

117 BROADWAY

ARLINGTON, MA

DRAWING LIST	
G000	COVER
A001	GENERAL NOTES AND MOUNTING HEIGHTS
A100	SITE PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	FOURTH FLOOR PLAN
A201	PERSPECTIVE VIEW
A202	SOUTH ELEVATION
A203	WEST ELEVATION
A204	EAST ELEVATION
A205	NORTH ELEVATION
A206	PERSPECTIVE VIEW
A207	PERSPECTIVE VIEW
A208	PERSPECTIVE VIEW
A300	VERTICAL CIRCULATION

GSF	
Basement	N/A (Mechanical)
Level 1	4,672
Level 2	5,091
Level 3	5,091
Level 4	4,576
TOTAL GSF	19,430

UNIT MIX		
	NUMBER	Count
Level 2		
1 BED		1
2 BED		3
3 BED		1
Level 3		
1 BED		1
2 BED		3
3 BED		1
Level 4		
2 BED		4
Total Units		14

OWNER:

ARCHITECT:
 DAVIS SQUARE ARCHITECTS
 240A ELM STREET, SOMERVILLE, MA 02144
 617.628.5700 (T) 617.628.1717 (F)

CIVIL ENGINEER:

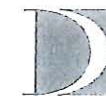
STRUCTURAL ENGINEER:

MEP ENGINEER:

LOCATION MAP



SPECIAL PERMIT
 October 12, 2016



DAVIS
 SQUARE
 ARCHITECTS

PROJECT NO.
 24000.00

9/20/2016 2:45 PM
G:\V\16045 - 117 Broadway\117 - 117 Broadway\10127 - 117 Broadway_020415.dwg

ZONING INFORMATION

DISTRICT: VEHICULAR ORIENTED BUSINESS (B4)
PERMITTED USES: RESTAURANT UNDER 2,000 SF IS NOT PERMITTED;
RESTAURANT OVER 2,000 SF REQUIRES A SPECIAL PERMIT;
SEE TABLE IN SECTION 5.04 OF ARLINGTON ZONING CODE FOR
ADDITIONAL PERMITTED USES.
**ZONING INFORMATION OBTAINED FROM "ZONING CERTIFICATE", PREPARED BY
ZONING SOLUTIONS, INC., AND DATED JUNE 16, 2014.

LEGEND

- ⊗ CATCH BASIN
- ⊙ CABLE TELEVISION MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ ELECTRIC MANHOLE
- ⊙ MISCELLANEOUS MANHOLE
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- GSO GAS SHUT-OFF
- WSO WATER SHUT-OFF
- GG GAS GATE
- WG WATER GATE
- FH FIRE HYDRANT
- DS DOWN SPOUT
- UP UTILITY POLE
- UP W/ UE UTILITY POLE WITH CONDUIT LINE TO GROUND
- L LIGHT POLE
- LB LIGHT BOLLARD
- LL LANDSCAPE LIGHT
- LST LANDSCAPE TIMBER
- HH HAND HOLE
- TC TRASH CAN
- MP METAL POST
- CP CONCRETE POST
- PM PARKING METER
- S SIGN POST
- 12" DECIDUOUS TREE WITH TRUNK DIAMETER
- 12" CONIFEROUS TREE WITH TRUNK DIAMETER
- H HANDICAP PARKING
- 3600 SPOT ELEVATION
- CLF CHAIN LINK FENCE
- BB BITUMINOUS CONCRETE BERM
- SCC SLOPED GRANITE CURB
- VGC VERTICAL GRANITE CURB
- VCC VERTICAL CONCRETE CURB
- R RIM ELEVATION EQUALS
- I INVERT ELEVATION EQUALS
- TH TOP OF HOOD ELEVATION EQUALS
- NPV NO PIPES VISIBLE
- TW TOP OF WATER
- BC BOTTOM CENTER OF CHANNEL
- TW TOP OF WALL ELEVATION
- CATV UNDERGROUND CABLE TELEVISION LINE
- D UNDERGROUND DRAIN LINE
- E UNDERGROUND ELECTRIC LINE
- G UNDERGROUND GAS LINE
- S UNDERGROUND SEWER LINE
- T UNDERGROUND TELEPHONE LINE
- W UNDERGROUND WATER LINE
- OHW OVERHEAD WIRES
- B BENCH MARK

TABLE A ITEMS:

3. THE PARCEL SHOWN HEREON LIES WITHIN A ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% CHANCE ANNUAL FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR MIDDLESEX COUNTY, MASSACHUSETTS, COMMUNITY PANEL NO. 25017C0417E, EFFECTIVE DATE: JUNE 4, 2010.
16. THERE WAS NO SURFACE EVIDENCE OF BUILDING CONSTRUCTION AT THE TIME OF THE SURVEY.
17. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO PROPOSED CHANGES TO THE ADJUTING RIGHT-OF-WAY LINES.
18. THERE WAS NOT SURFACE EVIDENCE OF THE SITE BEING USED AS A SOLID WASTE DUMP AT THE TIME OF THE SURVEY.
19. WETLANDS DO NOT APPEAR TO BE PRESENT ON SITE BASED ON INFORMATION AVAILABLE AT THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE PRESENCE OF WETLANDS HAS NOT BEEN CONFIRMED BY AN ENVIRONMENTAL SCIENTIST TRAINED IN THE IDENTIFICATION OF WETLANDS.

