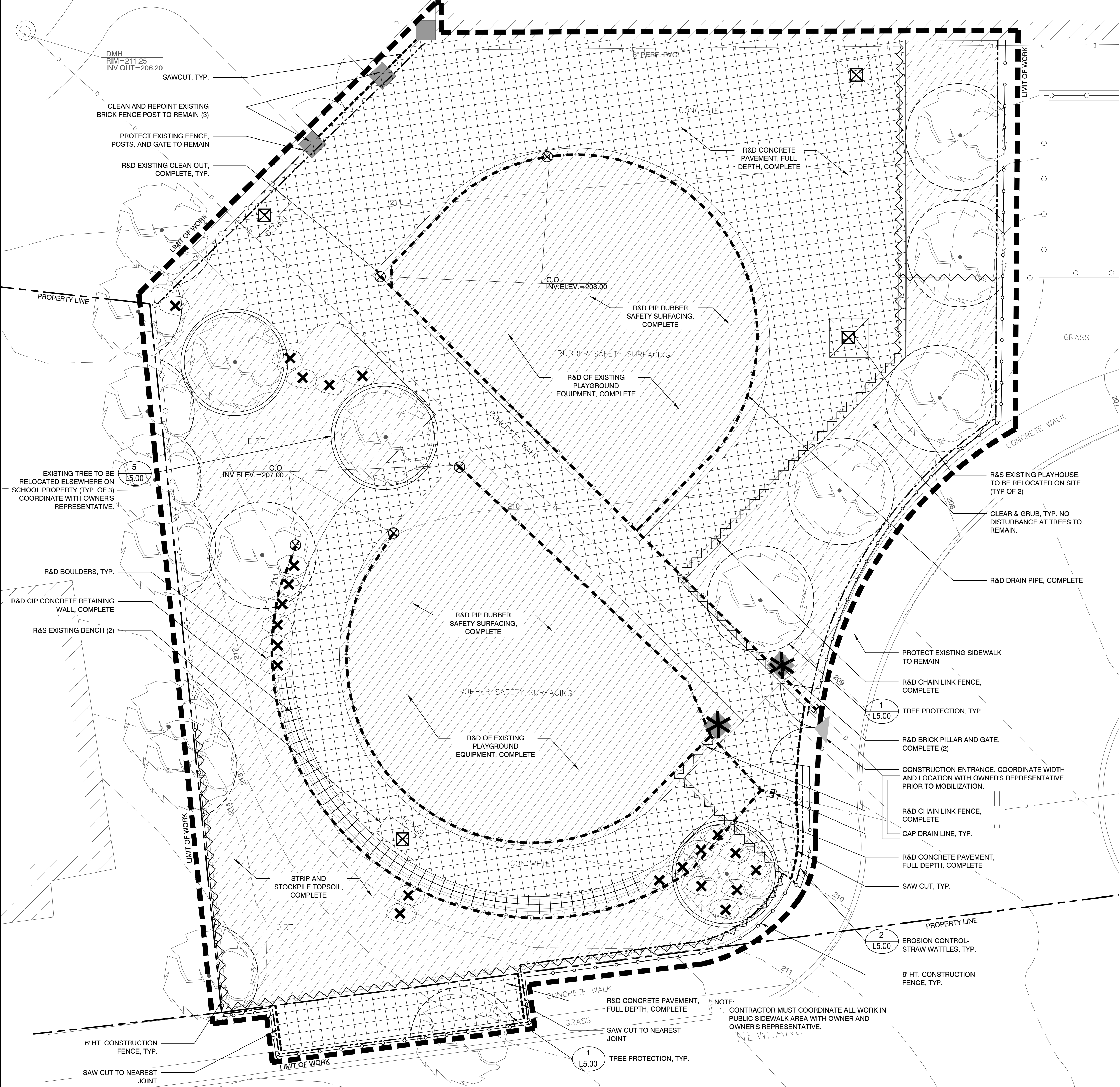
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Drawing Title:
EXISTING CONDITIONS PLAN (ILLUSTRATIVE ONLY)

Sheet Number:

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NOTE:
1. CONTRACTOR TO COORDINATE WITH OWNER AND OWNER'S REPRESENTATIVE REGARDING SCHOOL ACCESS BETWEEN MAIN ENTRANCE AND NEWLAND ROAD PARKING LOT AREA DURING CONSTRUCTION PERIOD.



LEGEND

- LIMIT OF WORK
- - - PROPERTY LINE
- - - SAWCUT TO THE NEAREST JOINT
- ~ ~ ~ R&D CHAIN LINK FENCE, COMPLETE
- - - EROSION CONTROL- STRAW WATTLES
- - - 6' HT. CONSTRUCTION FENCE
- + + + R&D CIP CONCRETE RETAINING WALL, COMPLETE
- - - R&D DRAIN PIPE, COMPLETE
- ▨ R&D CONCRETE PAVEMENT, FULL DEPTH, COMPLETE
- ▨ R&D PIP RUBBER SAFETY SURFACING, COMPLETE.
- ▨ CLEAR & GRUB
- ▶ CONSTRUCTION ENTRANCE
- TREE PROTECTION, TYP.
- EXISTING TREE TO BE RELOCATED ELSEWHERE ON SCHOOL PROPERTY PER DIRECTION OF OWNER
- * R&D BRICK PILLAR, COMPLETE
- ⊗ R&S EXISTING SITE ELEMENT
- ⊗ R&D BOULDERS
- ⊗ R&D EXISTING DRAINAGE STRUCTURE
- CAP UTILITY LINE
- R&D REMOVE & DISPOSE
- R&S REMOVE & SALVAGE
- R&R REMOVE & RESET
- CIP CAST-IN-PLACE

- NOTES:**
- CONTRACTOR SHALL PROVIDE 6' HT CONSTRUCTION FENCE PLACED AT LIMIT OF WORK OR USE EXISTING FENCE IN PLACE UNTIL CONTRACTOR HAS TO REMOVE AND DISPOSE OF IT AS INDICATED ON PLANS. CONTRACTOR IS RESPONSIBLE FOR SECURING THE SITE AT ALL TIMES FOR THE DURATION OF THE CONSTRUCTION PERIOD.
 - CONTRACTOR MUST NOTIFY OWNER AND TOWN OF ARLINGTON DEPARTMENT OF PUBLIC WORKS OF ANY WORK TO BE COMPLETED WITHIN THE RIGHT OF WAY FORTY-EIGHT HOURS PRIOR TO COMMENCING WORK.
 - CONTRACTOR SHALL CLEAR AND WATER JET ALL DRAINAGE STRUCTURES AND LINES TO REMAIN WITHIN LIMIT OF WORK AND VERIFY WORKING CONDITION.

DEMOLITION & SITE PREPARATION NOTES

- THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE DISTURBED YET SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. RE: TO PLANS TO DETERMINE EXCAVATION AND DEMOLITION REQUIRED TO RECEIVE PROPOSED SITE IMPROVEMENTS AND TO DETERMINE THE LOCATION OF PROPOSED SITE IMPROVEMENTS.
- THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS DELIVERED TO TOWN LOCATION AT NO ADDITIONAL EXPENSE TO THE OWNER.
- UNLESS SPECIFICALLY NOTED TO BE SAVED OR REUSED, ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE TRANSPORTED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AT NO COST TO THE OWNER.
- ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO THE OWNER.
- DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN. OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
- ALL ITEMS CALLED FOR REMOVAL (COMPLETE) SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, BASE MATERIALS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.
- CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AT DRILINE AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS. TREES TO REMAIN SHALL BE PRUNED BY A CERTIFIED ARBORIST.
- THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THERE SHALL BE NO STORAGE OF MATERIALS OR PARKING OF CONSTRUCTION VEHICLES WITHIN DRILINE OF TREES.

SEDIMENT AND EROSION CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE PUT INTO PLACE PRIOR TO BEGINNING ANY CONSTRUCTION OR DEMOLITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTINUAL MAINTENANCE OF ALL EROSION CONTROL DEVICES THROUGHOUT THE DURATION OF THE PROJECT.
- CONTRACTOR SHALL MEET ALL OF THE COMMONWEALTH OF MASSACHUSETTS D.E.P. AND THE TOWN OF ARLINGTON'S ORDINANCE REGULATIONS FOR SEDIMENT AND EROSION CONTROL.
- EXCAVATED MATERIAL STOCKPILED ON THE SITE SHALL BE SURROUNDED BY A RING OF UNBROKEN SEDIMENT AND EROSION CONTROL FENCE. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE APPROVED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THE LIMIT OF CONTRACT SHALL REMAIN TOTALLY UNDISTURBED UNLESS OTHERWISE APPROVED BY OWNER.
- ALL CATCH BASINS AND DRAIN GRATES WITHIN CONTRACT LIMIT OF WORK SHALL BE PROTECTED WITH FILTER FABRIC DURING THE ENTIRE DURATION OF CONSTRUCTION.
- EROSION CONTROL BARRIERS TO BE INSTALLED AT THE TOE OF SLOPES. SEE GRADING & DRAINAGE PLANS, NOTES, DETAILS, AND SPECIFICATIONS.
- ANY AREA OUTSIDE THE PROJECT LIMIT THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY OWNER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC/PRIVATE ROADS.

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Project:
TOWN OF ARLINGTON

IMPROVEMENTS TO BLOSSOM ST. PLAYGROUND AT THE PEIRCE ELEMENTARY SCHOOL
85 PARK AVENUE EXTENSION
ARLINGTON, MA 02474

Weston & Sampson

85 Devonshire Street,
3rd Floor, Boston, MA 02109
617.412.4480 800.SAMPSON
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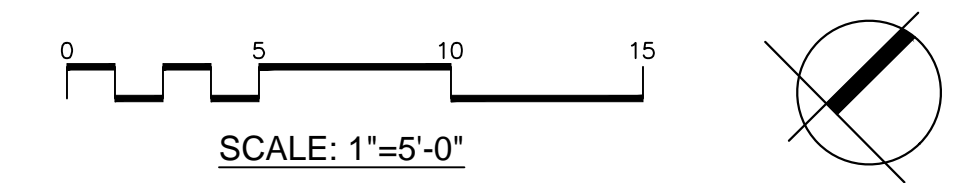
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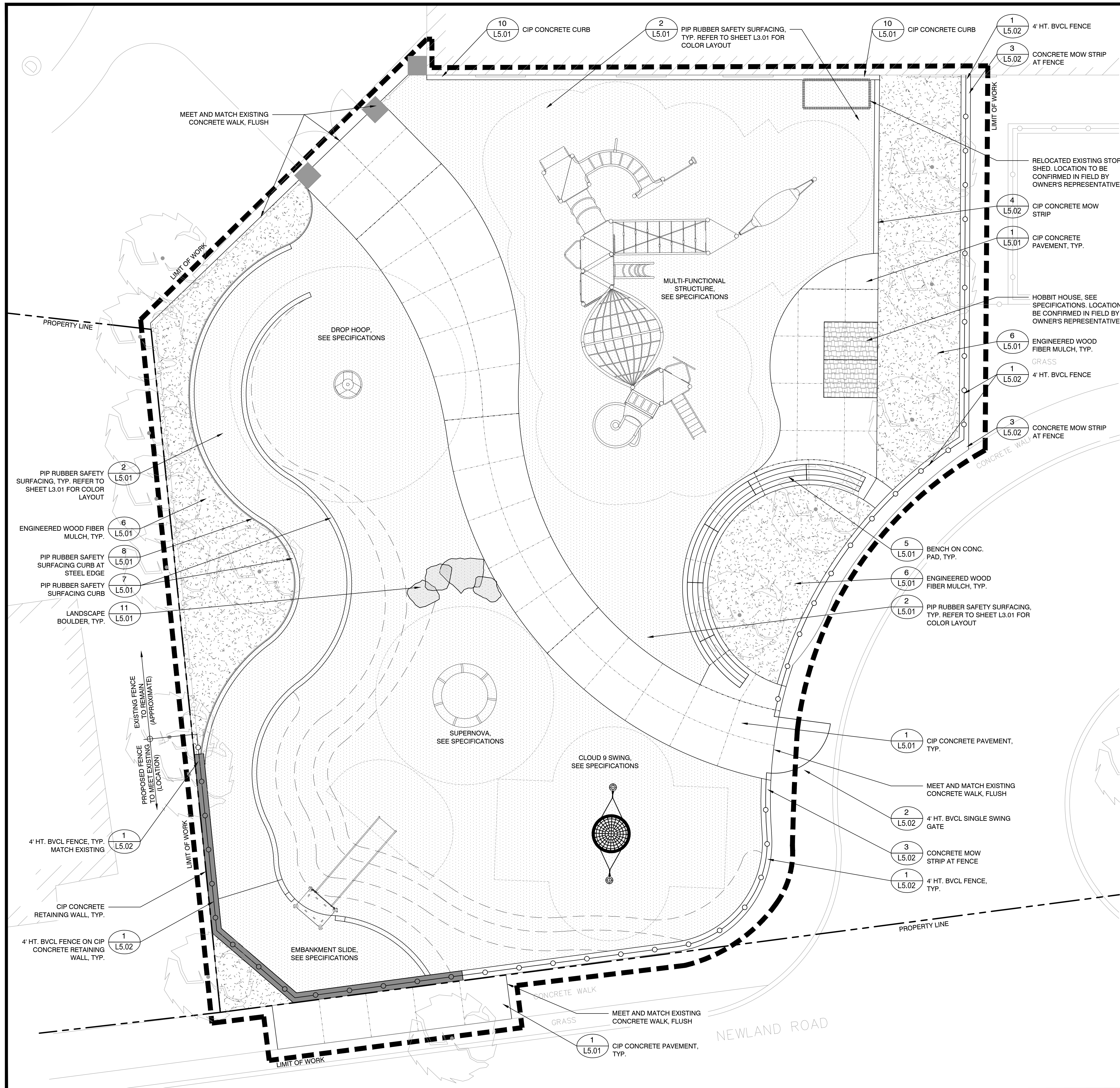
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SITE PREPARATION & DEMOLITION PLAN

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L2.00





LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- CIP CONCRETE PAVEMENT
- POURED-IN-PLACE RUBBER SAFETY SURFACING, REFER TO SHEET L3.01 FOR COLOR LAYOUT
- ENGINEERED WOOD FIBER MULCH
- CIP CONCRETE RETAINING WALL
- SCORE JOINT
- EXPANSION JOINT
- 4' HT. BLACK VINYL CHAIN LINK FENCE
- STEEL EDGE
- BENCH, SEE SPECIFICATIONS
- EX. TYP. CONC. SPECS. PIP CIP BVCL HT.
- TYPICAL CONCRETE SPECIFICATIONS
- POURED-IN-PLACE CAST-IN-PLACE
- BLACK VINYL CHAIN LINK HEIGHT

MATERIALS NOTES

1. REFER TO EXISTING CONDITIONS PLAN AND APPENDICES FOR SURVEY INFORMATION.
2. ALL PROPOSED PAVEMENTS SHALL MEET THE LINE AND GRADE OF EXISTING ADJACENT PAVEMENT.
3. ALL PROPOSED BITUMINOUS CONCRETE PAVEMENT SURFACES SHALL BE TREATED WITH AN RS-1 TACK COAT AND INFRARED LIGHT AT ALL POINTS OF CONNECTION AND ALL SAWCUT EDGES WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD MEASUREMENT OF ALL PROPOSED FENCES AND GATES, AND ALL OTHER IMPROVEMENTS.
5. INSTALL A STEEL EDGER BETWEEN SURFACES AT ALL LOCATIONS WHERE POURED-IN-PLACE RUBBER SAFETY SURFACING MEETS PLANTED VEGETATION, BITUMINOUS CONCRETE OR MULCH AREA.

LAYOUT NOTES

1. COORDINATE ALL LAYOUT ACTIVITIES WITH THE SCOPE OF WORK CALLED FOR BY DEMOLITION, GRADING AND UTILITIES OPERATIONS ENCOMPASSED BY THIS CONTRACT. SET, PROTECT AND REPLACE REFERENCE STAKES AS NECESSARY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
2. ALL LINES AND GRADING WORK AS PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A MASSACHUSETTS REGISTERED CIVIL ENGINEER OR LICENSED SURVEYOR ENGAGED BY THE GENERAL CONTRACTOR.
3. ALL PROPOSED SITE FEATURES SHALL BE LAID OUT AND STAKED FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF INSTALLATION. ANY REQUIRED ADJUSTMENTS TO THE LAYOUT SHALL BE UNDERTAKEN AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND GRADES ON THE GROUND AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER AND OWNER'S REPRESENTATIVE.
5. LAYOUT AND DIMENSIONS PROVIDED FOR BIDDING PURPOSES ONLY.

SPECIAL NOTES - CIP CONCRETE RETAINING WALL.

1. CIP CONCRETE RETAINING WALL SHALL BE DESIGNED AND CONSTRUCTED WITH REINFORCED STRUCTURAL CONCRETE WITH A MINIMUM OF TWO (2) EXPANSION JOINTS AND WITH CONTROL JOINTS. EXPANSION JOINTS SHALL NOT EXCEED 25' ON CENTER.
2. PROVIDE MINIMUM TEMPERATURE STEEL PER ACI 318.
3. CIP CONCRETE RETAINING WALL SHALL BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER.
4. RETAINING WALL DESIGN MUST CONSIDER 4' HT. CHAINLINK FENCE AND POSTS.

