



# Arlington Historic District Commissions

## Application for Certificate

(Read attached instructions  
before completing form)

For Commission Use Only: Date Rec: _____ Hearing Date: _____ Certificate #: _____ Monitor: _____
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### Certificate Requested:

**Appropriateness** – for work described herein  
Minor project    Major Project    Demolition

### Non-Applicability

 – for the following reason(s):

- Not subject to public view
- Maintenance, repair, or replacement using same design and materials
- Proposed change specifically excluded from review under Bylaw
- Other: \_\_\_\_\_

**Hardship** – financial or otherwise and does not conflict substantially with the intent and purposes of the Bylaw

### General Information:

Property Address 137-139 Pleasant St District Pleasant  
Owner(s) Hope Brosnan & Ari Weiland Email math1man@gmail.com  
Owner's Phone (h) 224-619-5098 (w) \_\_\_\_\_ (fax) \_\_\_\_\_  
Owner's Address 139 Pleasant St, Arlington, MA 02476  
Applicant (if not Owner) \_\_\_\_\_  
Applicant's Phone (h) \_\_\_\_\_ (w) \_\_\_\_\_ (fax) \_\_\_\_\_  
Applicant's Address \_\_\_\_\_  
Applicant's Relationship to Owner \_\_\_\_\_  
Contractor Premier Services Company Phone 781-760-9665  
Architect Vina Design Inc Phone 774-239-3657

**Dates of Anticipated Work:** Start ASAP Completion \_\_\_\_\_

**Description of Proposed Work:** (attach additional pages as necessary) Please include a description of how the proposed work (if a change or addition) is historically and architecturally compatible with the building and the District as a whole.

There are a few separate items. Add a new dormer to accommodate a taller ceiling above the 2-3 floor stairwell, which currently has a lowest-point height of 5' 2". Expand the existing back deck out over the garage, replacing the garage's existing roof. Lastly, our architect informed us that the third story bedroom windows do not meet fire codes for egress windows, so we need to modify them to maintain the rooms as legal bedrooms.

### Required Documentation Acknowledgement:

 (see attached instructions)

× I acknowledge that I am required to provide supporting documentation, including the attached "Supporting Documents Checklist", by the deadlines indicated in the instructions. I understand that if such documents are not provided in a timely manner, this application will be considered to be incomplete and Commission action may be delayed.

**I have read the attached instructions and, to the best of my knowledge, the information contained in this application is accurate and complete. I also give permission for members of the AHDC to access the property for the purpose of reviewing this application and work done under any certificate issued to me.**

Owners Signature(s): Ari Weiland Date: 4/27/2021

## Application Information and Instructions

**REVIEW DESIGN GUIDELINES AND CONTACT THE COMMISSION BEFORE YOU BEGIN ANY EXTERIOR WORK WITHIN AN HISTORIC DISTRICT:** Property owners in an Historic District are required to obtain a certificate from the Commission prior to starting any exterior work on buildings or structures. Applicants are encouraged to review the Commission's Design Guidelines (available at the Commission website) prior to filing an application. Once an application is received, a formal public hearing will be scheduled to consider the application, public notice will be published, and abutters and interested parties will be notified. Please note that, by Town Bylaw, the building department cannot issue a building permit for exterior work or demolition without the necessary certificate from this Commission. Anyone contemplating exterior work should contact the Commission's Executive Secretary. Property owners are encouraged to present preliminary plans to individual Commissioners or at informal Commission hearings to better understand Commission requirements.

### Types of Certificates:

**Certificate of Appropriateness** – Required for exterior alterations and new construction that are subject to public view unless specifically exempted by the Bylaw.

**Minor Projects:** doors, windows, skylights, lighting fixtures, walls, fences, HVAC and electrical equipment, gutters, and other small additions or modifications.

**Major Projects:** new structures, additions, projections, solar panels, and significant modifications to exterior elevations or roofs.

**Demolition Projects:** removal of any existing structure or portion thereof in a Historic District.

**Certificate of Non-Applicability** – Issued for matters that are specifically excluded from AHDC review.

**Certificate of Hardship** – Issued when the denial of a Certificate would constitute a hardship, financial or otherwise, on the property owner and if the proposed work does not conflict substantially with the intent and purposes of the Bylaw. Approval of a Certificate of Hardship requires detailed documentation of specific hardship to an individual property owner.

**Required Documentation:** At a minimum, an application for a Certificate of Appropriateness or Hardship requires the documentation specifically listed on the attached "Supporting Documentation Checklist". A Certificate of Non-Applicability requires documentation of existing conditions and proposed changes. The Commission requires one set of the documentation (preferably electronic) by the deadlines described below and seven printed sets at the hearing (3 printed sets for minor projects). A copy of the signed checklist, with the appropriate boxes checked off, must be submitted with the documentation. An application will be deemed incomplete until the required documentation has been received and reviewed by the Commission. In an emergency, required documentation can be presented at the formal hearing, however, this may delay action on the application. Based on the complexity or unique nature of a particular project, the Commission may, as allowed by law, require additional information. Failure to provide sufficient documentation could delay approval or be cause for a negative determination.