EXHIBIT A

A CERTAIN PARCEL OF LAND SITUATED IN ARLINGTON, MIDDLESEX COUNTY, MASSACHUSETTS, WITH THE BUILDINGS THEREON, BEING SHOWN AS LOT 1 ON A PLAN ENTITLED "SUB-DIVISION OF LAND IN ARLINGTON, MASSACHUSETTS", DATED FEBRUARY, 1916, JOS. J. SULLIVAN, C.E., RECORDED WITH MIDDLESEX SOUTH DISTRICT DEEDS, BOOK 7865 PAGE 553, AND BEING BOUNDED AND DESCRIBED AS FOLLOWS:

NORTHEASTERLY BY LAND OF THE TOWN OF ARLINGTON, NINETY (90) FEET;
SOUTHEASTERLY BY LOT 2 AS SHOWN ON SAID PLAN, ONE HUNDRED TWENTY AND 01/100 (120.01) FEET;
SOUTHWESTERLY BY BROADWAY AS SHOWN ON SAID PLAN, NINETY (90) FEET; AND
NORTHWESTERLY BY EVERETT STREET AS SHOWN ON SAID PLAN, ONE HUNDRED TWENTY AND 01/100 (120.01) FEET.
CONTAINING 10,800 SQUARE FEET OF LAND ACCORDING TO SAID PLAN.

SCHEDULE B-EXCEPTIONS

SCHEDULE B OF THE POLICY OR POLICIES TO BE ISSUED WILL CONTAIN EXCEPTIONS TO THE FOLLOWING MATTERS UNLESS THE SAME ARE DISPOSED OF TO THE SATISFACTION OF THE COMPANY:

NOTE: THIS POLICY OMTS ANY COVENANTS, CONDITIONS OR RESTRICTIONS REFERRED TO BELOW, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAW, EXCEPT TO THE EXTENT THAT SAID COVENANTS, CONDITIONS OR RESTRICTIONS ARE PERMITTED BY APPLICABLE STATE OR FEDERAL LAW.