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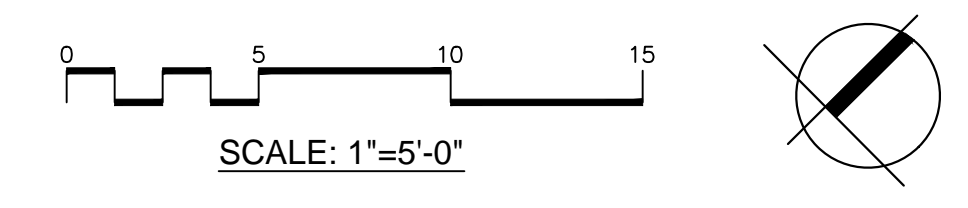
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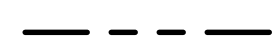
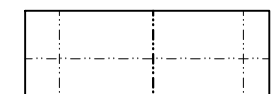
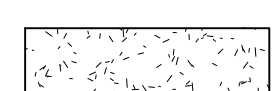


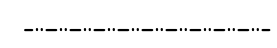
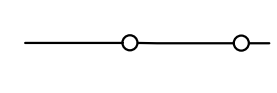
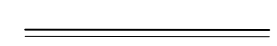

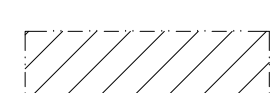
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Drawing Title:
MATERIALS & LAYOUT PLAN


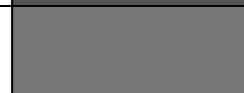
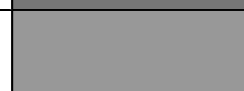


Sheet Number:
L3.00



LEGEND

-  LIMIT OF WORK
-  PROPERTY LINE
-  CIP CONCRETE PAVEMENT
-  ENGINEERED WOOD FIBER MULCH
-  CIP CONCRETE RETAINING WALL
-  SCORE JOINT
-  EXPANSION JOINT
-  4' HT. BLACK VINYL CHAIN LINK FENCE
-  STEEL EDGE
-  BENCH, SEE SPECIFICATIONS
-  PIP RUBBER SAFETY SURFACING WITH CONCRETE SLOPE

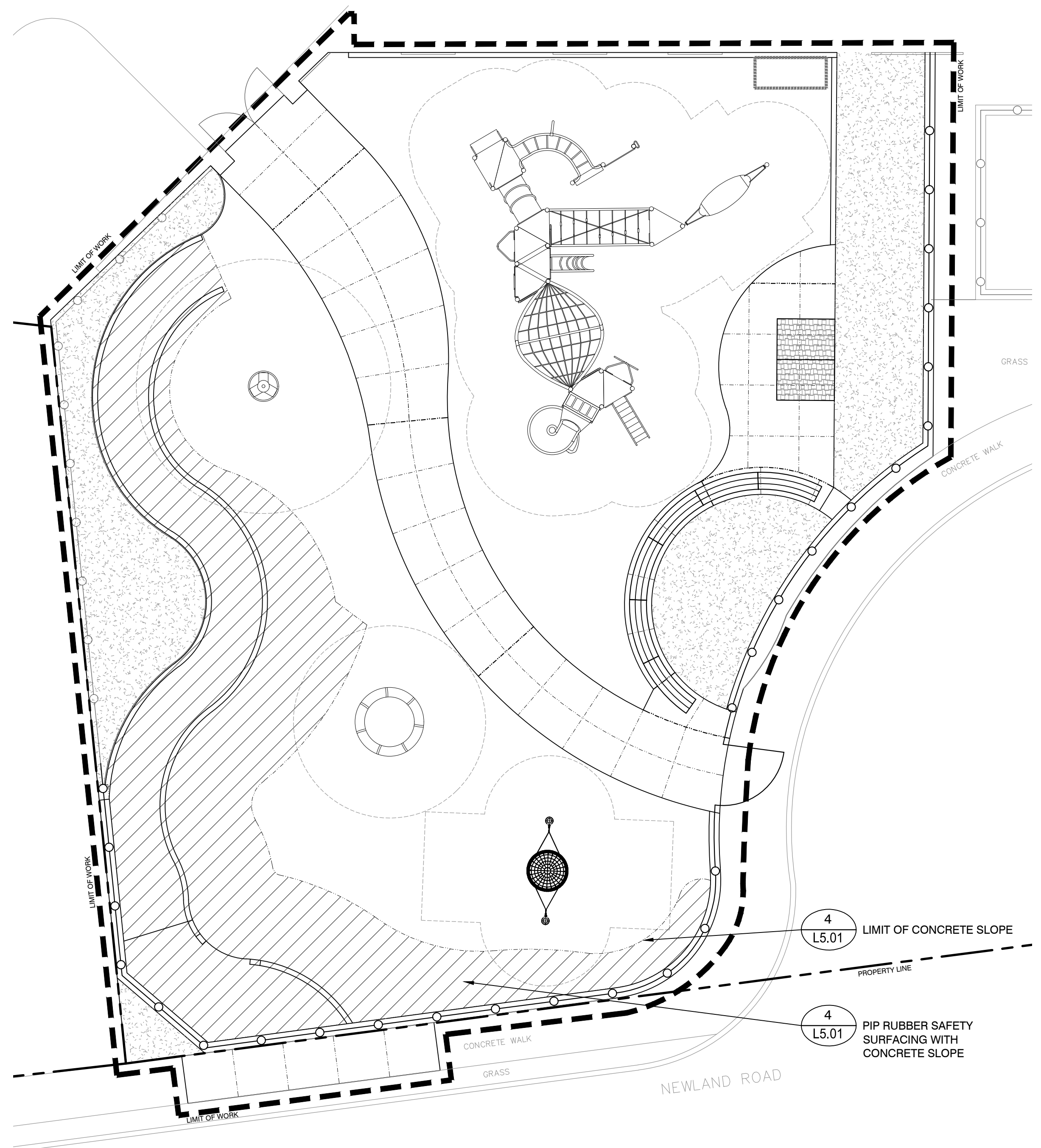
POURED-IN-PLACE RUBBER SAFETY SURFACING COLOR CHART

A		COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
B		COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
C		COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
D		COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
E		COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.

* FOR COLORS, SEE SPECIFICATIONS.
 NOTE:
 1. PATTERN LAYOUT TO BE APPROVED IN FIELD BY OWNER'S REPRESENTATIVE.



1 POURED-IN-PLACE RUBBER SAFETY SURFACING COLOR LAYOUT
 SCALE: 1-1/2"=1'-0"



2 CONCRETE SLOPE LAYOUT
 SCALE: 1-1/2"=1'-0"

Project:
 TOWN OF ARLINGTON



IMPROVEMENTS TO
 BLOSSOM ST. PLAYGROUND
 AT THE PEIRCE ELEMENTARY
 SCHOOL
 85 PARK AVENUE EXTENSION
 ARLINGTON, MA 02474

Weston & Sampson
 85 Devonshire Street,
 3rd Floor, Boston, MA 02109
 617.412.4480 800.SAMPSON
 www.westonandsampson.com

Consultants:

Revisions:

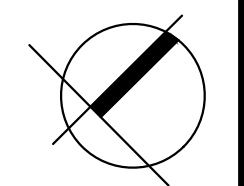
No.	Date	Description

Seal:

Issued For:
CONSTRUCTION DOCUMENTS

Scale: AS SHOWN
 Date: July 11, 2019
 Drawn By: ACG
 Reviewed By: JL
 Approved By: CR
 W&S Project No: 2190032
 W&S File No:

Drawing Title:
MATERIALS ENLARGEMENT PLANS
 Sheet Number:
L3.01





LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- EXISTING DRAINAGE STRUCTURE
- EXISTING CONTOURS
- EXISTING SPOT ELEVATION, CONTRACTOR TO VERIFY IN FIELD
- PROPOSED CONTOURS
- PROPOSED SLOPE
- PROPOSED SPOT ELEVATION
- AREA DRAIN
- DRAINAGE MANHOLE
- CLEAN OUT
- HDPE PERFORATED LATERAL DRAIN PIPE
- SWALE
- GRADE BREAK
- TOP OF WALL
- BOTTOM OF WALL
- TOP OF CURB
- BOTTOM OF CURB
- DRAINAGE MANHOLE

GRADING AND DRAINAGE NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND INVERT ELEVATIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER AND OWNER'S REPRESENTATIVE.
- ALL NEW WALKWAYS MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA) REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) OF 4.5%.
- MINIMUM SLOPE ON ALL WALKWAYS WILL BE 1:100 OR 1% TO PROVIDE POSITIVE DRAINAGE. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER PRIOR TO CONTINUING WORK.
- ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED GRADE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- THE CONTRACTOR SHALL SET SUBGRADE ELEVATIONS TO ALLOW FOR POSITIVE DRAINAGE AND PROVIDE EROSION CONTROL DEVICES, STRUCTURES, MATERIALS AND CONSTRUCTION METHODS TO DIRECT SILT MIGRATION AWAY FROM DRAINAGE AND OTHER UTILITY SYSTEMS, PUBLIC/Private STREETS AND WORK AREAS. CLEAN BASINS REGULARLY AND AT THE END OF THE PROJECT.
- WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDS AT ALL TOP AND BOTTOM OF SLOPES.
- WHERE A SPECIFIC LIMIT OF WORK LINE IS NOT OBVIOUS OR IMPLIED, BLEND GRADES TO EXISTING CONDITIONS WITHIN 5 FEET OF PROPOSED CONTOURS.
- RESTORE ALL DISTURBED AREAS AND LIMITS OF ALL REMOVALS TO LOAM AND SEED UNLESS OTHERWISE NOTED.
- WHERE NEW IMPROVEMENTS MEET EXISTING CONDITIONS, MEET LINE AND GRADE OF EXISTING ADJACENT PAVEMENTS, TYPICAL.

SPECIAL NOTES REGARDING GRADING:

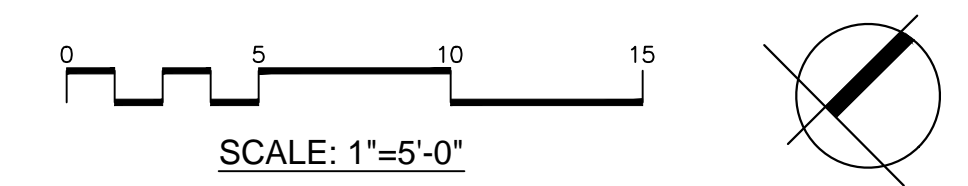
- PROPOSED GRADING, DRAINAGE, AND UTILITIES INFORMATION SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY AND HAS BEEN INCLUDED TO SHOW DESIGN INTENT ONLY.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND PROVIDE A GRADING, DRAINAGE, AND UTILITIES PLAN (AND CORRESPONDING DETAILS AND SPECIFICATIONS), STAMPED AND SIGNED BY A MASSACHUSETTS LICENSED / REGISTERED CIVIL ENGINEER FOR REVIEW AND APPROVAL OF OWNER'S REPRESENTATIVE.

SPECIAL NOTES REGARDING EXISTING CONDITIONS DOCUMENTATION:

- A CURRENT EXISTING CONDITION SITE SURVEY WAS NOT PROVIDED FOR THESE CONSTRUCTION DOCUMENTS.
- SITE EXISTING CONDITIONS INFORMATION SHOWN ON THESE CONSTRUCTION DOCUMENTS WAS COMPILED BASED ON PLANS FROM THE PEIRCE ELEMENTARY SCHOOL BUILDING ADDITION ISSUED IN JULY OF 2001 AND PRODUCED BY DRUMMEY ROSANE ANDERSON INC. AND JOHN G. CROWE ASSOCIATES, INC. THE PROPOSED WORK FROM THE BUILDING ADDITION PLANS HAS BEEN COMBINED WITH THE EXISTING CONDITIONS PLANS TO PRODUCE THE ESTIMATED CURRENT EXISTING CONDITIONS.
- IT IS IMPORTANT TO NOTE, THE EXISTING CONDITIONS INFORMATION SHOWN IS NOT EXACT AND IS BASED UPON UNVERIFIED PLAN INFORMATION RECEIVED. WESTON & SAMPSON DID NOT RECEIVE AS-BUILT PLANS FROM THE 2001 BUILDING ADDITION PROJECT. ALL EXISTING CONDITIONS INFORMATION IS APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR.
- DUE TO LACK OF SURVEY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL SURVEY CONTROLS AND VERTICAL AND HORIZONTAL DATUMS.

SPECIAL NOTES - CIP CONCRETE RETAINING WALL

- CIP CONCRETE RETAINING WALL SHALL BE DESIGNED AND CONSTRUCTED WITH REINFORCED STRUCTURAL CONCRETE WITH A MINIMUM OF TWO (2) EXPANSION JOINTS AND WITH CONTROL JOINTS. EXPANSION JOINTS SHALL NOT EXCEED 25' ON CENTER.
- PROVIDE MINIMUM TEMPERATURE STEEL PER ACI 318.
- CIP CONCRETE RETAINING WALL SHALL BE DESIGNED AND STAMPED BY A STRUCTURAL ENGINEER.
- RETAINING WALL DESIGN MUST CONSIDER 4' HT. CHAINLINK FENCE AND POSTS.



Project:
TOWN OF ARLINGTON

IMPROVEMENTS TO BLOSSOM ST. PLAYGROUN AT THE PEIRCE ELEMENTARY SCHOOL
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Consultants:

Revisions:

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Seal:

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CONSTRUCTION DOCUMENTS

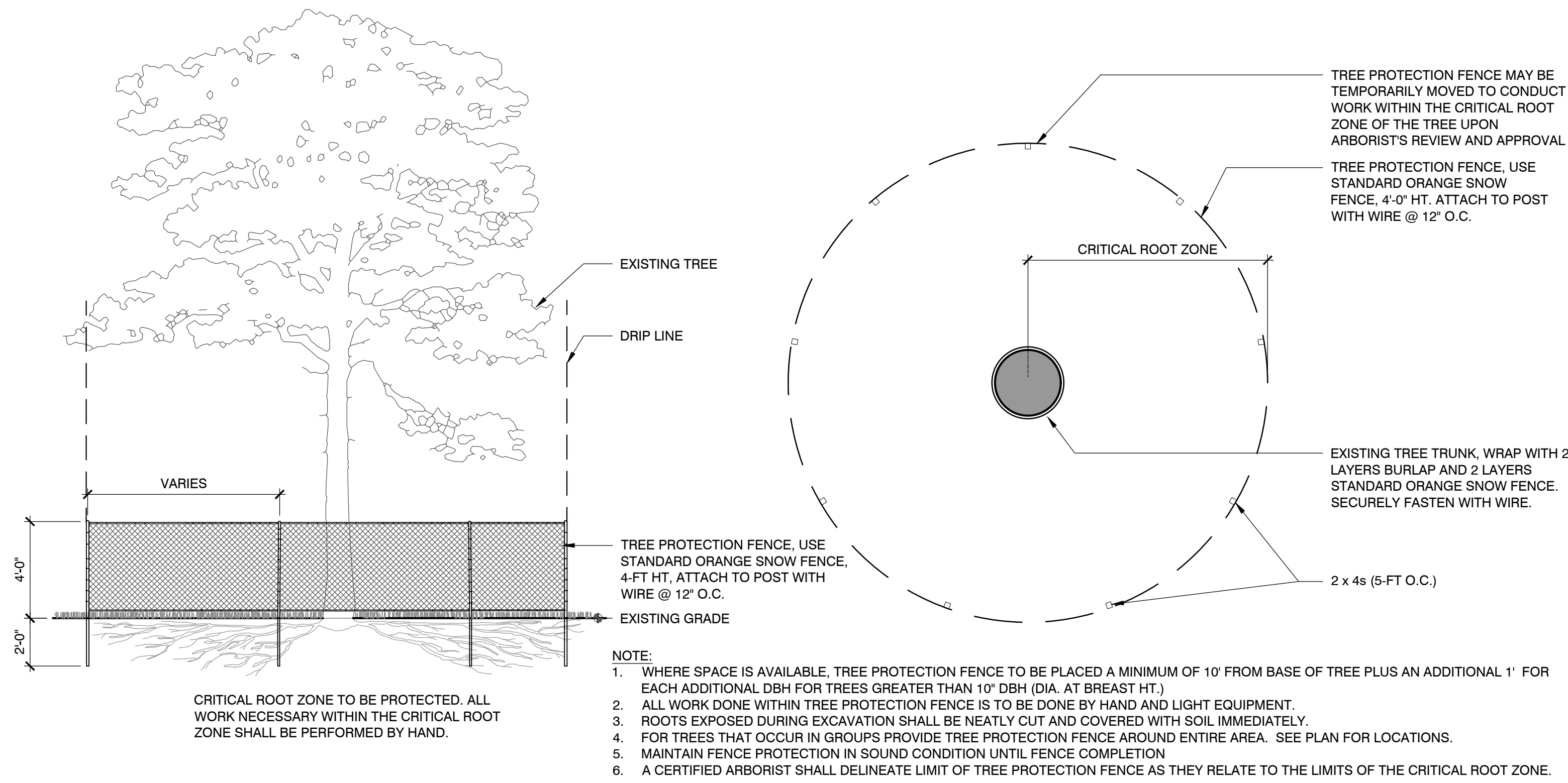
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Date: July 11, 2019
Drawn By: ACG
Reviewed By: JL
Approved By: CR

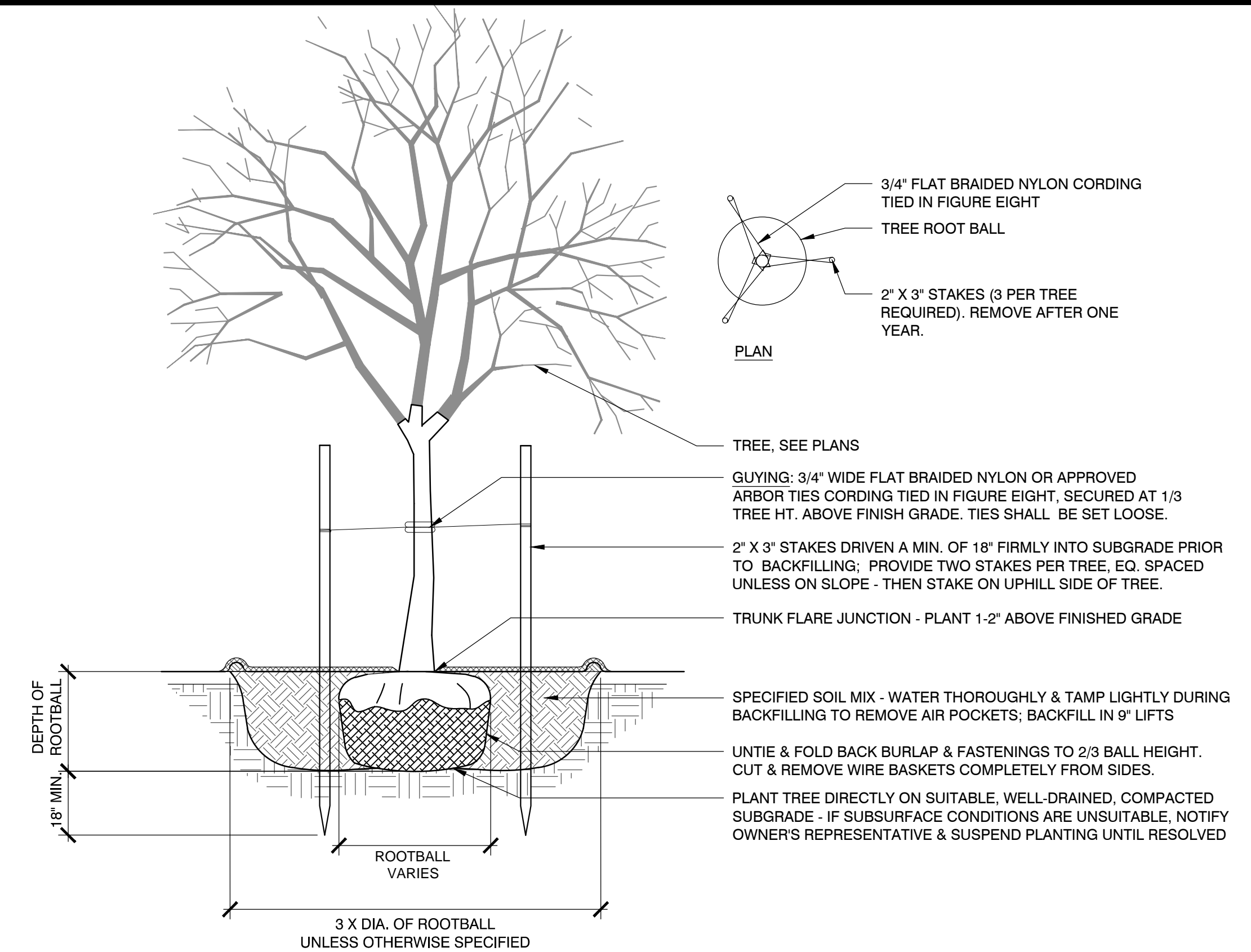
W&S Project No: 2190032
W&S File No:

Drawing Title:
GRADING, DRAINAGE & UTILITY PLAN (ILLUSTRATIVE ONLY)

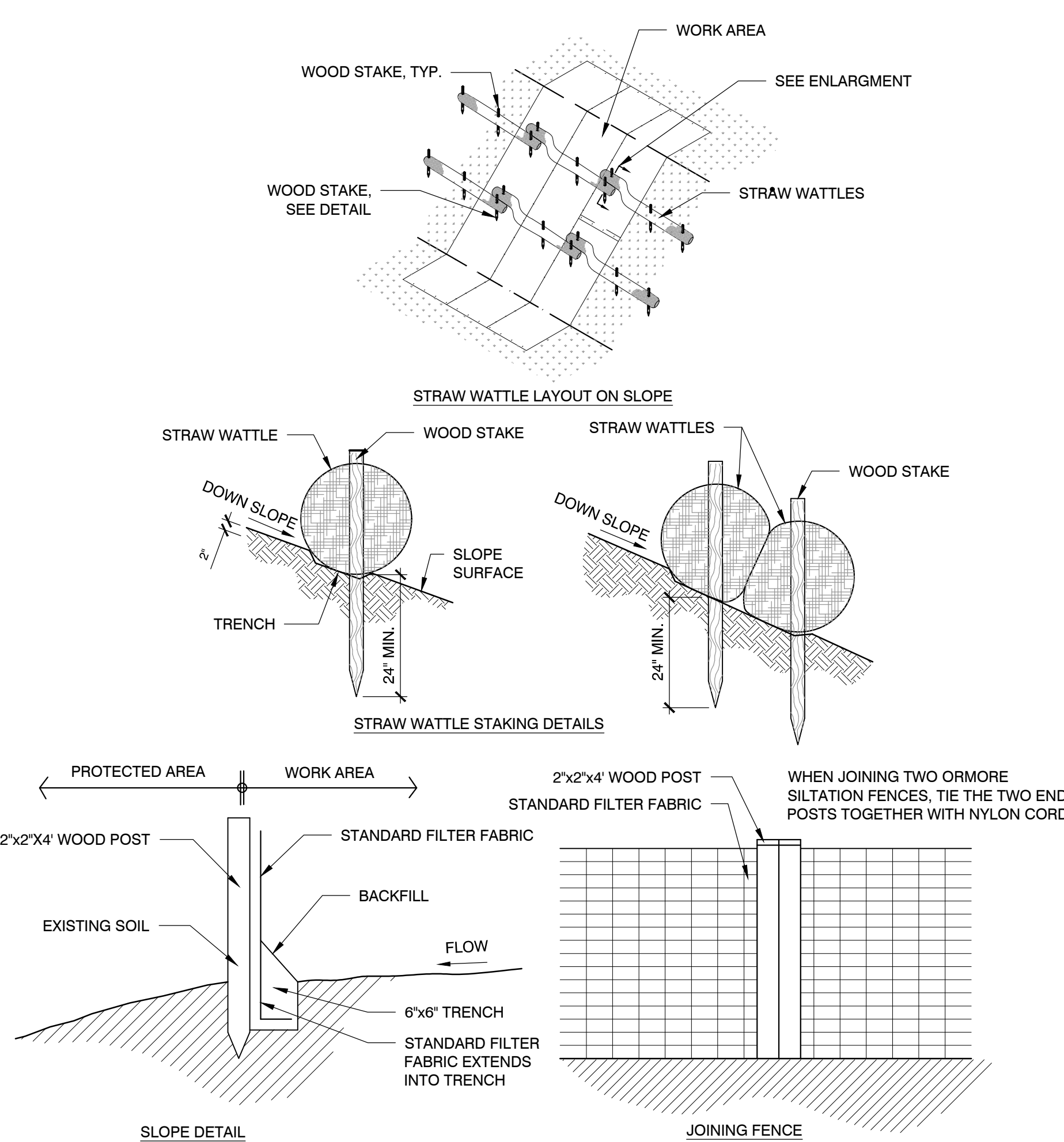
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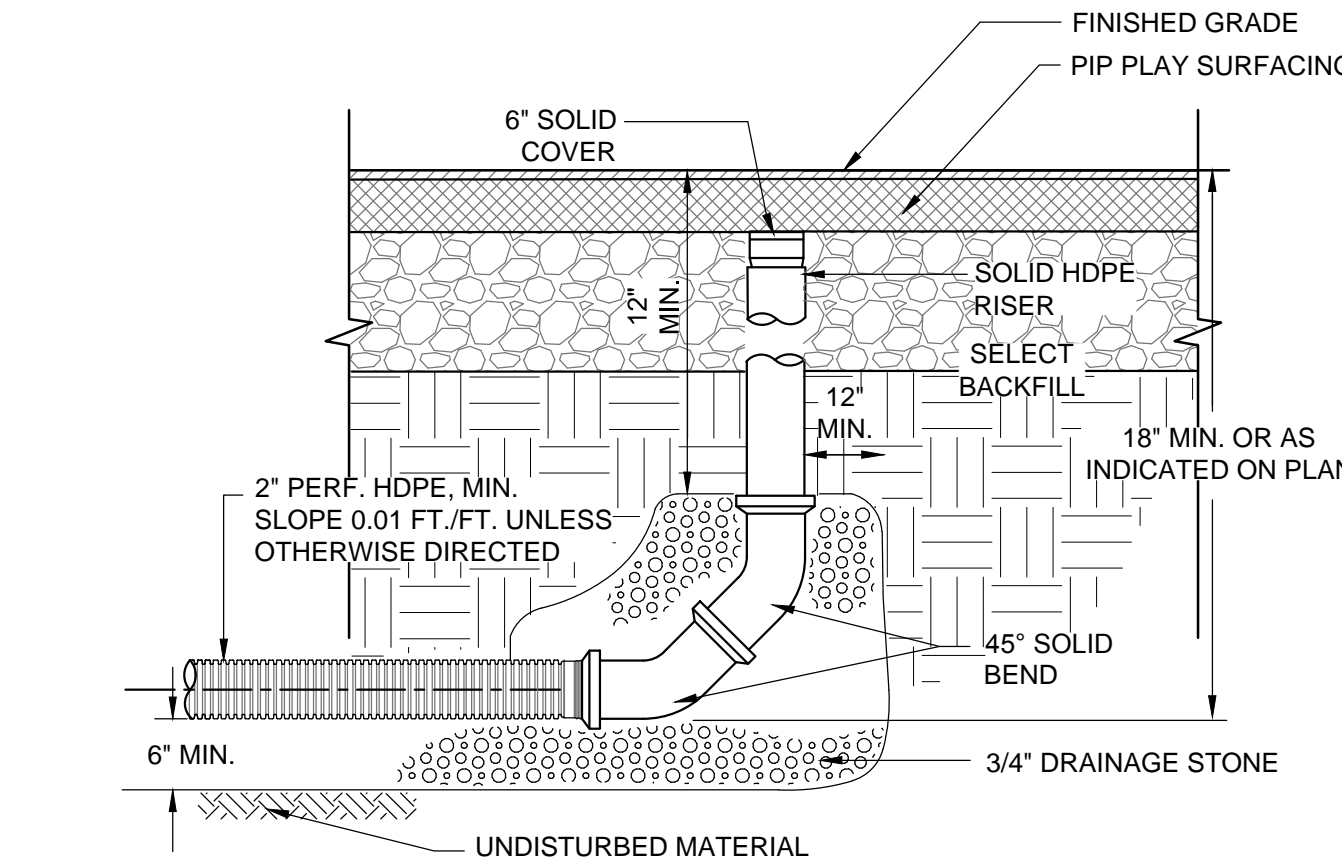
1 TREE PROTECTION
SCALE: N.T.S.



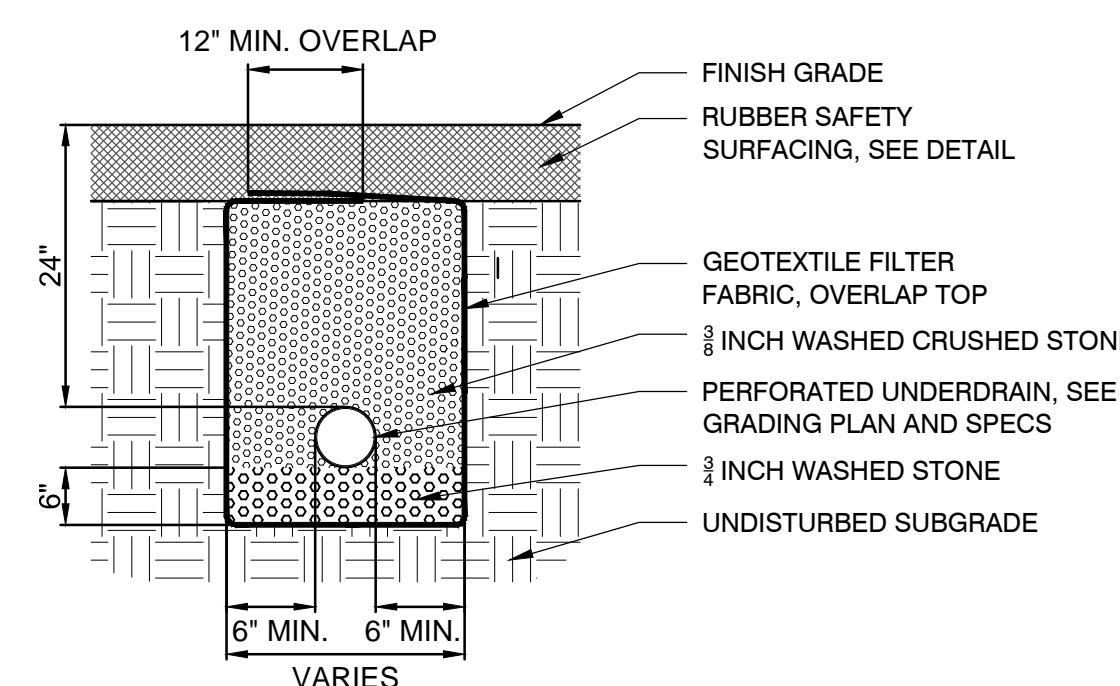
5 TREE PLANTING AND STAKING (TRANSPLANTING)
SCALE: N.T.S.



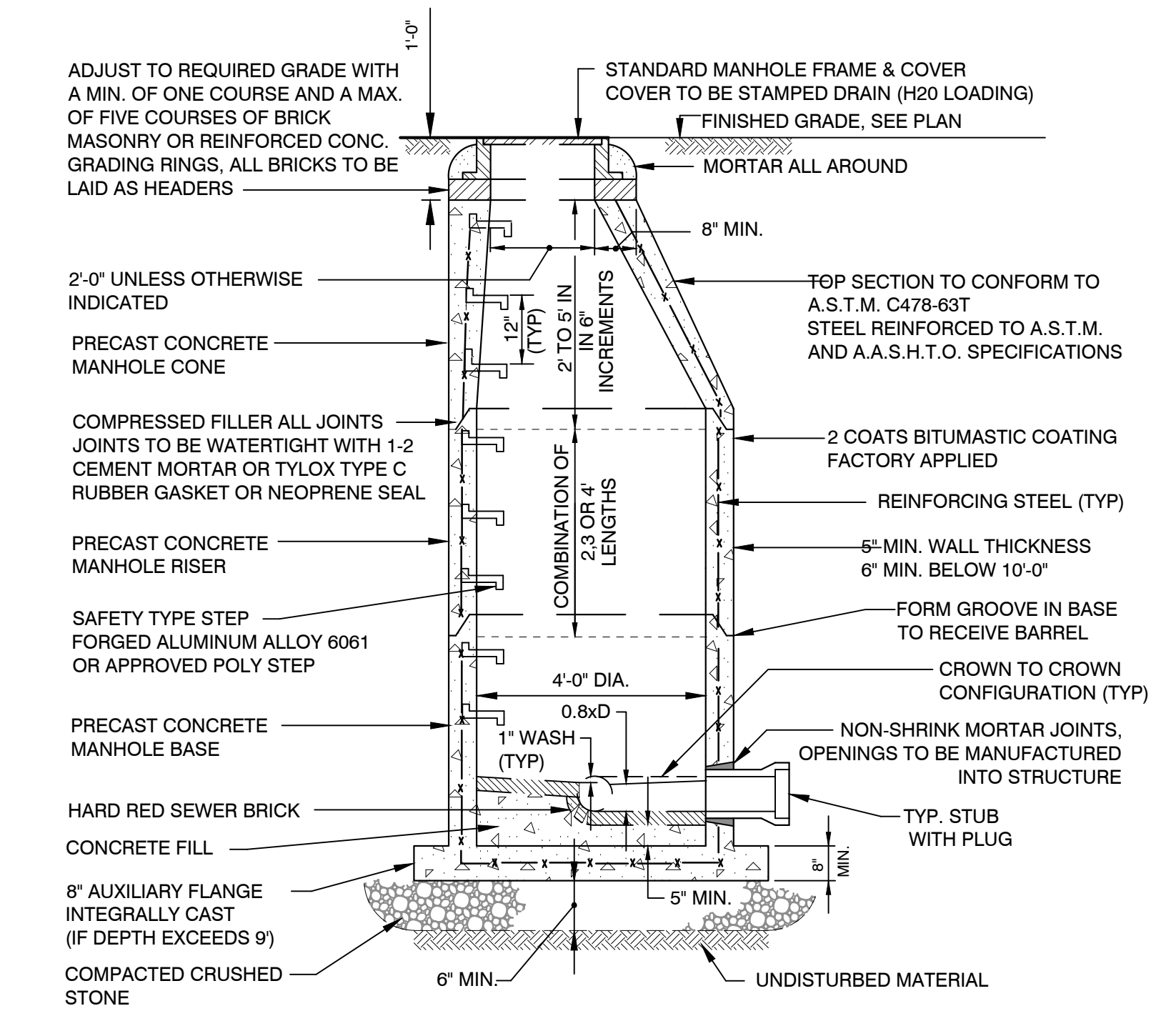
2 EROSION CONTROL - STRAW WATTLES
SCALE: N.T.S.



3 CLEAN OUT
SCALE: N.T.S.



4 DRAINAGE TRENCH
SCALE: N.T.S.



6 DRAINAGE MANHOLE
SCALE: N.T.S.

Consultants:

Revisions:

No.	Date	Description

Seal:

Issued For:

CONSTRUCTION DOCUMENTS

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Date: July 11, 2019

Drawn By: ACG

Reviewed By: JL

Approved By: CR

W&S Project No: 2190032

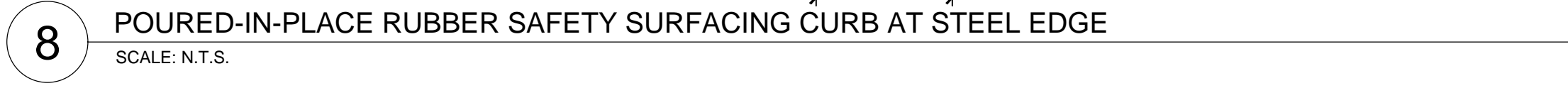
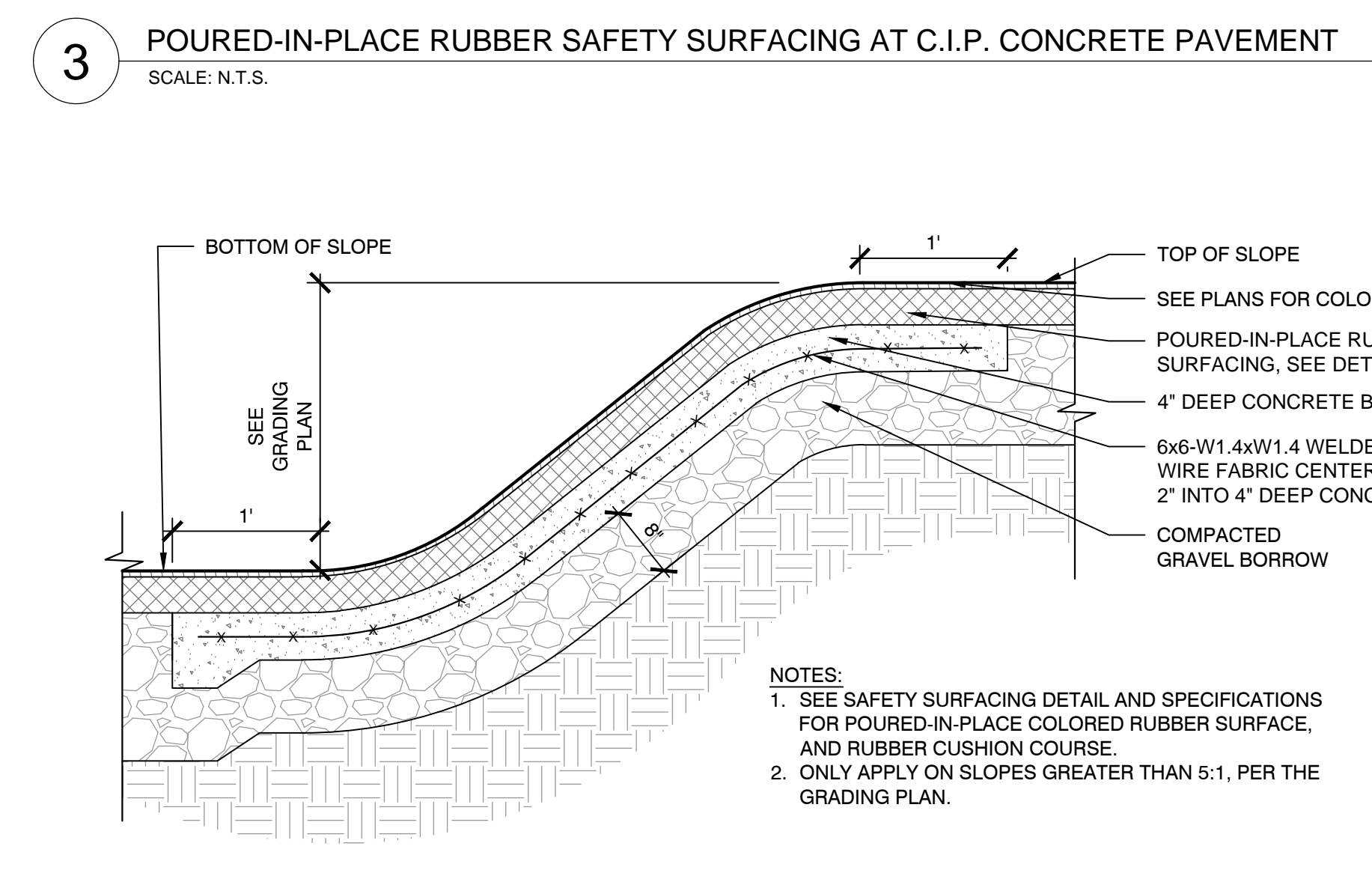
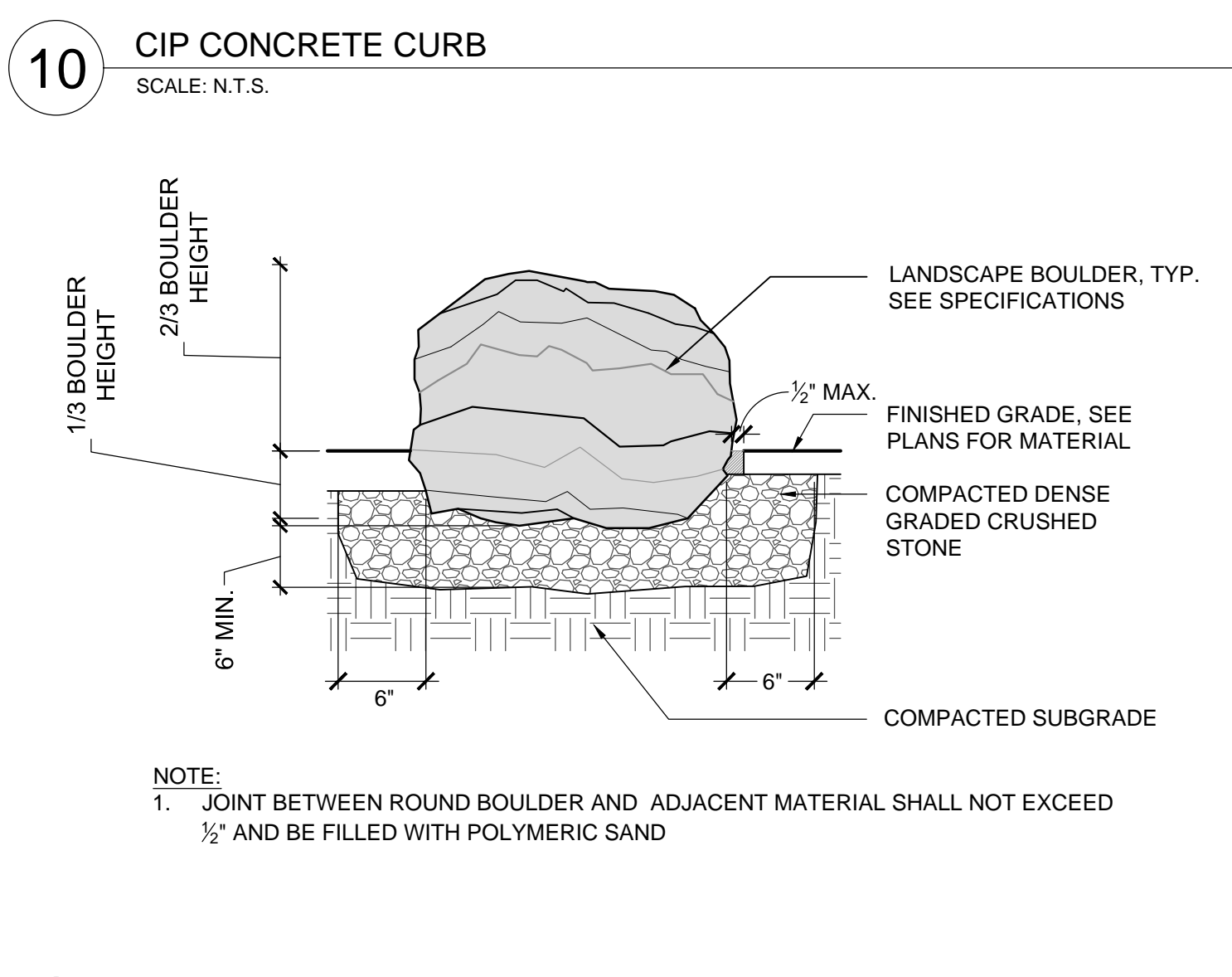
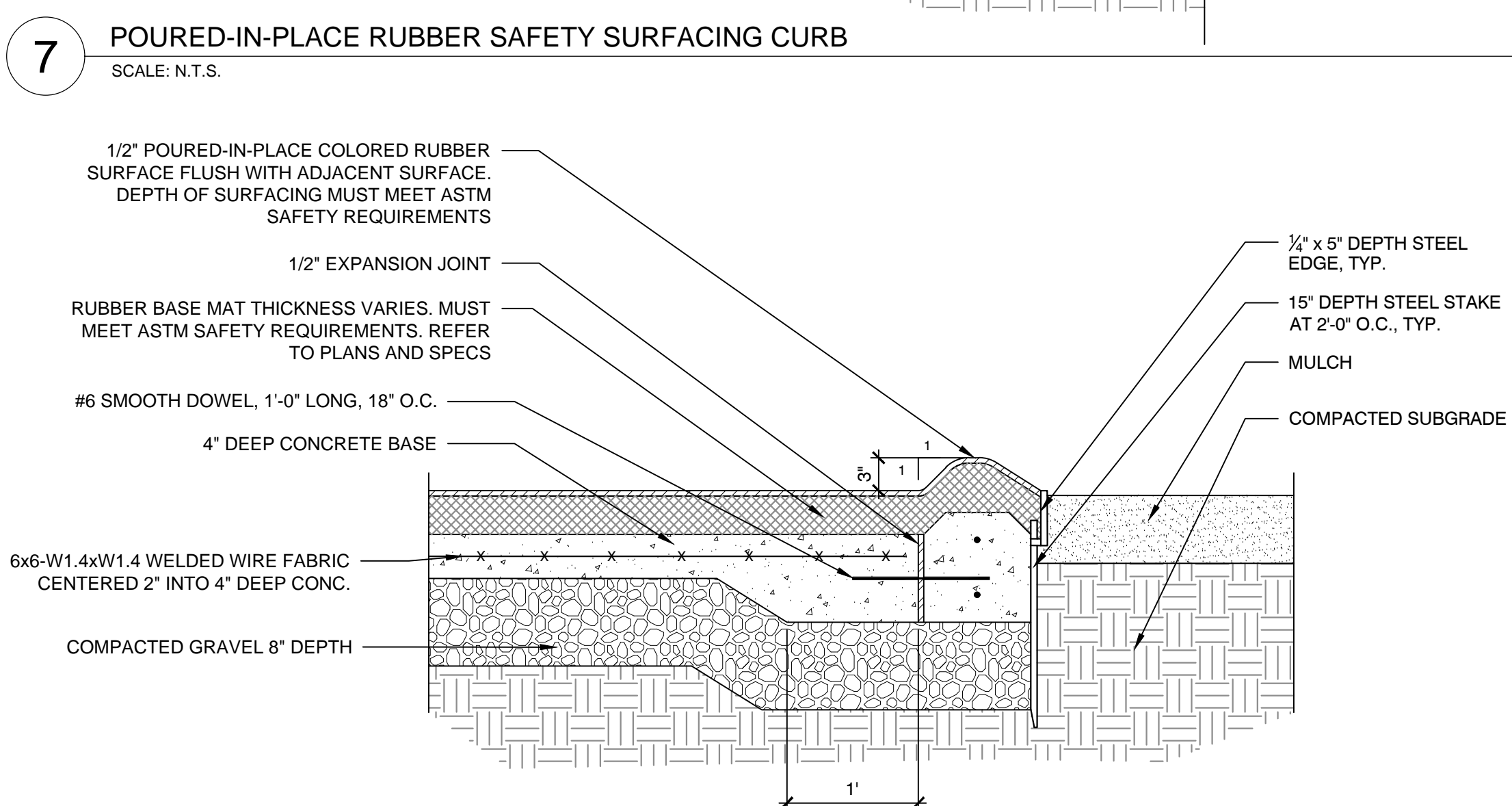
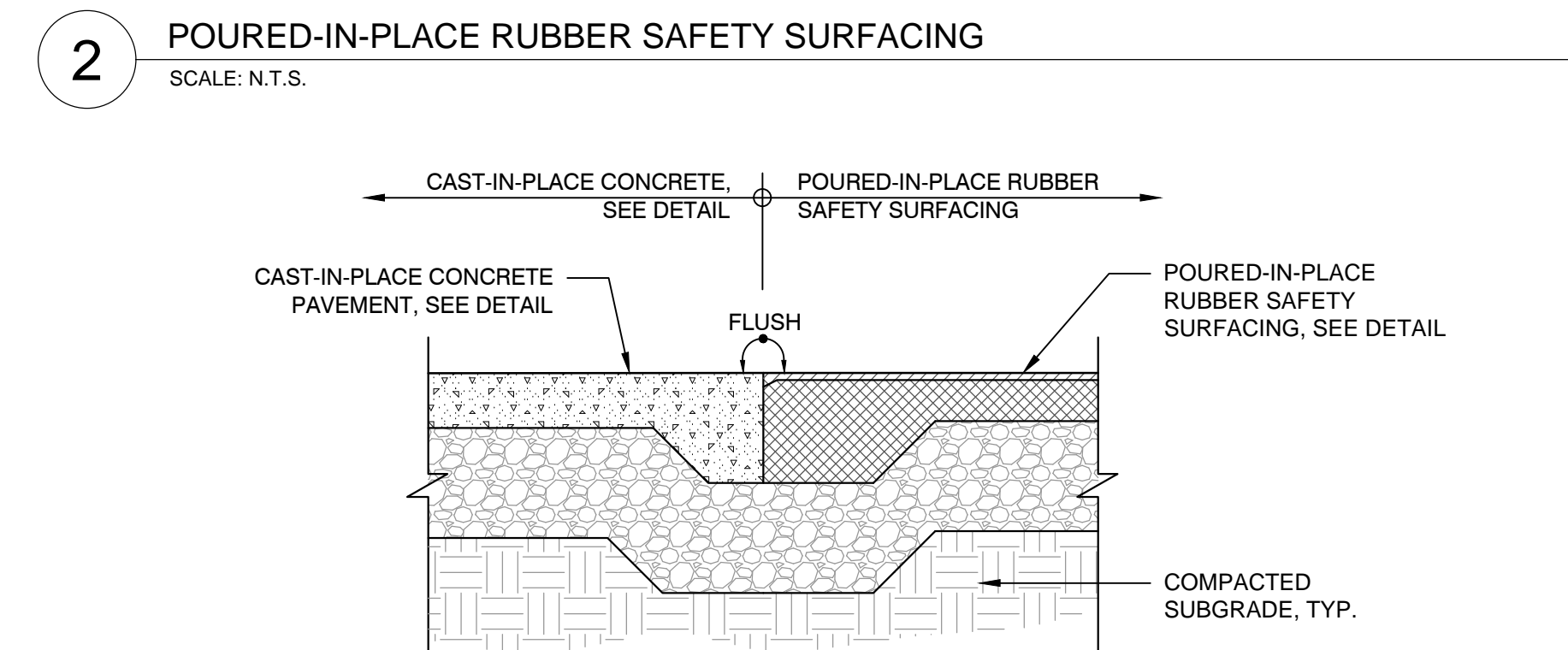