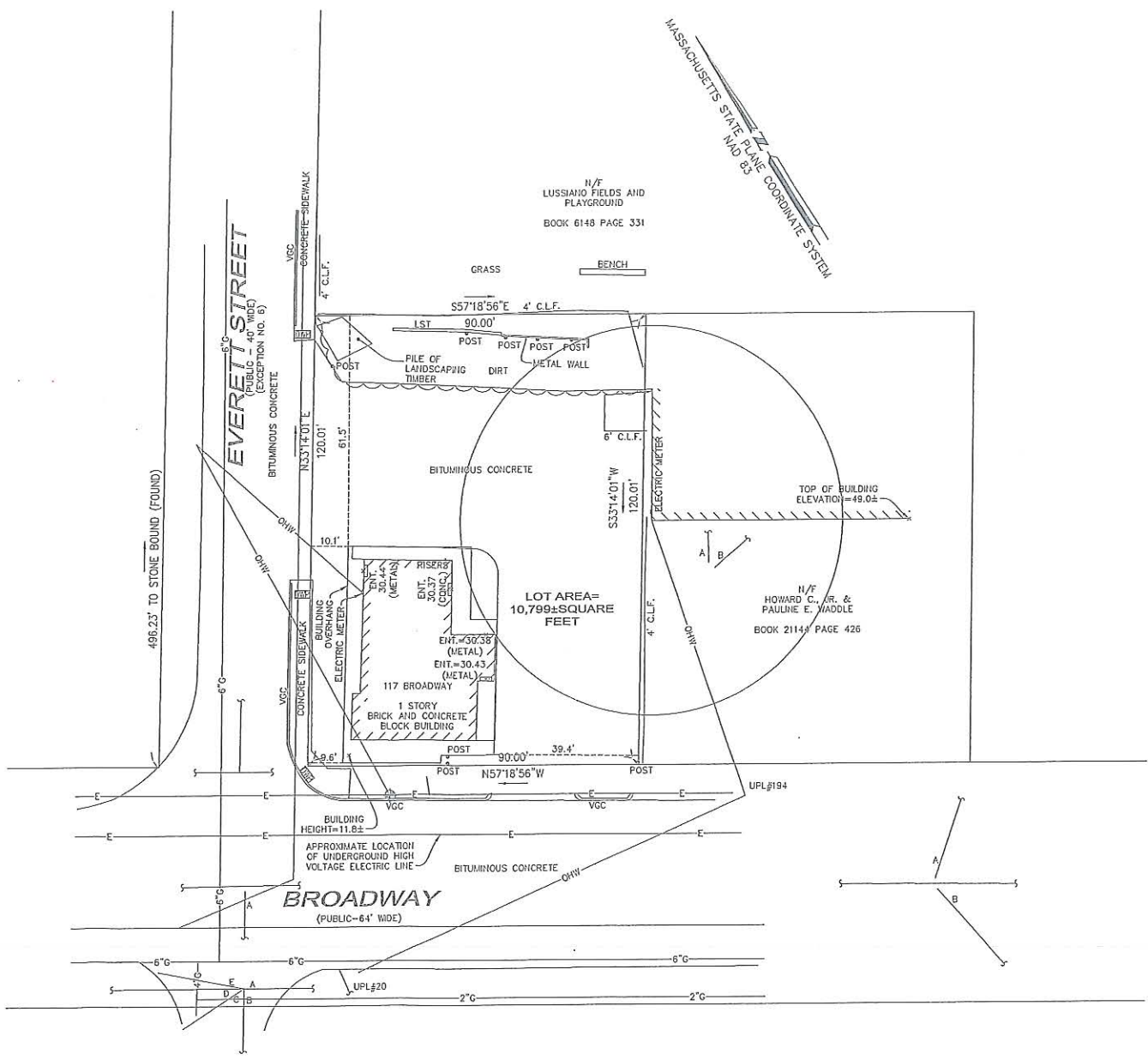
1. DEFECTS, LIENS, ENCUMBRANCES, ADVERSE CLAIMS OR OTHER MATTERS, IF ANY, CREATED FIRST APPEARING IN THE PUBLIC RECORDS OR ATTACHING SUBSEQUENT TO THE EFFECTIVE DATE HEREOF, BUT PRIOR TO THE DATE OF THE PROPOSED INSURED ACQUIRES FOR VALUE OF RECORD THE ESTATE OR INTEREST OR MORTGAGE THEREON COVERED BY THIS COMMITMENT.
2. RIGHTS OR CLAIMS OF PARTIES IN POSSESSION.
3. THE FOLLOWING MATTERS SHOWN ON PLAN OF SURVEY ENTITLED "TOPOGRAPHIC PLAN OF LAND 117 BROADWAY ARLINGTON, MASSACHUSETTS" PREPARED FOR HOUSING CORPORATION OF ARLINGTON DATED FEBRUARY 19, 2014 SCALE 1" = 20' PROJECT 1027 BY NITSCH ENGINEERING:
 - A. OVERHEAD WIRE ON EVERETT STREET CROSSES CORNER OF LAND TO UTILITY POLE ON BROADWAY.
 - B. POSSIBLE ENCROACHMENT OF 6' CHAIN LINK FENCE AND OTHER FENCE OVER BOUNDARY WITH LAND N/F HOWARD C. JR. & PAULINE E. WADDLE.
 - C. ENCROACHMENT OF 4' CHAIN LINK FENCE OVER BOUNDARY LINE WITH N/F LUSSIANO FIELDS AND PLAYGROUND.
4. ANY LIEN, OR RIGHT TO A LIEN, FOR SERVICES, LABOR OR MATERIALS HERETOFORE OR HEREAFTER FURNISHED, IMPOSED BY LAW AND NOT SHOWN BY THE PUBLIC RECORDS. (NOT A SURVEY MATTER)
5. SUCH MATTERS AS WOULD BE DISCLOSED BY A CURRENT CERTIFICATE OF MUNICIPAL LIENS. (NOT A SURVEY MATTER)
6. TAKING BY THE TOWN OF ARLINGTON FOR THE LAYOUT OF EVERETT STREET, RECORDED AT BOOK 10509 PAGE 483. (EVERETT STREET AS SHOWN ON THE SURVEY).
7. ORDER FOR SIDEWALK CONSTRUCTION BY THE TOWN OF ARLINGTON, RECORDED AT BOOK 13305 PAGE 17. (NOT PLOTTABLE)

TO: HOUSING CORPORATION OF ARLINGTON, A MASSACHUSETTS NONPROFIT CORPORATION, FIDELITY NATIONAL TITLE INSURANCE COMPANY AND TOGETHER WITH THEIR SUCCESSORS AND/OR ASSIGNS; AND LEADER BANK, N.A.

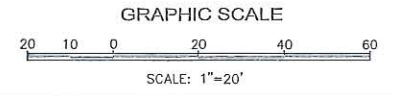
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6, 7(b)(1), 8, 9, 11(a), 13, 14, AND 16-19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 2/19/2014.

UTILITY INFORMATION STATEMENT

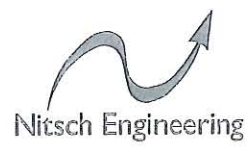
1. THE SUB-SURFACE UTILITY INFORMATION SHOWN HEREON IS COMPILED BASED ON FIELD SURVEY INFORMATION, RECORD INFORMATION AS SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES, AND PLAN INFORMATION SUPPLIED BY THE CLIENT, IF ANY; THEREFORE WE CANNOT GUARANTEE THE ACCURACY OF SAID COMPILED SUB-SURFACE INFORMATION TO ANY CERTAIN DEGREE OF STATED TOLERANCE. ONLY PHYSICALLY LOCATED SUB-SURFACE UTILITY FEATURES FALL WITHIN NORMAL STANDARD OF CARE ACCURACIES.
2. THE LOCATIONS OF UNDERGROUND PIPES, CONDUITS, AND STRUCTURES HAVE BEEN DETERMINED FROM SAID INFORMATION, AND ARE APPROXIMATE ONLY. COMPILED LOCATIONS OF ANY UNDERGROUND STRUCTURES, NOT VISIBLY OBSERVED AND LOCATED, CAN VARY FROM THEIR ACTUAL LOCATIONS.
3. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED.
4. THE STATUS OF UTILITIES, WHETHER ACTIVE, ABANDONED, OR REMOVED, IS AN UNKNOWN FACT AS FAR AS OUR COMPILATION OF THIS INFORMATION.
5. IT IS INCUMBENT UPON INDIVIDUALS USING THIS INFORMATION TO UNDERSTAND THAT COMPILING UTILITY INFORMATION IS NOT EXACT, AND IS SUBJECT TO CHANGE BASED UPON VARYING PLAN INFORMATION RECEIVED AND ACTUAL LOCATIONS.
6. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES IS SUBJECT TO FIELD CONDITIONS, THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS AND OTHER MATTERS.
7. THE PROPER UTILITY ENGINEERING/COMPANY SHOULD BE CONSULTED AND THE ACTUAL LOCATIONS OF SUBSURFACE STRUCTURES SHOULD BE VERIFIED IN THE FIELD (V.I.F.) BEFORE PLANNING FUTURE CONNECTIONS. CONTACT THE DIG SAFE CALL CENTER AT 1-888-344-7233, SEVENTY-TWO HOURS PRIOR TO EXCAVATION, BLASTING, GRADING, AND/OR PAVING.



FIDELITY NATIONAL TITLE INSURANCE COMPANY
COMMITMENT FILE NO. 14-0011 TN-FN
EFFECTIVE DATE: FEBRUARY 13, 2014



PAUL R. LEBARON, P.L.S. DATE



www.nitscheng.com
2 Center Plaza, Suite 430
Boston, MA 02108
T: (617) 338-0063
F: (617) 338-6472

- ▾ Civil Engineering
- ▾ Land Surveying
- ▾ Transportation Engineering
- ▾ Sustainable Site Consulting
- ▾ Planning
- ▾ GIS

PROJECT #	10127	
FILE:	10127_TOPO_Broadway_020415.dwg	
SCALE:	1"=20'	
DATE:	2/19/2014	
PROJECT MANAGER:	PRL	
FIELD BOOK:		
DRAFTED BY:	TAL	
CHECKED BY:	PRL	
REV.	COMMENTS	DATE
	REVISIONS	

ALTA/ACSM LAND TITLE SURVEY
117 BROADWAY
ARLINGTON, MASSACHUSETTS
PREPARED FOR:
HOUSING CORPORATION OF ARLINGTON
20 ACADEMY STREET, ARLINGTON, MASSACHUSETTS 02476

SHEET:
EX-1
OF REV.

NOTES

DO NOT SCALE DRAWINGS.
GENERAL NOTES
 THESE NOTES APPLY TO EVERYTHING IN THE DRAWINGS TO THE LEFT.
NUMBERED NOTES
 1. THESE NOTES APPLY TO SPECIFIC ELEMENTS IN THE DRAWINGS TO THE LEFT.