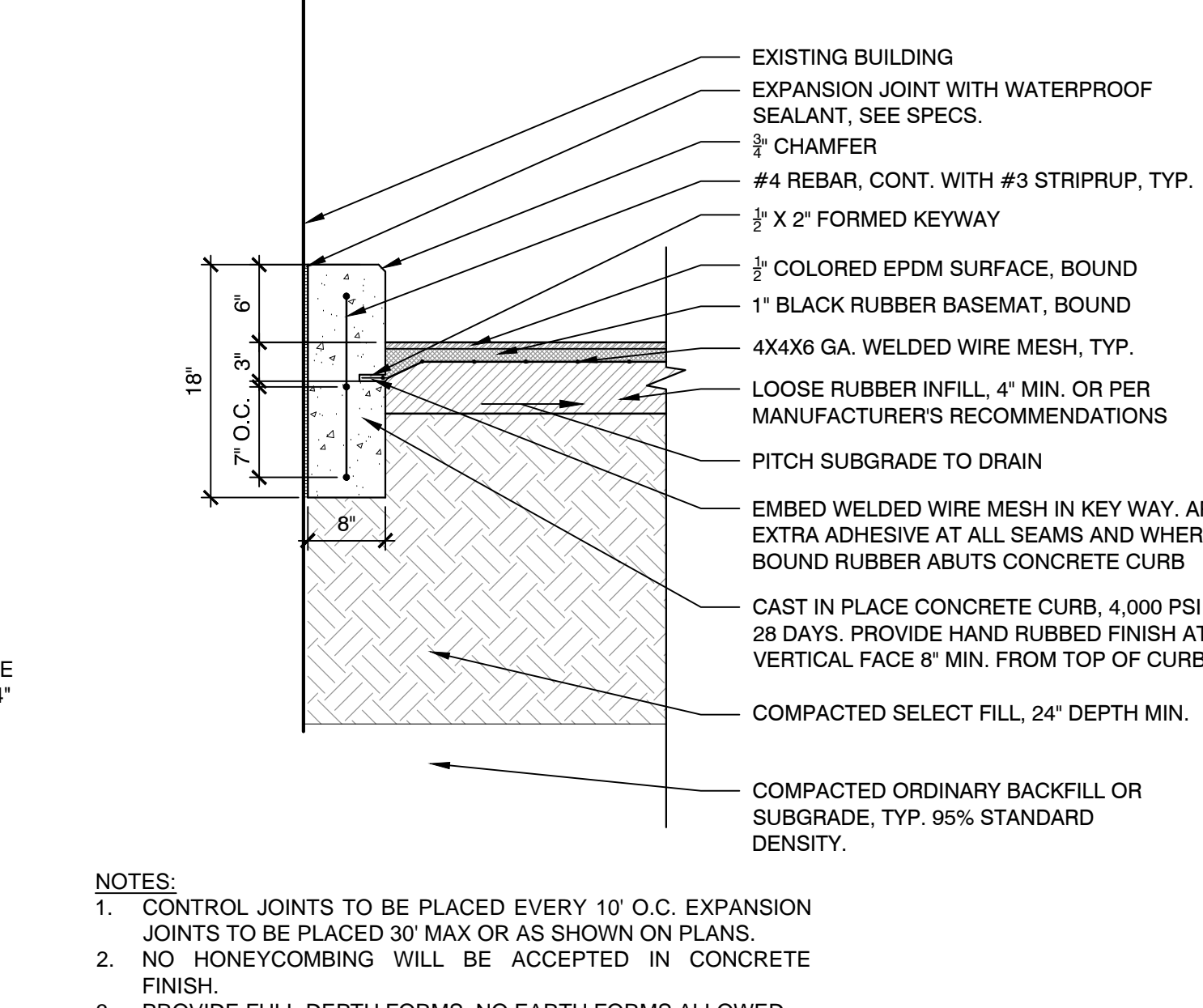
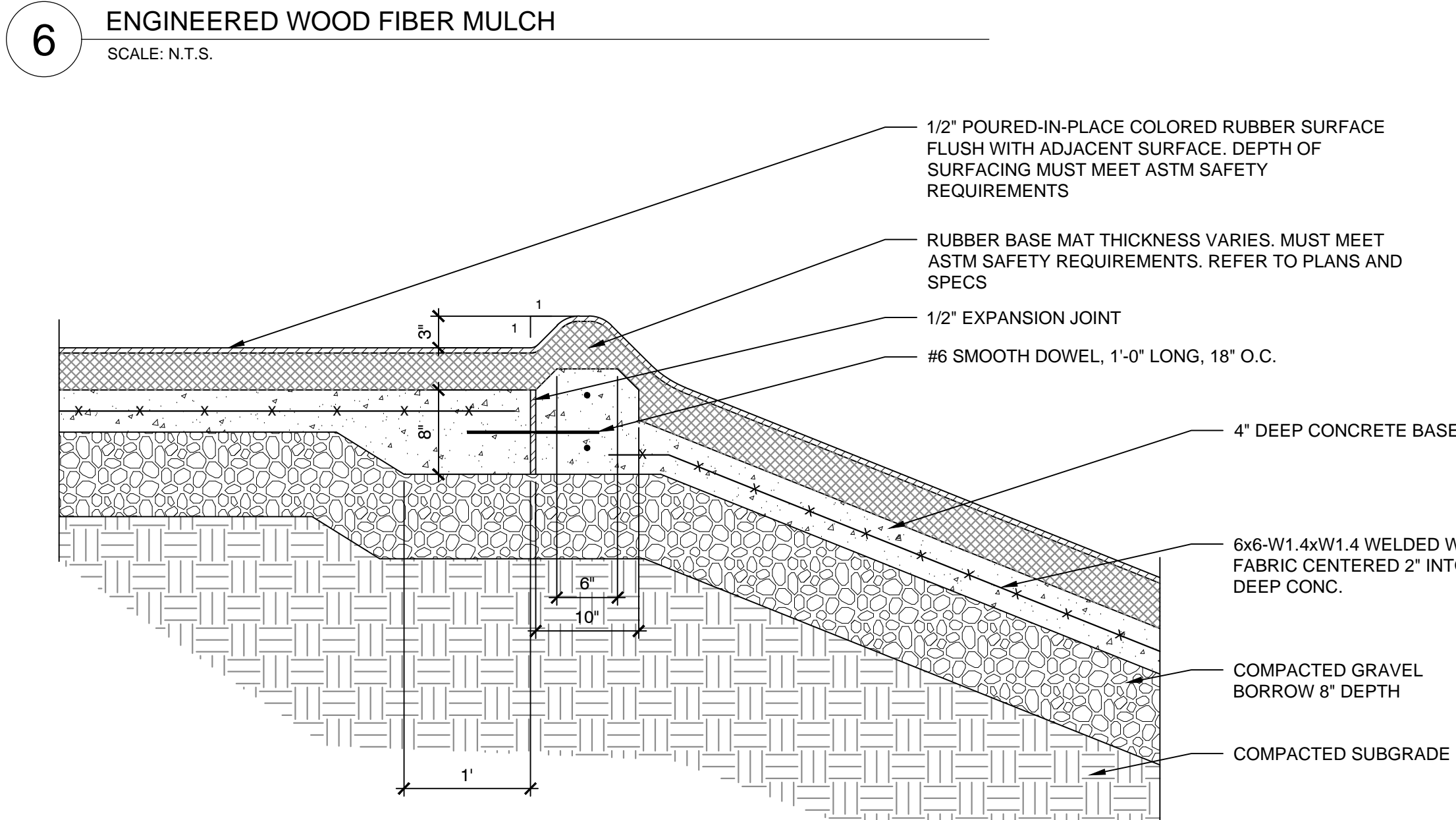
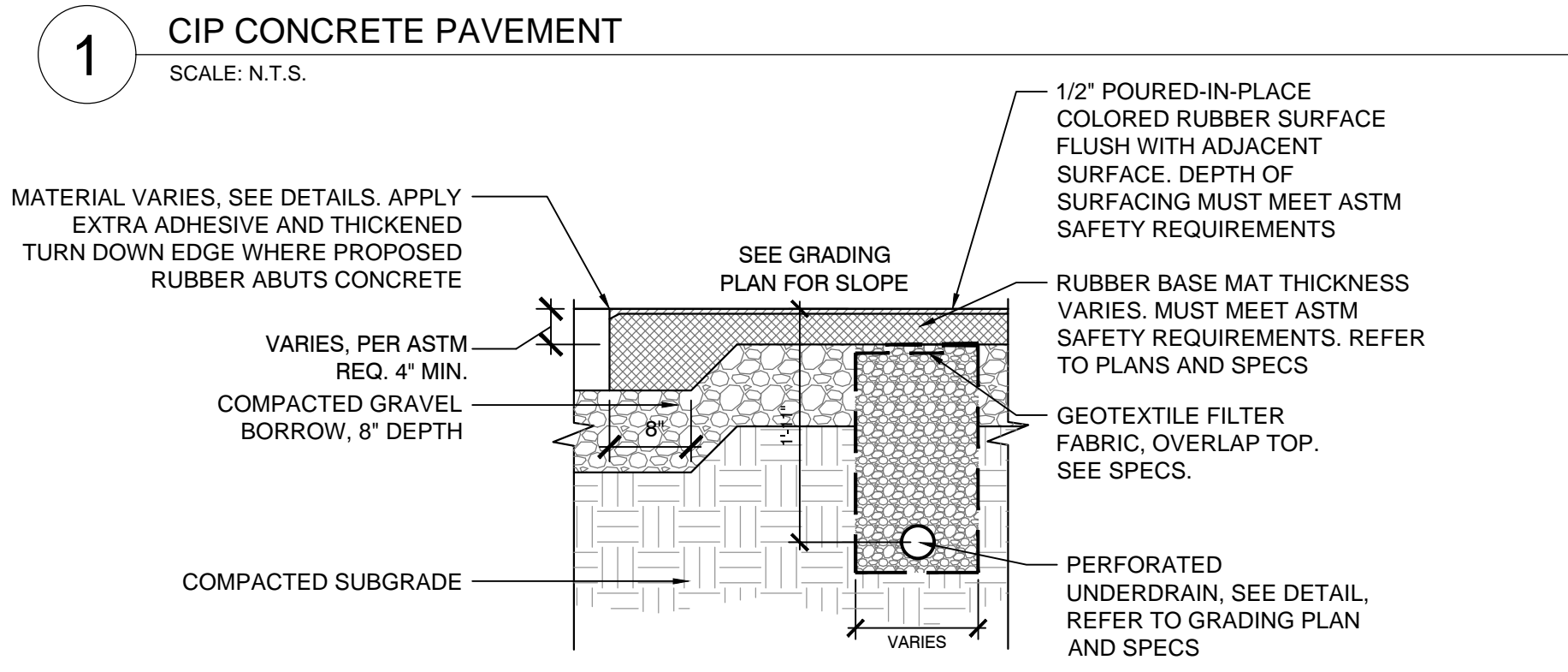
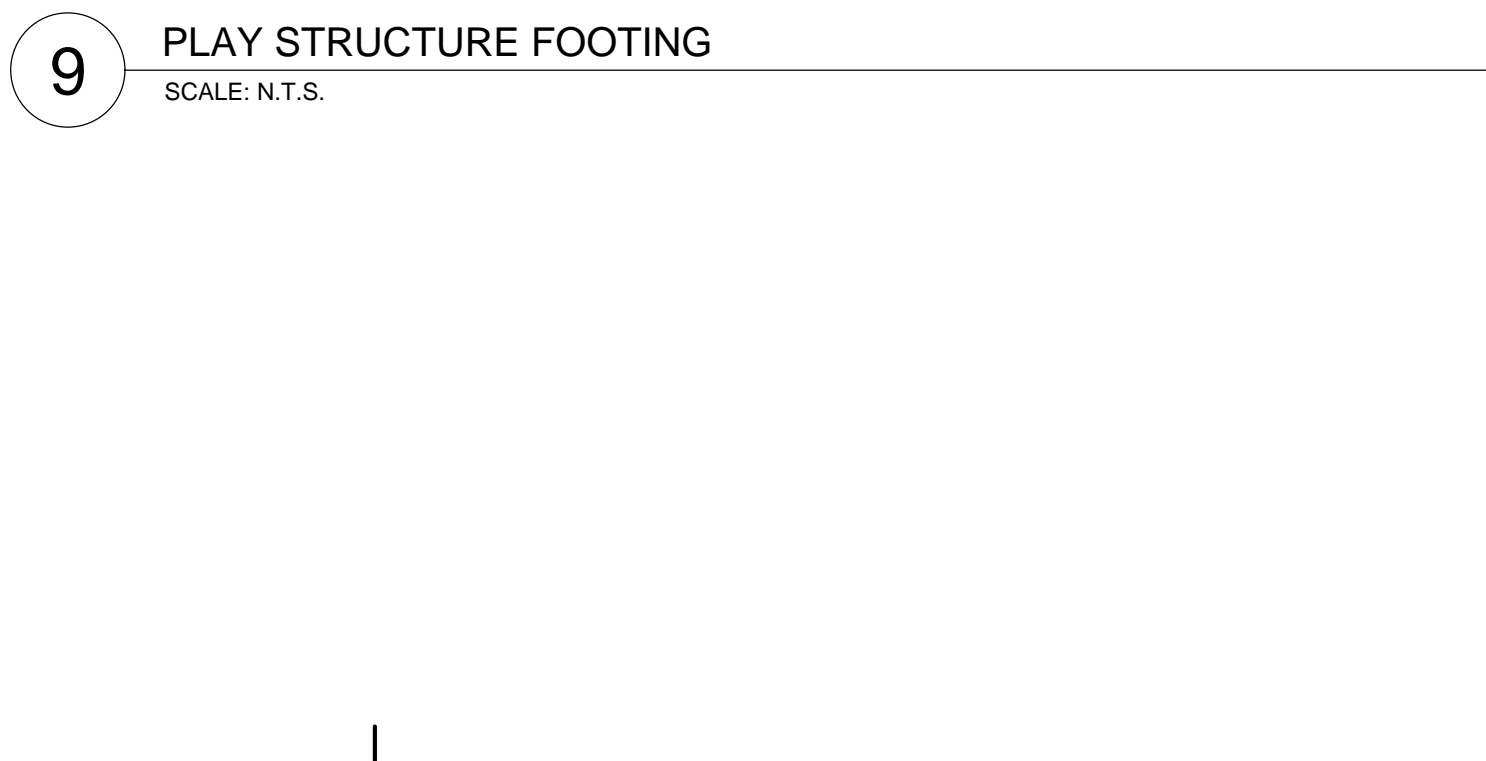
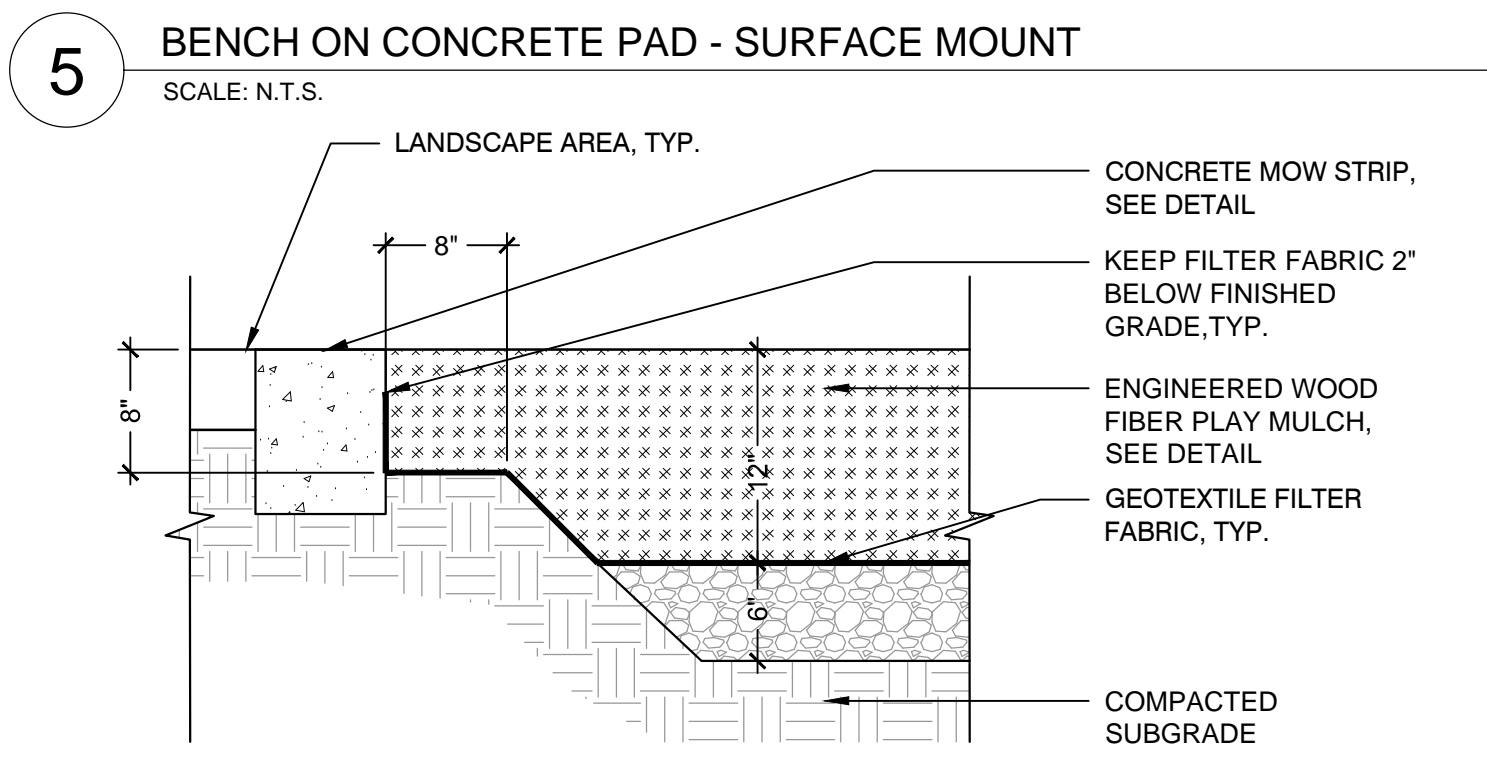
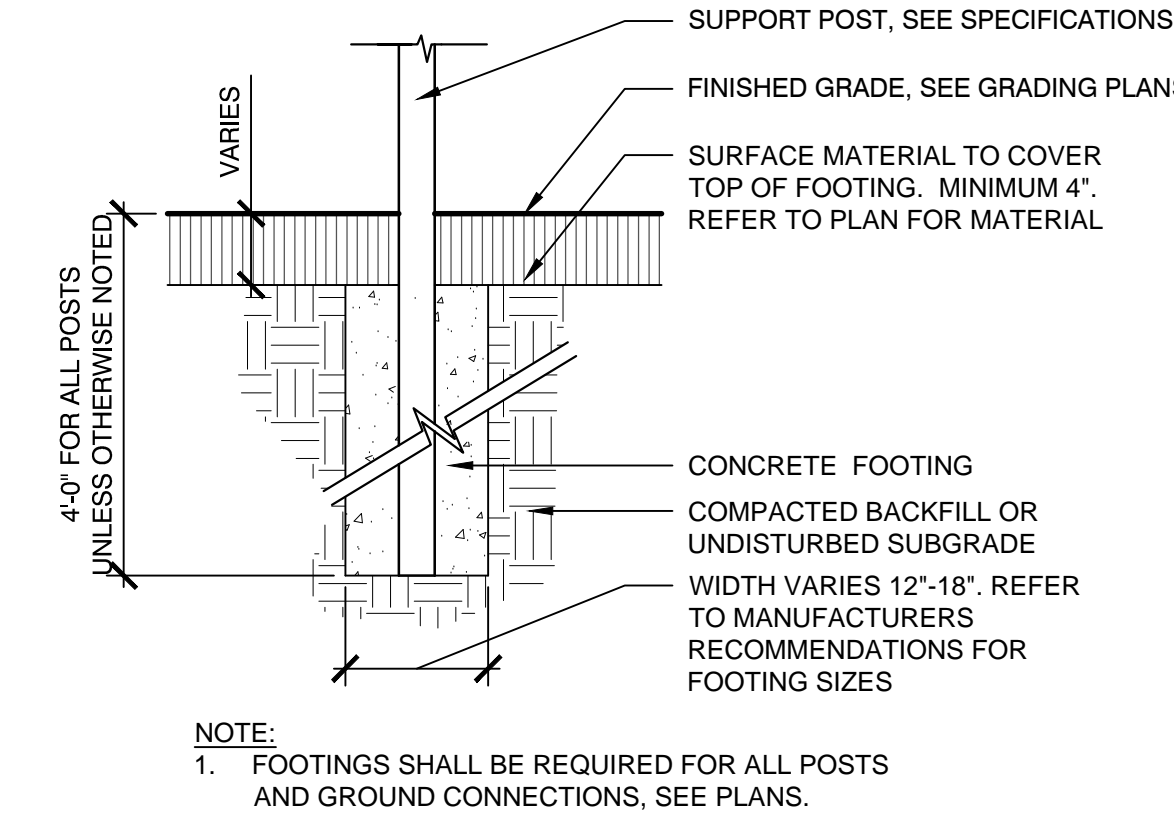
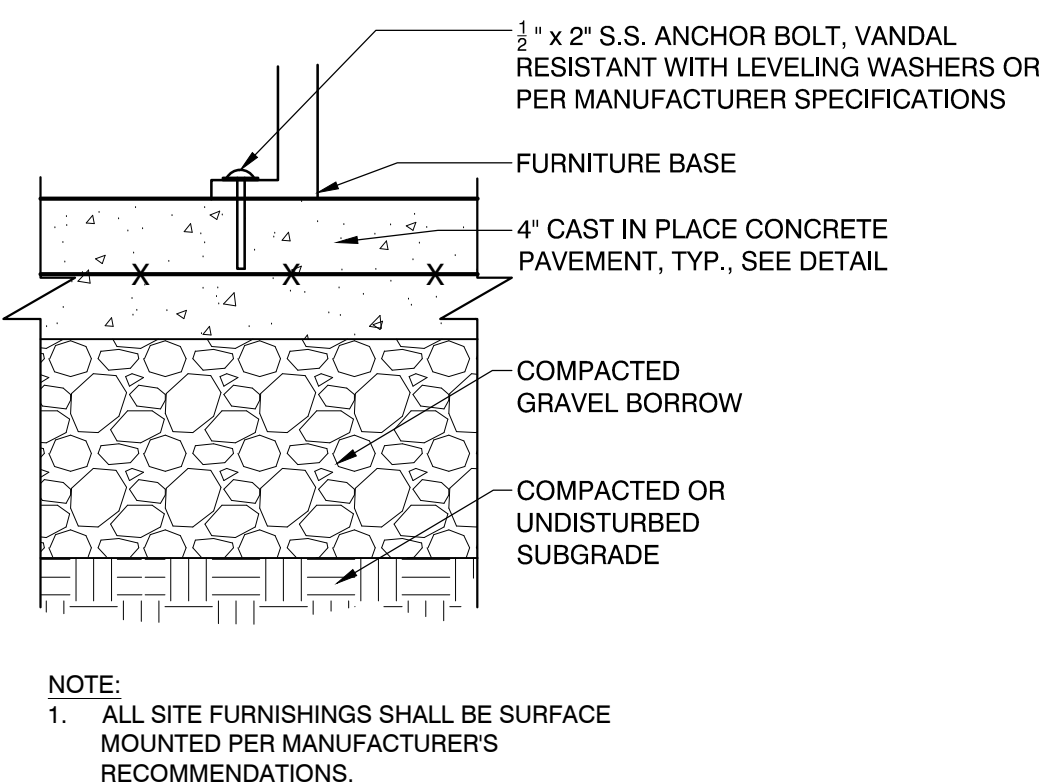
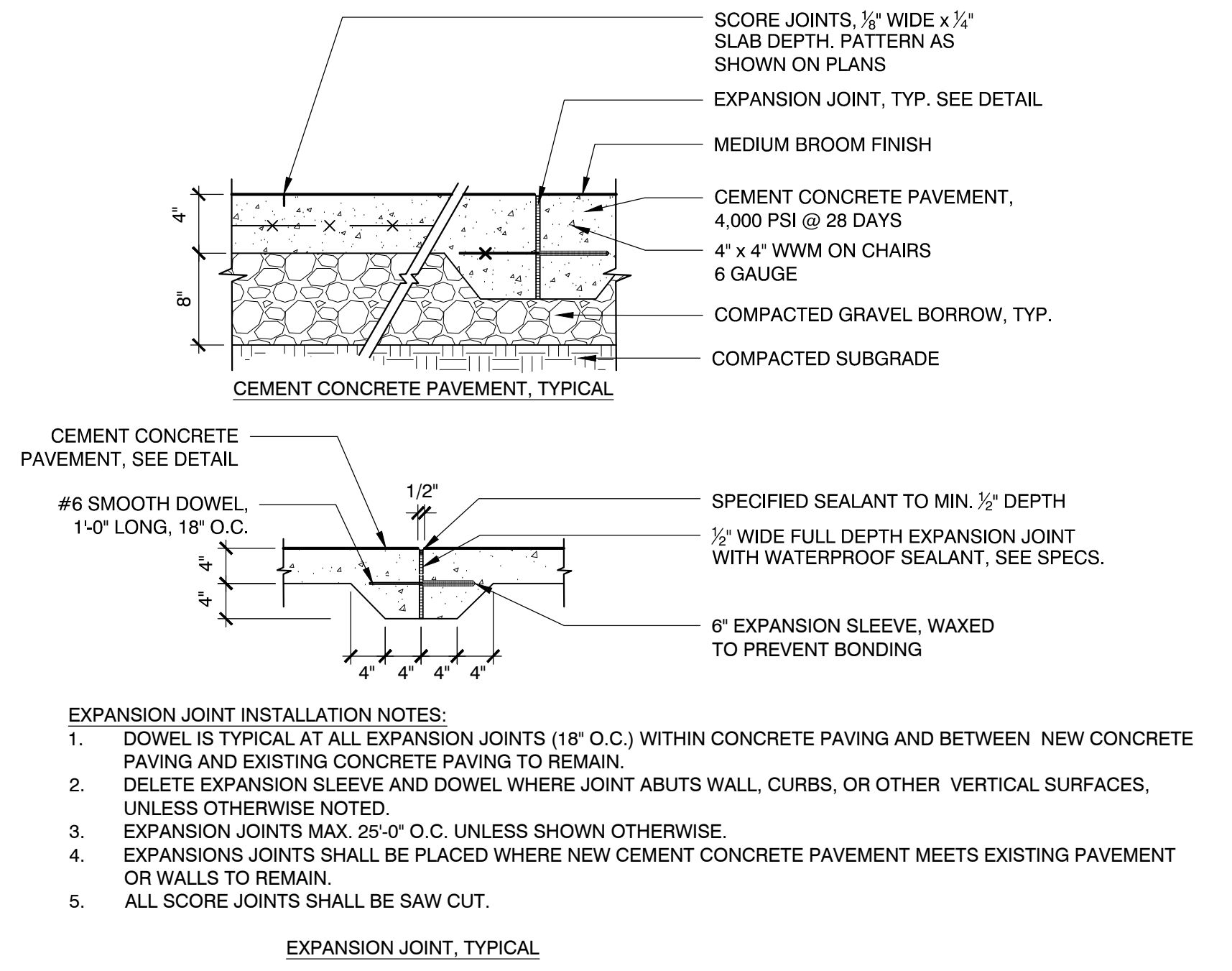
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Drawing Title:

CONSTRUCTION DETAILS

Sheet Number:

L5.00



Consultants:

Revisions:

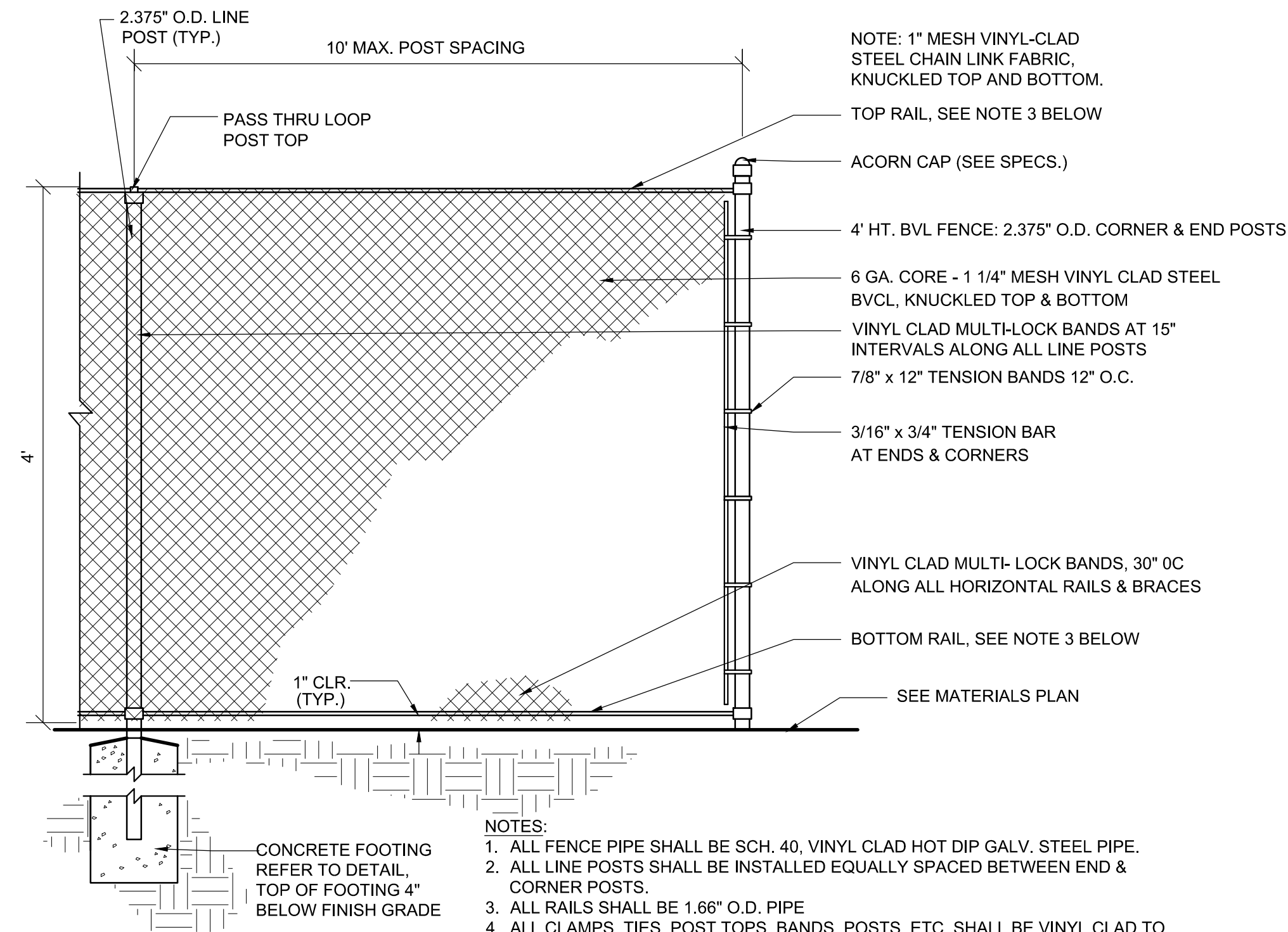
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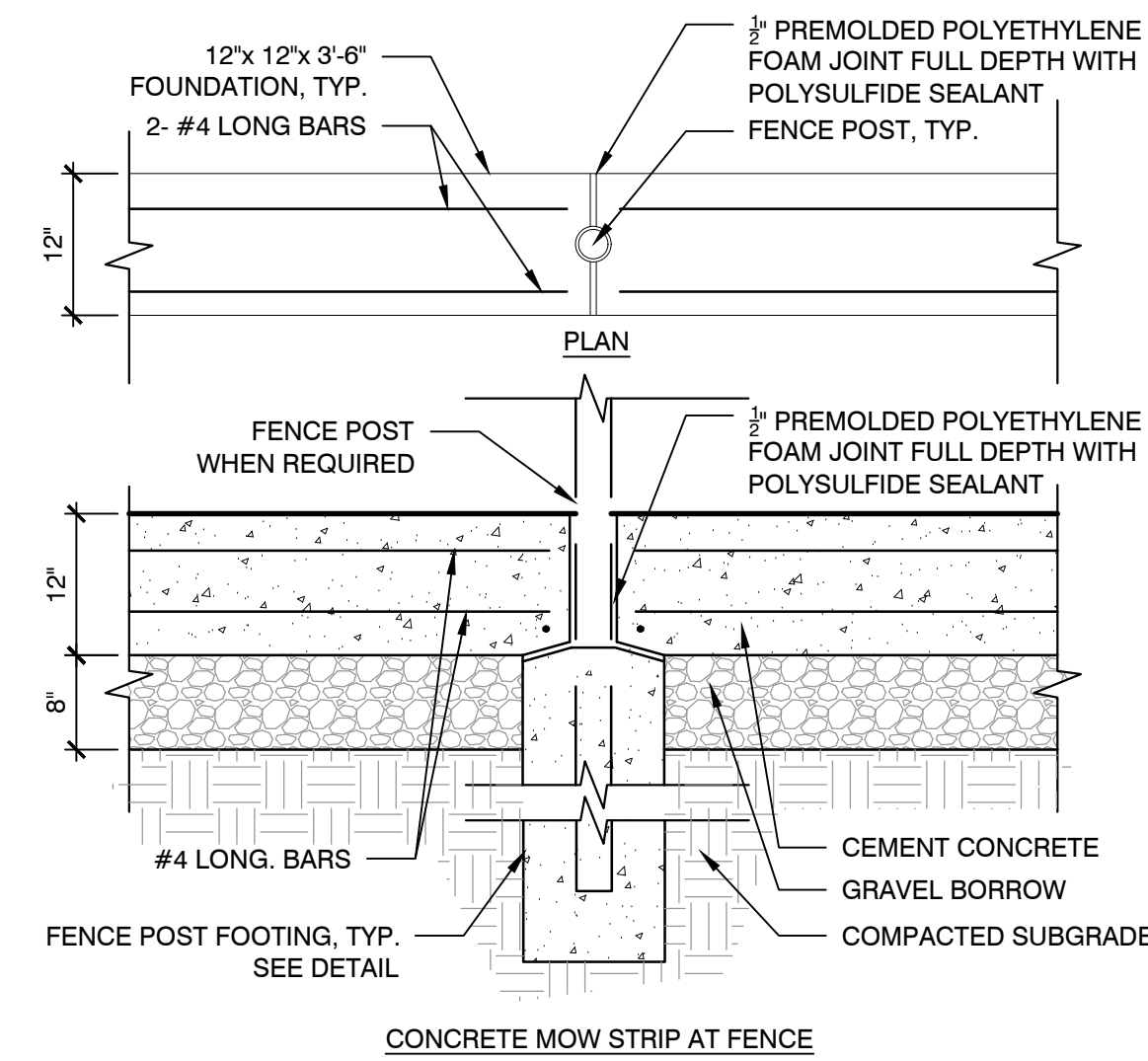
Issued For:
CONSTRUCTION DOCUMENTS

Scale: N.T.S.
Date: July 11, 2019
Drawn By: ACG
Reviewed By: JL
Approved By: CR
W&S Project No: 2190032
W&S File No:

Drawing Title:
CONSTRUCTION DETAILS
Sheet Number:
L5.01

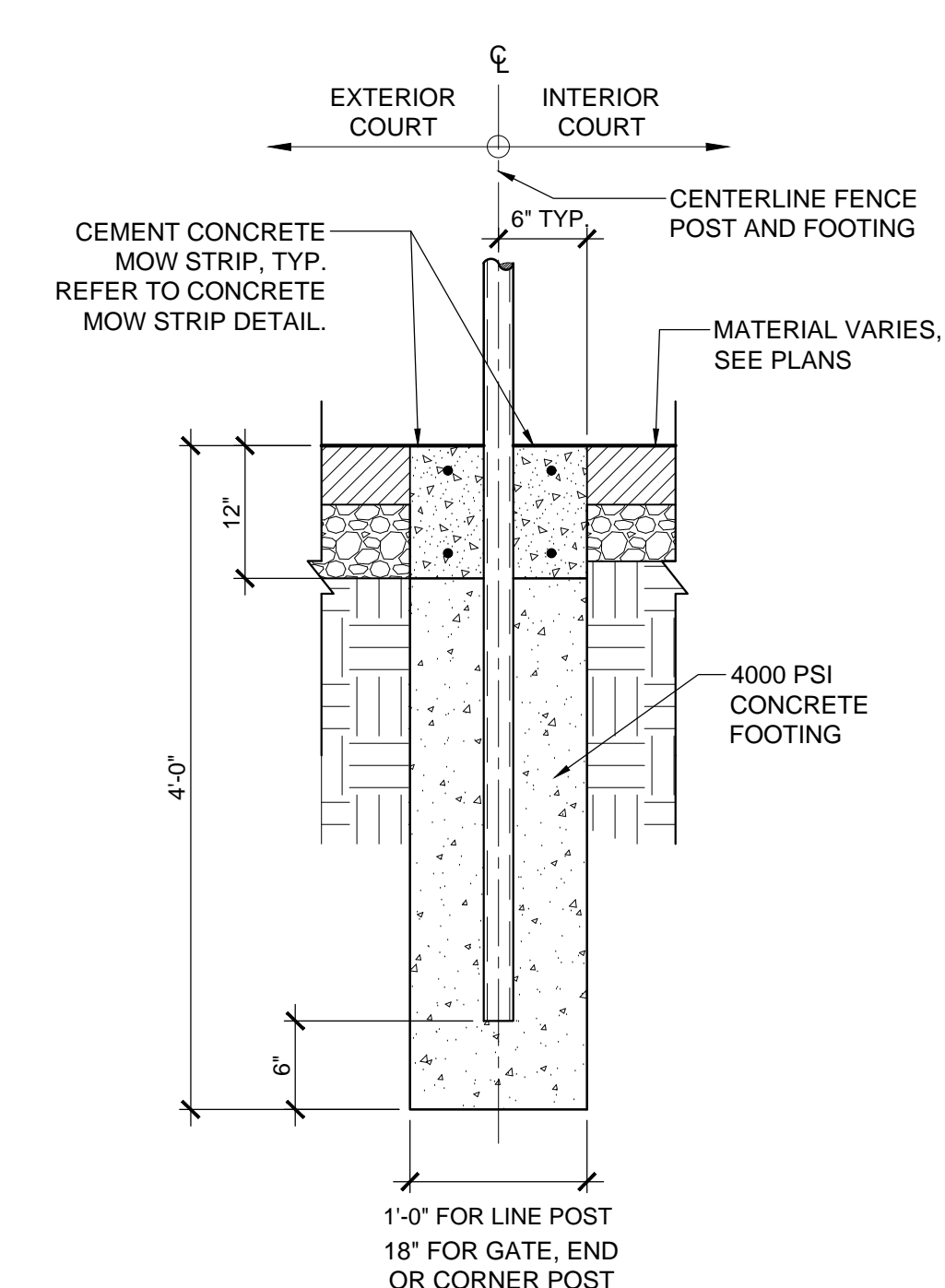


1 BLACK VINYL CHAIN LINK (BVCL) FENCE
SCALE: N.T.S.

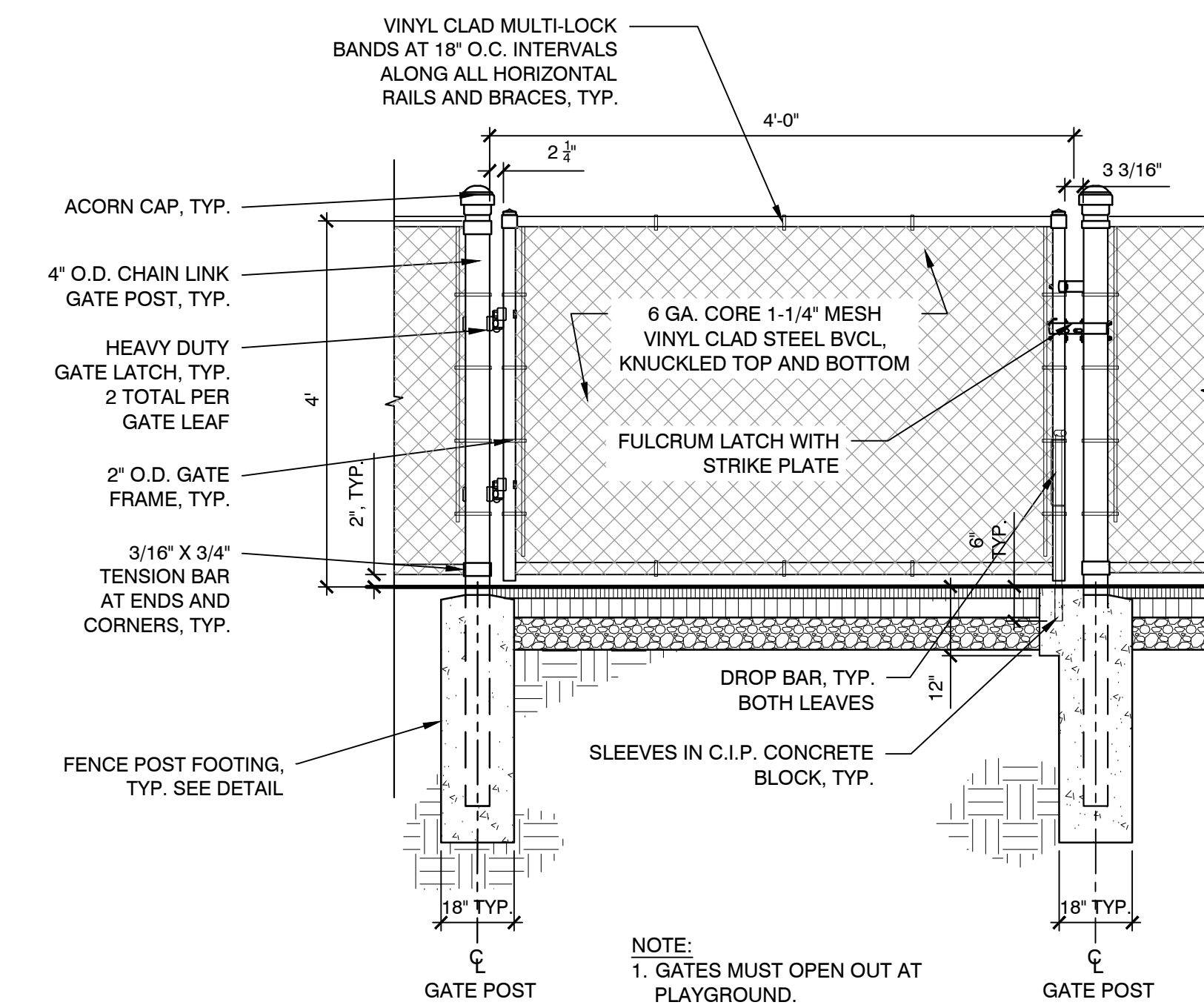


- NOTES:
1. MOW STRIP CORNERS ADJACENT TO RESILIENT SURFACING SHALL BE SQUARE TO ENSURE SMOOTH INTERFACE BETWEEN MATERIALS.
2. MOW STRIP CORNERS ADJACENT TO PLANTING BED OR LAWN AREAS WILL HAVE 3/4" CHAMFER.
3. CONTRACTOR SHALL PROVIDE 3/4" PREMOLDED POLYETHYLENE FOAM EXPANSION JOIN, FULL DEPTH WITH SILICONE SEALANT EVERY 30" O.C. UNLESS OTHERWISE NOTED.
4. CONTRACTOR SHALL USE EXTREME CAUTION AT ROOT ZONE OF EXISTING TREES TO REMAIN. CONTRACTOR SHALL CLEAN CUT ANY ROOTS OVER 2" DIA. THAT ARE EFFECTED BY THE SCOPE OF WORK. CONTRACTOR SHALL CONSULT ARBORIST PRIOR TO ANY ROOT REMOVAL.

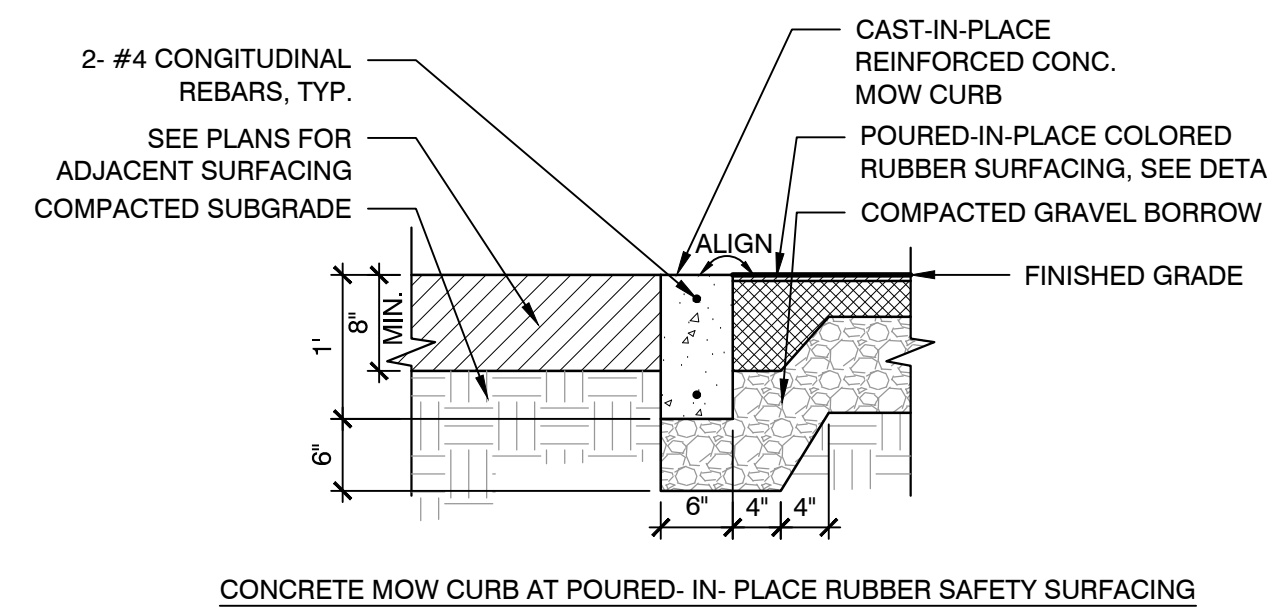
3 CONCRETE MOW STRIP AT FENCE
SCALE: N.T.S.



5 FENCE POST FOOTING
SCALE: N.T.S.



2 4' HT. CHAIN LINK FENCE SINGLE SWING GATE
SCALE: N.T.S.



- NOTES:
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4 CONCRETE MOW STRIP
SCALE: N.T.S.