UNIT MIX	
NUMBER	Count
Level 2	
1 BED	1
2 BED	3
3 BED	1
Level 3	
1 BED	1
2 BED	3
3 BED	1
Level 4	
2 BED	4
Total Units	14

KEY:

No.	REVISIONS/SUBMISSIONS	Date



DAVIS SQUARE ARCHITECTS
 240A Elm St.,
 Somerville, MA 02144
 617.628.5700
 www.davisquarearchitects.com

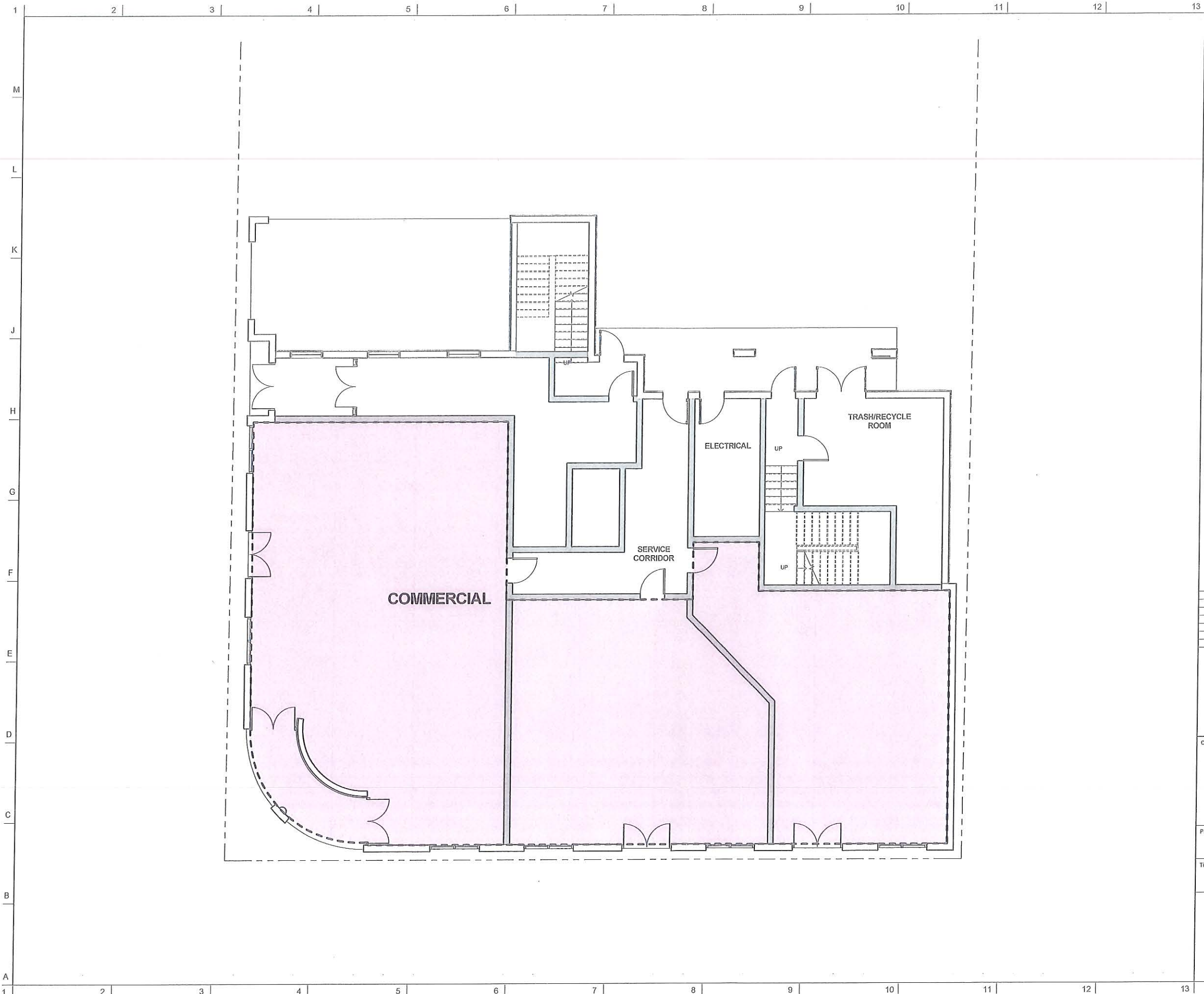
Consultant

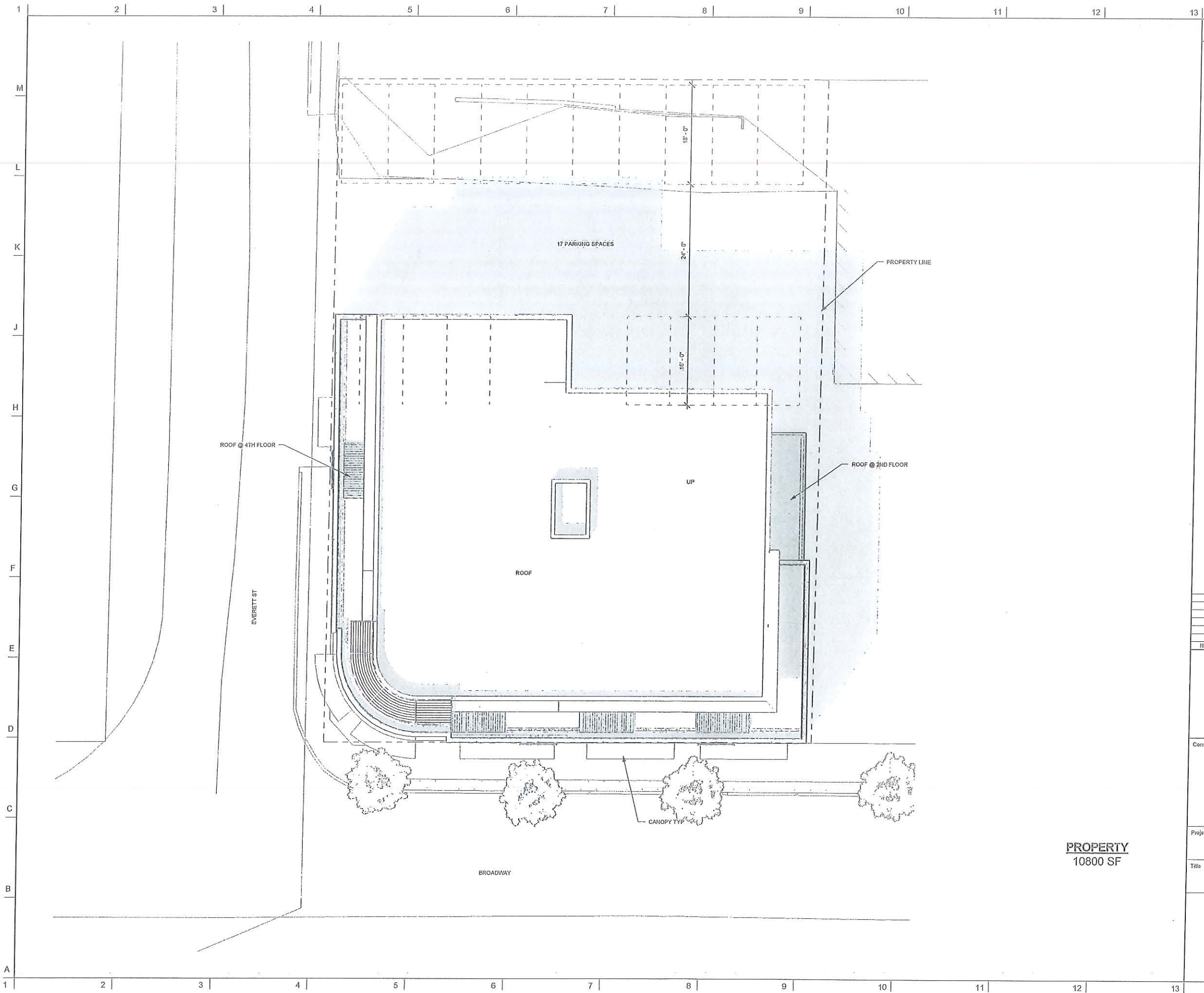
Project
**117 BROADWAY
 ARLINGTON, MA**

Title
FIRST FLOOR PLAN

Designed
 Checked
 File No.
 Scale
 As Indicated
 Date
 10.12.2016

A101





NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date


DAVIS SQUARE ARCHITECTS
 240A Elm St,
 Somerville, MA 02144
 617.628.5700
www.davissquarearchitects.com