Consultants:

Revisions:

No.	Date	Description

Seal:

Issued For:

CONSTRUCTION DOCUMENTS

Scale: N.T.S.

Date: July 11, 2019

Drawn By: ACG

Reviewed By: JL

Approved By: CR

W&S Project No: 2190032

W&S File No:

Drawing Title:

CONSTRUCTION DETAILS

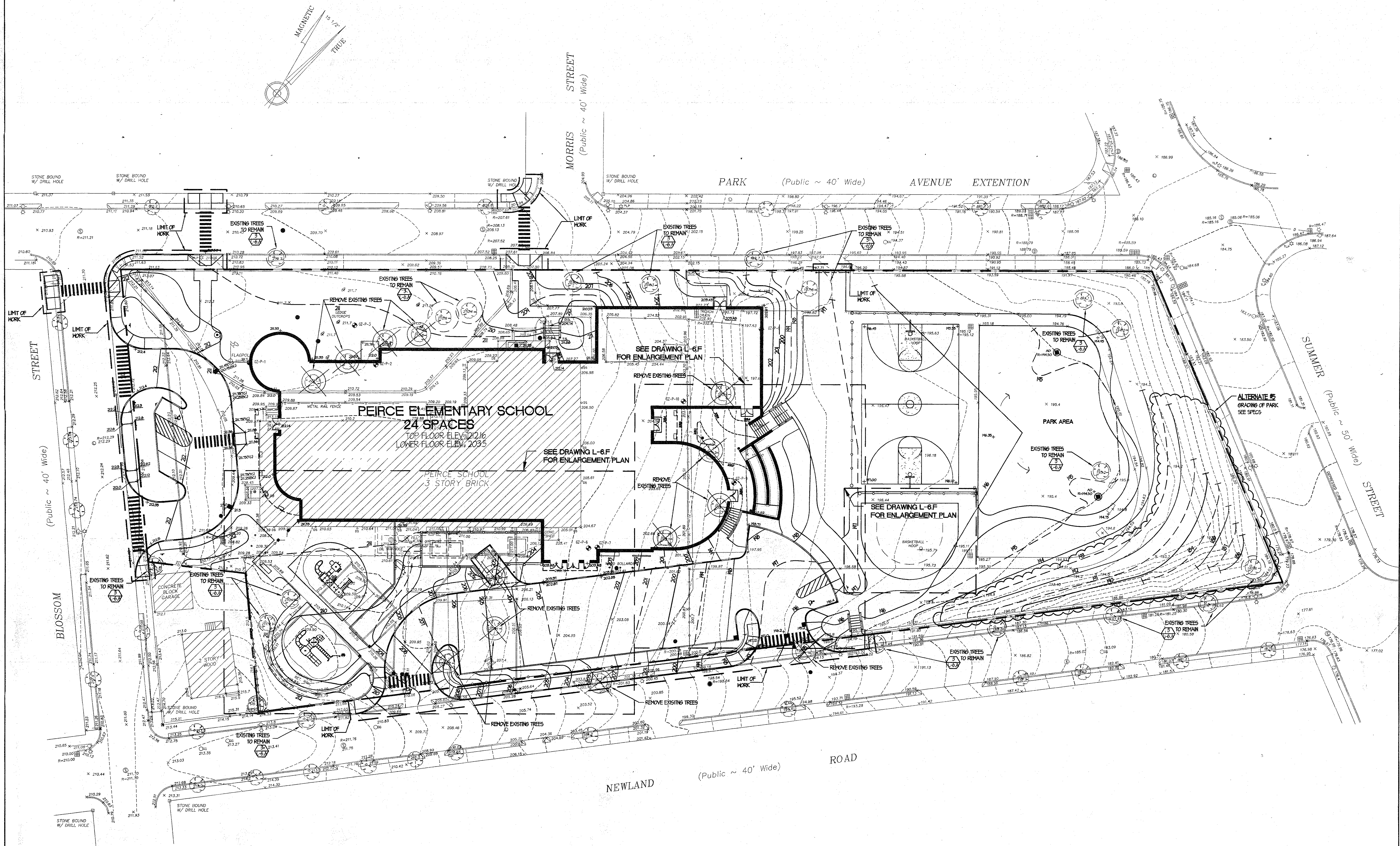
Sheet Number:

L5.02

PEIRCE ELEMENTARY SCHOOL

ARLINGTON MASSACHUSETTS

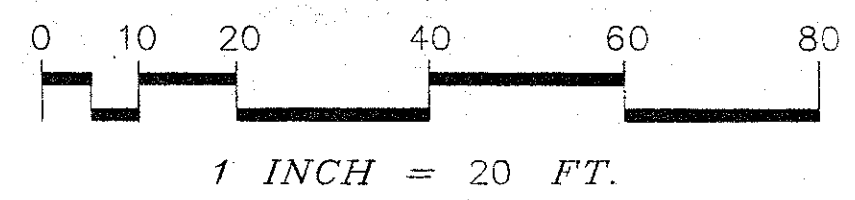
REVISION:



LEGEND:

	10' Interval Contours
	1' Interval Contours
	Spot Grade
	Top of Curb
	Bottom of Curb
	Top of Wall
	Adjacent Grade to back of Wall
	Adjacent Grade to Bottom of Wall
	Bottom of Stairs
	Top of Stairs
	Limit of Work
	Property Line
	Remove Existing Tree

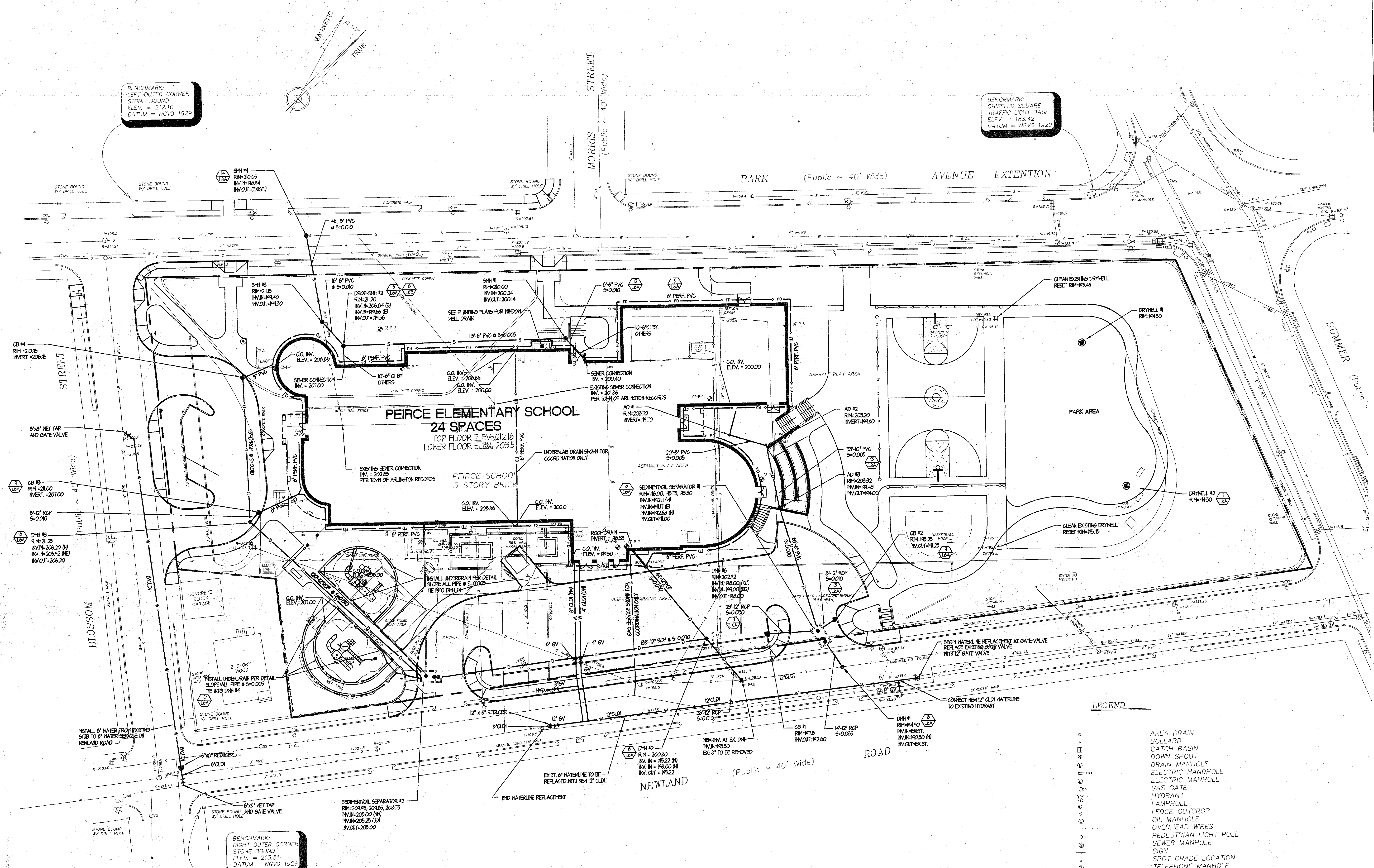
- GRADING NOTES**
1. Notify Architect in writing of any discrepancies between drawings and field conditions prior to and during work. All field adjustments to be approved by the Landscape Architect prior to implementation.
 2. Limit of Work equals Property Line unless otherwise shown.
 3. Loam and seed all disturbed areas not noted to receive other treatment.
 4. Proposed grades to blend smoothly with existing grades.
 5. Contractor to maintain erosion control measures in good condition to ensure proper erosion control.
 6. Refer to wall details for depth of wall below grade, all spot elevations shown refer to surface grades only at front, back and top of wall.
 7. Refer to L-1 for additional notes and legend.



ISSUED FOR CONSTRUCTION

SITE GRADING PLAN

Scale: 1" = 20'
 Dr. By: RC, TK, DW
 Job No: 99450
 Date: 5/7/01



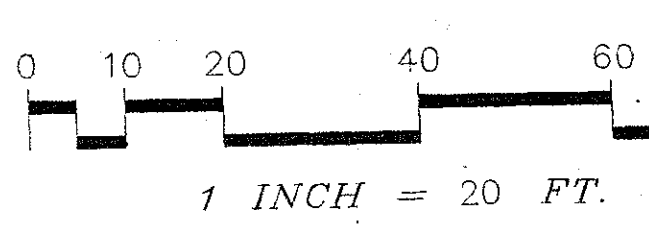
BENCHMARK:
LEFT OUTER CORNER
STONE BOUND
ELEV. = 212.10
DATUM = NGVD 1929

BENCHMARK:
CHISELED SQUARE
TRAFFIC LIGHT BASE
ELEV. = 188.42
DATUM = NGVD 1929

BENCHMARK:
RIGHT OUTER CORNER
STONE BOUND
ELEV. = 213.51
DATUM = NGVD 1929

UTILITY LEGEND:

- | | | |
|---|-----|----------------------------|
| ● | DW | DRY WELL |
| ● | SMH | SEWER MANHOLE |
| ● | DMH | DRAIN MANHOLE |
| ■ | CB | CATCH BASIN |
| ⊥ | GV | WATER SERVICE / VALVE GATE |
| — | W | WATER |
| — | S | SANITARY SEWER |
| — | D | STORM DRAIN |
| — | G | GAS MAIN |
| — | UD | UNDERDRAIN |
| — | FD | FOUNDATION DRAIN |



UTILITY NOTES:

1. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS PRIOR TO AND DURING WORK. ALL FIELD ADJUSTMENTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO IMPLEMENTATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRS TO ANY DISRUPTION OF EXISTING INDIVIDUAL UTILITY SERVICE CONNECTIONS, INCLUDING WATER, ELECTRICITY, TELEPHONE, GAS AND CABLE TELEVISION, RESULTING FROM THE CONTRACTOR'S WORK.
3. CONTRACTOR SHALL PROVIDE AS-BUILT DATA FOR ALL UTILITIES INSTALLED.
4. EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. "DIG-SAFE 1-800-344-1233" IN ADDITION THE CONTRACTOR SHALL COORDINATE HIS CONSTRUCTION ACTIVITIES NEAR UTILITY LOCATIONS WITH THE RESPECTIVE UTILITY REPRESENTATIVE.
5. ALL UTILITY COVERS WITHIN THE PROJECT LIMITS SHALL BE ADJUSTED TO THE PROPER GRADES. UTILITY COVERS INCLUDE BUT ARE NOT LIMITED TO, CATCH BASINS, FRAMES AND GRATES, MANHOLE FRAMES AND COVERS, GATE VALVE COVERS, CURB STOPS, HAND HOLES, ETC.
6. MINIMUM DRAIN MANHOLE DIAMETER = 4'. LARGER DIAMETER MANHOLES WILL BE REQUIRED DUE TO THE NUMBER, SIZE AND LOCATION OF PIPING.
7. SEE EXISTING CONDITIONS PLAN SHEET FOR ADDITIONAL NOTES AND LEGEND.
8. ALL PROPOSED CATCH BASINS SHALL HAVE 4" DEEP SUMPS AND SHALL BE FITTED WITH HOODS. ALL EXISTING CATCH BASINS TO REMAIN AND FUNCTION AS CATCH BASINS SHALL BE RETROFITTED WITH HOODS.
9. CONTRACTOR TO CONFIRM THAT EXISTING ABANDONED UNDERGROUND UTILITIES ENCOUNTERED DURING CONSTRUCTION ARE SHUT OFF AT THE PUBLIC RIGHT-OF-WAY.
10. ALL CATCH BASIN DRAIN MANHOLES AND ASSOCIATED PIPING ARE TO BE CLEANED OF ALL SILT AND DEBRIS PRIOR TO ANY CONSTRUCTION AS WELL AS AFTER CONSTRUCTION IS COMPLETE. THIS INCLUDES ALL DRAINAGE STRUCTURES AROUND THE SCHOOL PARCEL.
11. SEE ARCHITECTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING DRAWINGS TO COORDINATE ALL UTILITY CONNECTIONS.
12. ALL EXISTING UTILITIES WITHIN THE PROPOSED FOOTPRINT SHALL BE REMOVED ENTIRELY AND CONTROLLED BACKFILL SHALL BE PLACED AS PER SPECIFICATIONS.

LEGEND

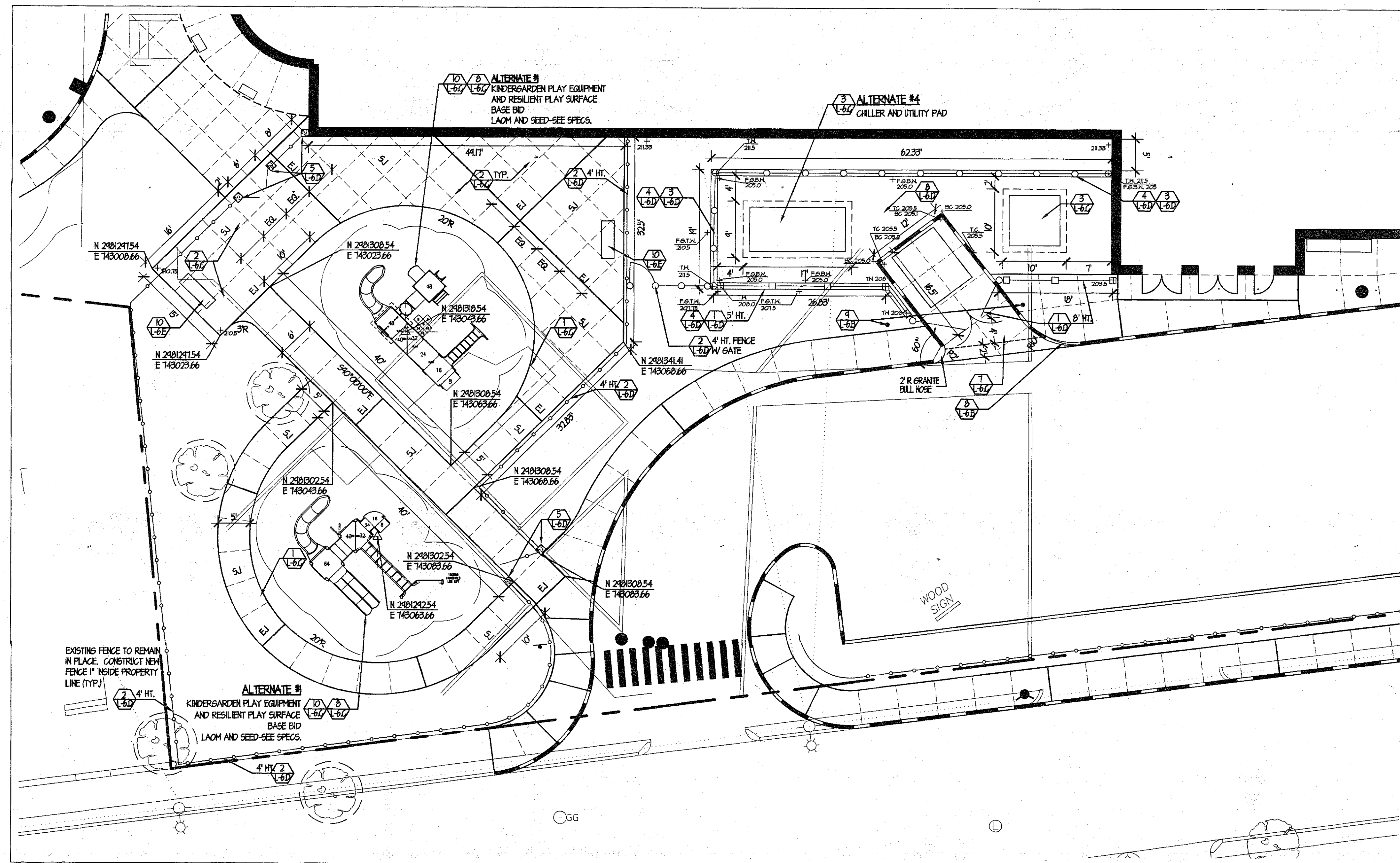
- AREA DRAIN
 - BOLLARD
 - CATCH BASIN
 - DOWN SPOUT
 - DRAIN MANHOLE
 - ELECTRIC HANDHOLE
 - ELECTRIC MANHOLE
 - GAS GATE
 - HYDRANT
 - LAMPHOLE
 - LEDGE OUTCROP
 - OIL MANHOLE
 - OVERHEAD WIRES
 - PEDESTRIAN LIGHT POLE
 - SEWER MANHOLE
 - SIGN
 - SPOT GRADE LOCATION
 - TELEPHONE MANHOLE
 - TRAFFIC LIGHT POLE
 - TREES
 - M = MAPLE
 - O = OAK
- UNDERGROUND UTILITIES
SEWER, WATER, ETC.
- WATER GATE
WOOD UTILITY POLE
WOOD UTILITY POLE W/LIGHT
- BOARDING