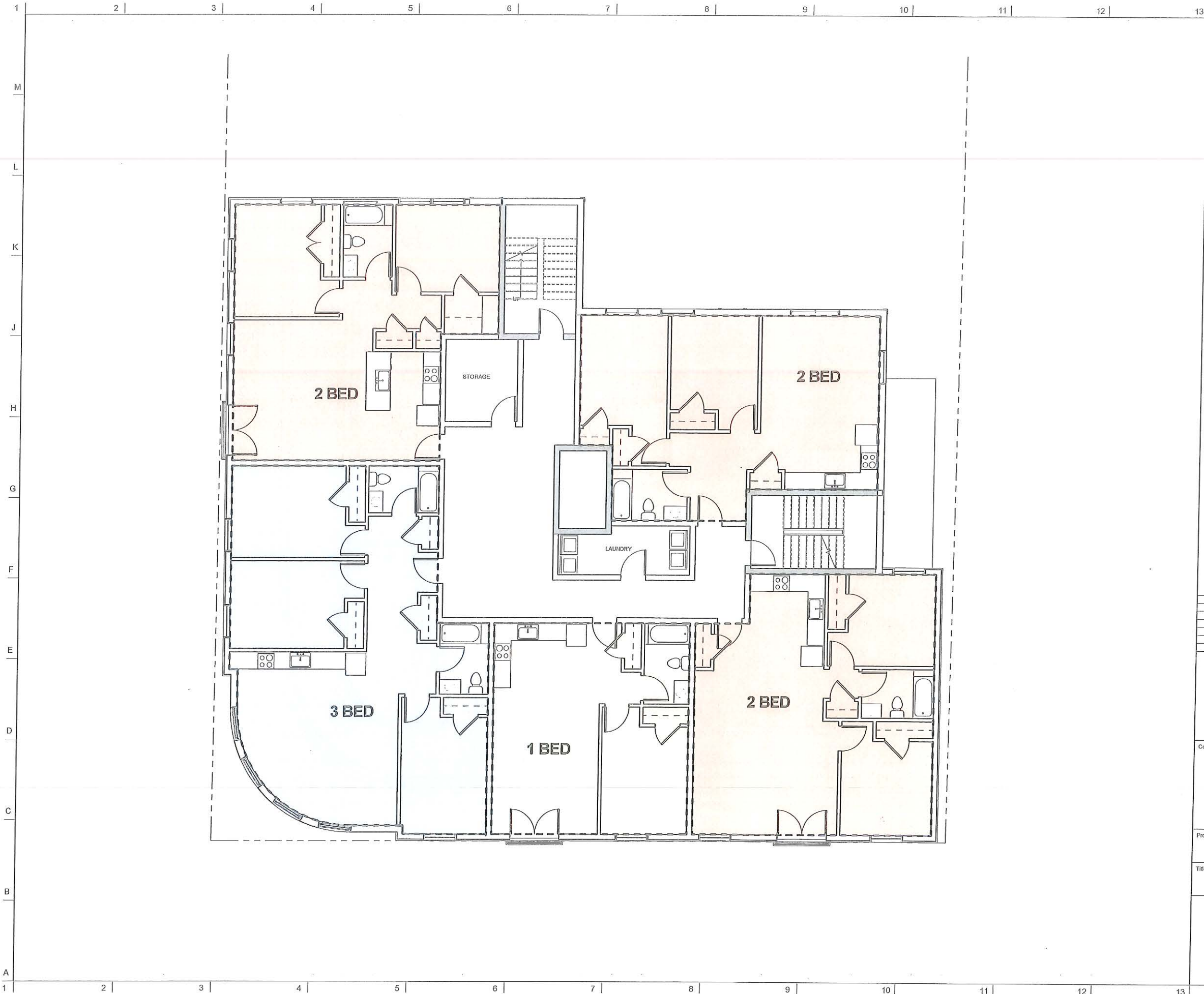
Consultant

Project **117 BROADWAY**
ARLINGTON, MA

Title **SITE PLAN**

Designed	
Checked	
Plot No.	
Scale	2,000.00
1/8" = 1'-0"	
Date	10.12.2016

A100

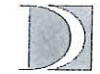


NOTES

DO NOT SCALE DRAWINGS.

UNIT MIX	
NUMBER	Count
Level 2	
1 BED	1
2 BED	3
3 BED	1
Level 3	
1 BED	1
2 BED	3
3 BED	1
Level 4	
2 BED	4
Total Units	14

No.	REVISIONS/SUBMISSIONS	Date



**DAVIS
SQUARE
ARCHITECTS**
240A Elm St,
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Consultant

Project
**117 BROADWAY
ARLINGTON, MA**

Title
SECOND FLOOR PLAN

Designed	
Checked	
Plot No.	
Scale	3/16" = 1'-0"
Date	10.12.2016

A102



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date


DAVIS SQUARE ARCHITECTS
 240A Elm St.
 Somerville, MA 02144
 617.628.5700
www.davissquarearchitects.com

Consultant

Project **117 BROADWAY
ARLINGTON, MA**

Title **SOUTH ELEVATION**

Designed	TL 10/12/16
Checked	
Proj. No.	24-300.00
Scale	1/4" = 1'-0"
Date	10.12.2016

A201



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date


**DAVIS
SQUARE
ARCHITECTS**

240A Elm St,
 Somerville, MA 02144
 617.628.5700
 www.davissquarearchitects.com

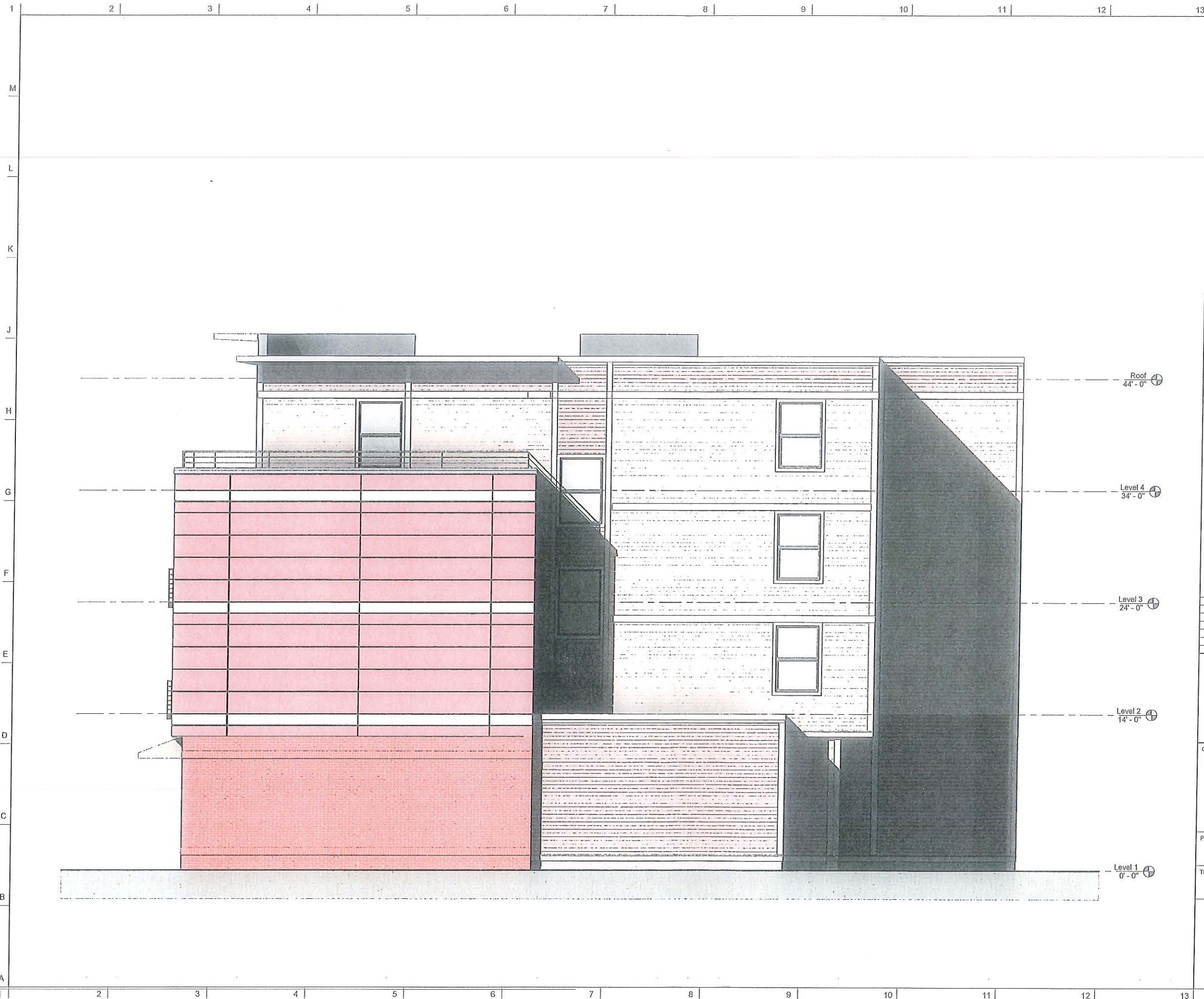
Consultant

Project **117 BROADWAY
ARLINGTON, MA**

Title **WEST ELEVATION**

Designed	
Checked	
AW, 01	
File # / Rev.	
Scale	1/4" = 1'-0"
Date	10.12.2016

A202



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



**DAVIS
SQUARE
ARCHITECTS**
240A Elm St.
Somerville, MA 02144
617.628.5700
www.davisquarearchitects.com

Consultant

Project
**117 BROADWAY
ARLINGTON, MA**

Title
EAST ELEVATION

Designed	
Checked	
Alt. No.	
Proj. No.	2,300.00
Scale	1/4" = 1'-0"
Date	10.12.2016

A203



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



**DAVIS
SQUARE
ARCHITECTS**
240A Elm St.
Somerville, MA 02144
617.628.5700
www.davisquarearchitects.com

Consultant

Project
117 BROADWAY
ARLINGTON, MA
Title
NORTH ELEVATION

Designed	FLM/ML
Checked	MLM/ML
File No.	24-700.00
Scale	1/4" = 1'-0"
Date	10.12.2016

A204



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



**DAVIS
SQUARE
ARCHITECTS**

240A Elm St.
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Consultant

Project
**117 BROADWAY
ARLINGTON, MA**

Title
PERSPECTIVE VIEW

Designed	
Checked	
Plot. No.	
Scale	2,700.00
Date	10.12.2016

A210



NOTES

DO NOT SCALE DRAWINGS.

No.	REVISIONS/SUBMISSIONS	Date



**DAVIS
SQUARE
ARCHITECTS**

240A Elm St,
Somerville, MA 02144
617.628.5700
www.davissquarearchitects.com

Consultant

Project
**117 BROADWAY
ARLINGTON, MA**

Title
PERSPECTIVE VIEW.

Designed	
Checked	
Proj. No.	
Scale	2x, 300.00
Date	10.12.2016

A211