ISSUED FOR CONSTRUCTION

SITE UTILITY PLAN

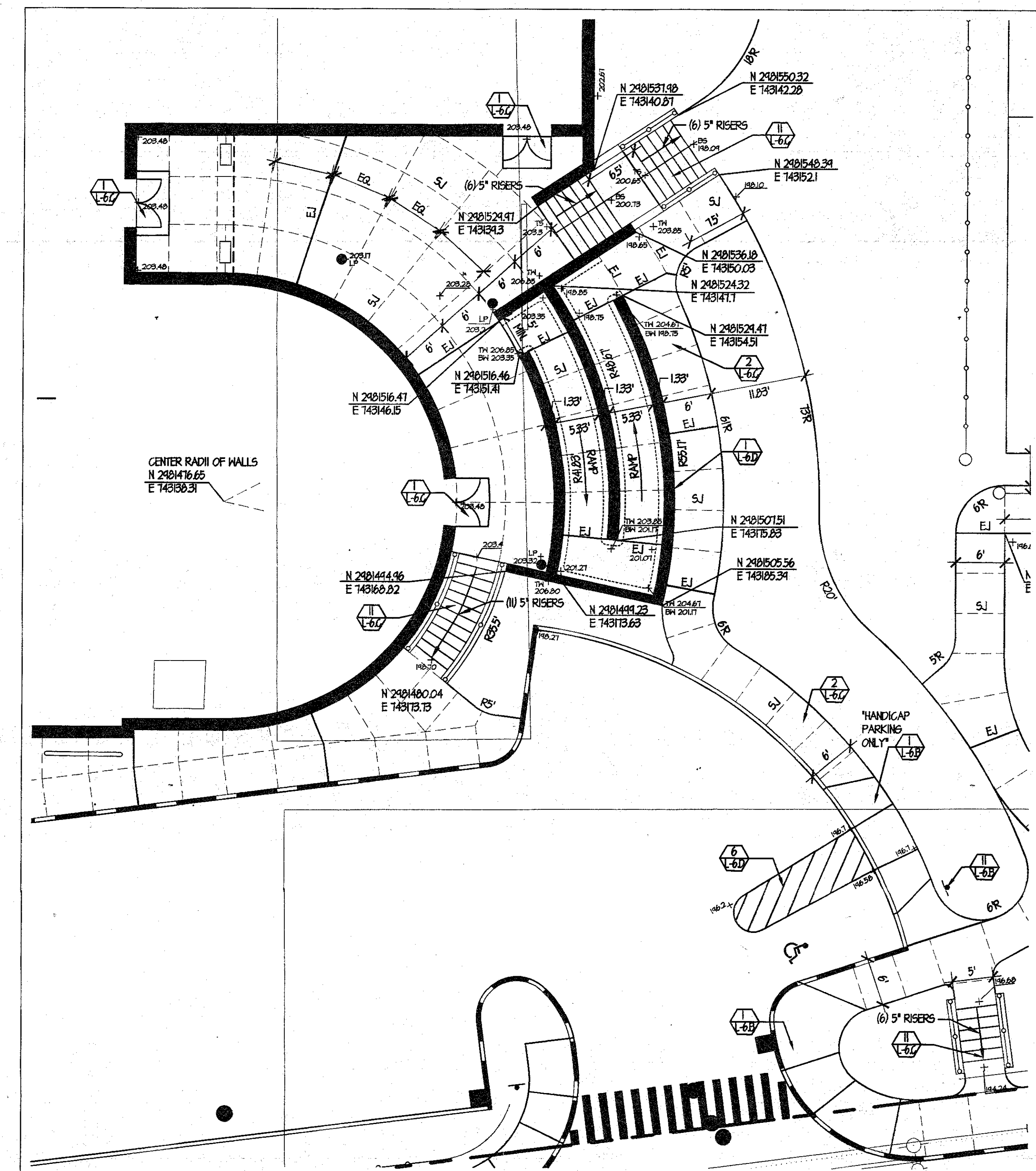
Scale: 1" = 20'
Dr. PIP. RC, RW
Job No: 99480
Date: 3/1/01

L-3



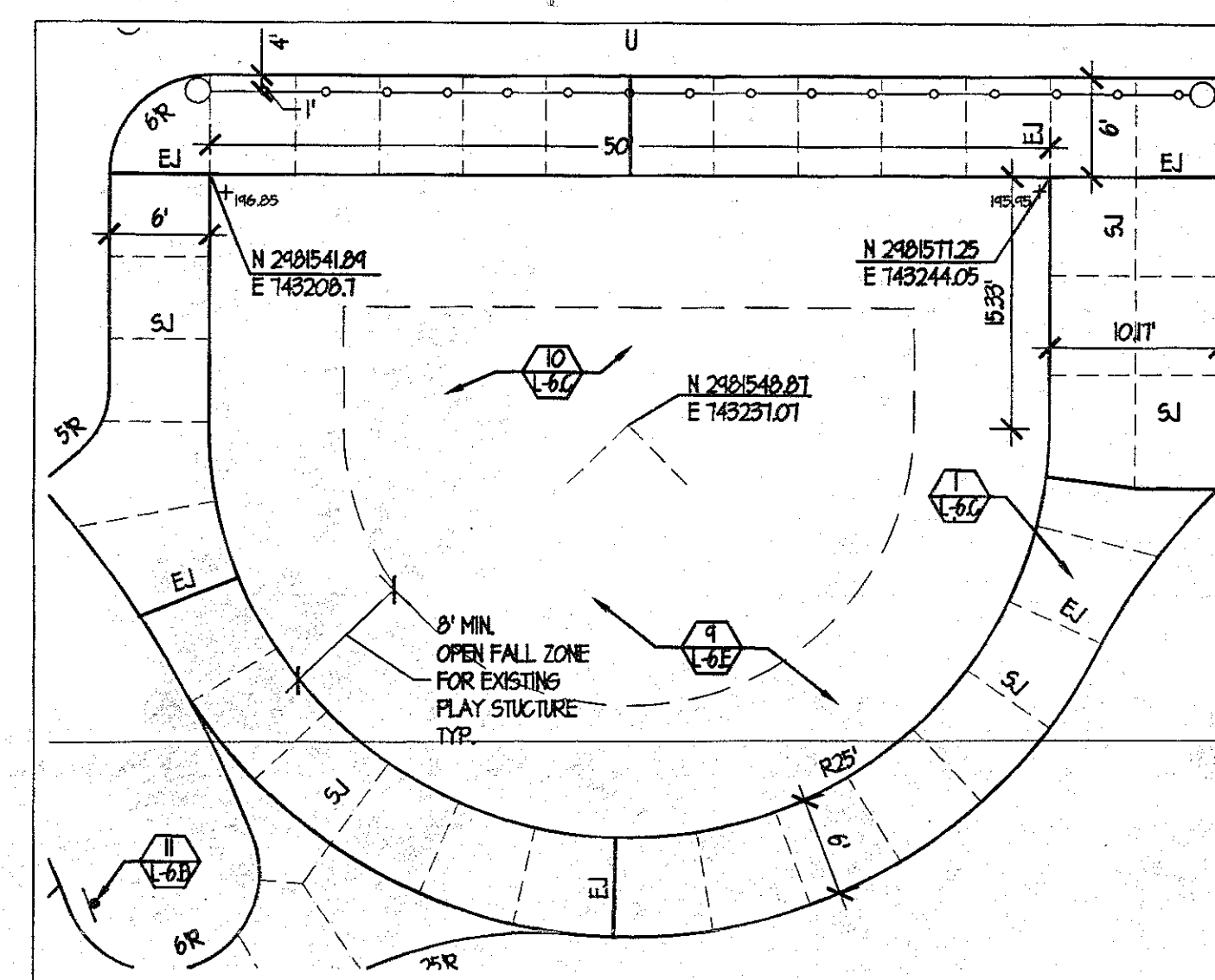
KINDERGARDEN AND MECHANICAL YARD

SCALE 1"=10'



REAR ENTRY, WALLS AND HANDICAP RAMP

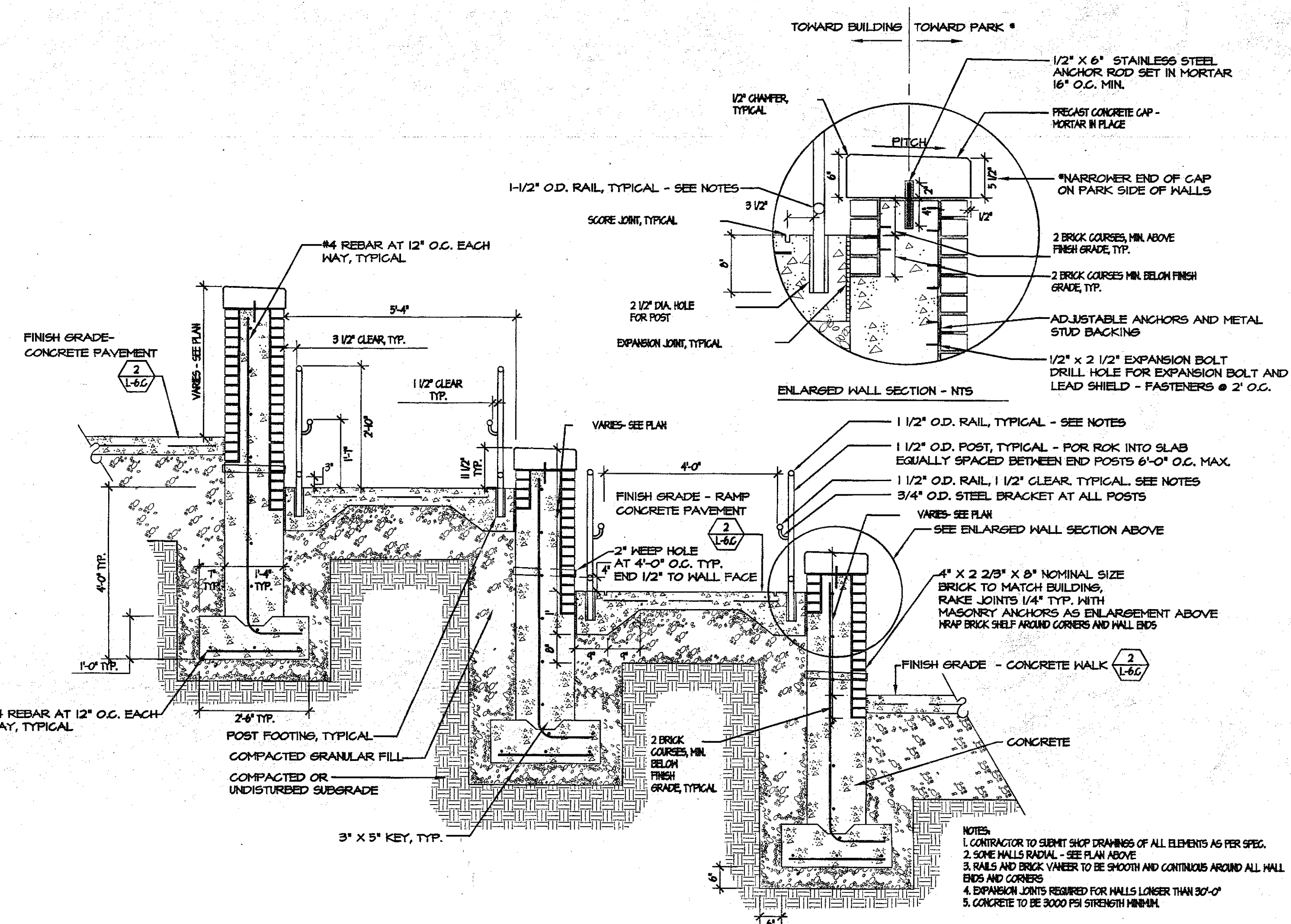
SCALE 1"=10'



RELOCATED EXISTING PLAY STRUCTURE

SCALE 1"=10'

- NOTE:
- REFER TO L-2 AND L-4 FOR ADDITIONAL NOTES AND LEGEND.
 - COORDINATES FOR RADIAL WALL ARE TO OUTSIDE FACE OF WALLS.



1 SWITCHBACK HANDICAP RAMP AND HANDRAIL

SCALE 1/2" = 1'-0"

D.R.A.

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PEIRCE ELEMENTARY SCHOOL

ARLINGTON MASSACHUSETTS

REVISION:

ISSUED FOR CONSTRUCTION

DETAILED SITE PLAN AND HANDICAP RAMP DETAIL

Scale: AS SHOWN
 Dr. Pl: RC, BW, HW
 Job No: 99-180
 Date: 5/7/01

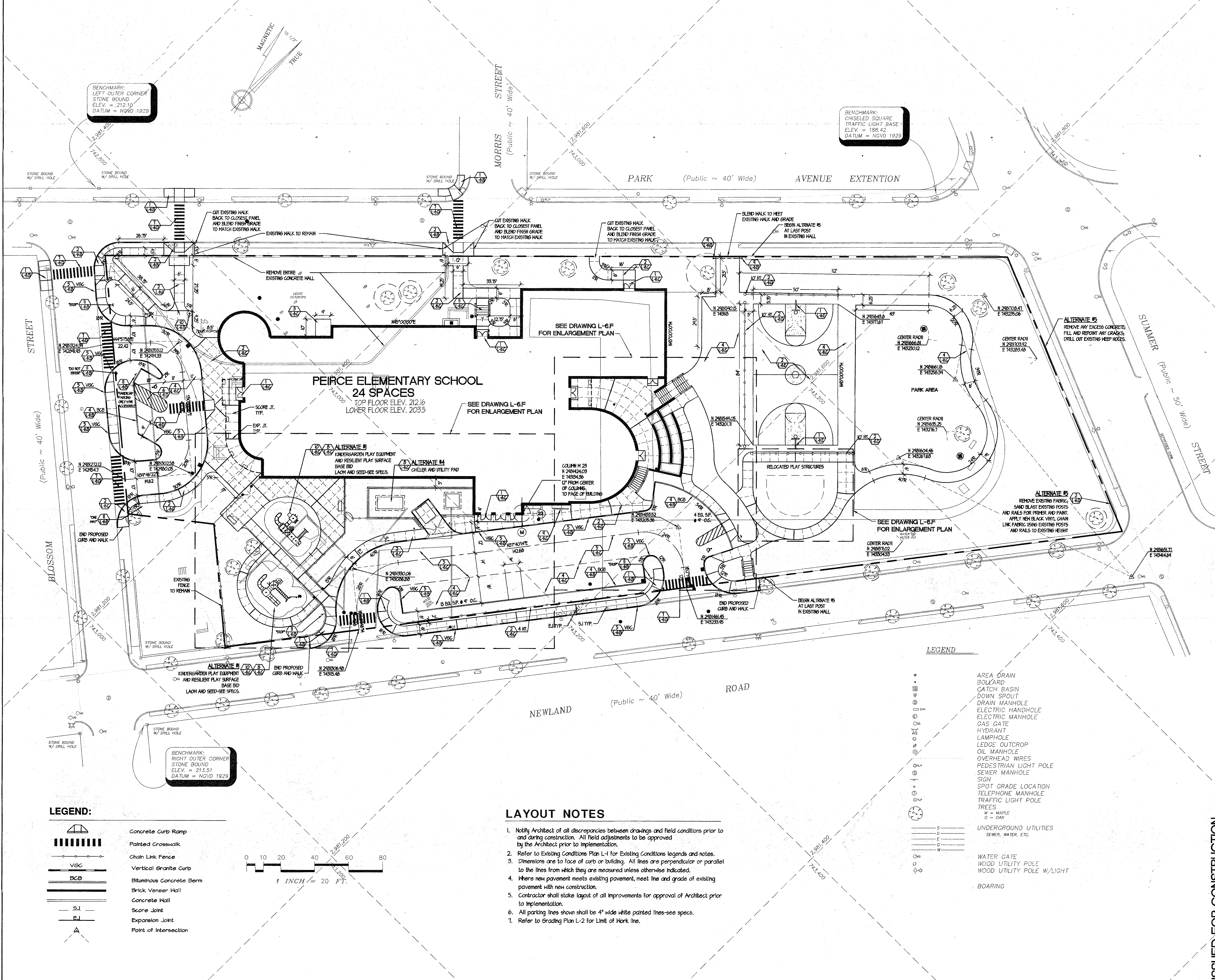
L-6.F

F:\PROJECTS\peirce-9908\LAYOUT.dwg Plot Date: 05/13/01 10:20:01

PEIRCE ELEMENTARY SCHOOL

ARLINGTON
MASSACHUSETTS

REVISION:



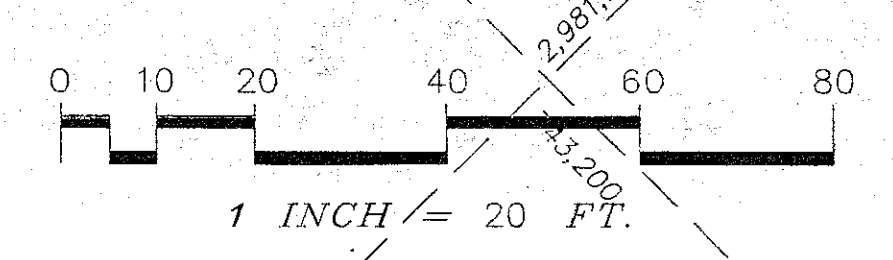
BENCHMARK:
LEFT OUTER CORNER
STONE BOUND
ELEV. = 212.10'
DATUM = NGVD 1929

BENCHMARK:
CHISELED SQUARE
TRAFFIC LIGHT BASE
ELEV. = 188.42
DATUM = NGVD 1929

BENCHMARK:
RIGHT OUTER CORNER
STONE BOUND
ELEV. = 213.51'
DATUM = NGVD 1929

LEGEND:

- Concrete Curb Ramp
- Painted Crosswalk
- Chain Link Fence
- Vertical Granite Curb
- Bituminous Concrete Berm
- Brick Veneer Wall
- Concrete Wall
- Score Joint
- Expansion Joint
- Point of Intersection



LAYOUT NOTES

1. Notify Architect of all discrepancies between drawings and field conditions prior to and during construction. All field adjustments to be approved by the Architect prior to implementation.
2. Refer to Existing Conditions Plan L-1 for Existing Conditions legends and notes.
3. Dimensions are to face of curb or building. All lines are perpendicular or parallel to the lines from which they are measured unless otherwise indicated.
4. Where new pavement meets existing pavement, meet line and grade of existing pavement with new construction.
5. Contractor shall stake layout of all improvements for approval of Architect prior to implementation.
6. All parking lines shown shall be 4" wide white painted lines-see specs.
7. Refer to Grading Plan L-2 for Limit of Work line.

LEGEND

- AREA DRAIN
- BOLLARD
- CATCH BASIN
- DOWN SPOUT
- DRAIN MANHOLE
- ELECTRIC HANDHOLE
- ELECTRIC MANHOLE
- GAS GATE
- HYDRANT
- LAMP POLE
- LEDGE OUTCROP
- OIL MANHOLE
- OVERHEAD WIRES
- PEDESTRIAN LIGHT POLE
- SEWER MANHOLE
- SIGN
- SPOT GRADE LOCATION
- TELEPHONE MANHOLE
- TRAFFIC LIGHT POLE
- TREES
- M = MAPLE
- O = OAK
- UNDERGROUND UTILITIES
SEWER, WATER, ETC.
- WATER GATE
- WOOD UTILITY POLE
- WOOD UTILITY POLE W/LIGHT
- BOARING

ISSUED FOR CONSTRUCTION

**SITE
LAYOUT
PLAN**

Scale: 1" = 20'
Dr. By: RC, BW
Job No.: 99480
Date: 5/7/01

L-4