**Application Deadlines:** The Commission typically meets on the fourth Thursday of each month (third Thursday in November and December) at the Whittemore-Robbins House, 670R Massachusetts Avenue (behind the Robbins Library). To allow for the publishing of legally required notices prior to individual hearings, Applications must be received approximately four weeks prior to the Commission hearing date. Specific deadlines for each hearing can be obtained from the Commission's Executive Secretary. All required documentation must be provided to the Commission for its review by the following deadlines:

**Minor Projects: 7 calendar days prior to scheduled hearing**

**Major Projects or Demolition: 14 calendar days prior to scheduled hearing**

In most cases, failure to meet these deadlines will delay scheduling of a formal hearing until the following month.

Upon approval of an application at a formal hearing, a certificate will be issued approximately one week from the date of the hearing and a copy will be sent to the Building Inspector to allow issuance of a permit.

**Contact Information:** Additional information is available at: [arlingtonhistoricdistrict.com](http://arlingtonhistoricdistrict.com). Inquiries, applications, and supporting documentation should be directed to Carol Greeley, Executive Secretary, [ahdc@town.arlington.ma.us](mailto:ahdc@town.arlington.ma.us), (781) 316-3265, or c/o Dept of Planning and Community Development, Town Hall Annex - First Floor, 730 Massachusetts Ave., Arlington, MA 02476. Any additional questions can be addressed to the Commission's Chair Stephen Makowka at [ahdcchair@town.arlington.ma.us](mailto:ahdcchair@town.arlington.ma.us).

# ARLINGTON HISTORIC DISTRICT APPLICATION

## Supporting Documentation Checklist

Property Address 137-139 Pleasant St District Pleasant  
 Applicant's Name Ari Weiland Email math1man@gmail.com  
 Applicant's Phone (Day) 224-619-5098 (Mobile) 224-619-5098

**For Minor Projects or Certificate of Non-Applicability**

**Drawings (11x17 max., with graphic scale, dimensioned, all materials identified) or marked up Photographs (8x10)**

Existing conditions of historic façade(s) to be modified; Show location of proposed work; Show proposed feature(s); Elevations showing proposed work and context; Drawing showing location of proposed work; Drawing showing the proposed feature(s); Site plan for site located equipment and features

**Manufacturer's literature and specifications sheets describing the proposed feature(s)**

**Description of how the proposed work is either compatible with the District or Non-Applicable**

**For Major Projects**

**Photographs (8x10)**

Existing conditions of historic structure to be modified (facades, roofs, neighboring buildings); Site; Neighborhood context; Historic precedents for proposed work

**Drawings (11x17 max., with graphic scale, must show differentiated existing and proposed conditions, dimensions, and all materials identified)**

*Plans*

Site (showing proposed structures, fences, walls, parking, HVAC equipment, electrical equipment, and relationship to adjacent roads, neighboring buildings); Each floor; Roof (showing valleys, hips, ridges, dormers, skylights, chimneys, vents, HVAC equipment, solar panels)

*Elevations of building facades- identify:*

Foundation; Siding ; Trim; Gutters; Downspouts; Shutters; Railings; Stairs; Windows; Doors; Roof materials; Roof pitch; Chimneys and vents; Masonry; Light fixtures; Solar panels; HVAC equipment; Electrical equipment; Fences; Signage

*Wall sections (especially showing projecting features such as bays, balconies, porches, additions)*

*Relevant exterior detail drawings (architectural trim, eaves, doors, windows, caps, columns, vents, rail systems)*

*Profile drawings (window and door elements, railings, balusters, stairs, shutters, roof trim, corner boards, casings, water tables, skirts, frieze boards, and all other trim)*

*For projections, additions and new construction also include:*

Neighborhood lot plan- include footprint to lot area ratio as well as that of neighboring lots; Plot plan- existing building(s), setbacks, proposed new structures; Site section (show relationship to site topography, adjacent structures, major landscape features, roads)

**Manufacturers' literature and specification sheets describing the proposed components**

**Suggested Supporting Submittals: Model; Physical Samples**

**Description of how the proposed work is compatible with the District.**

**For Demolition**

**Statement of current state of existing structure and reason for demolition**

**Statement of the historic significance of the structure**

**Site Documentation (including Plot plan; Photographs of existing conditions; List existing materials; Year built; Original architect)**

**Other provided documentation not described above (please list on a separate attached sheet).**

Applicants Signature(s): \_\_\_\_\_ Date: \_\_\_\_\_

# Project: (Interior Renovation)

## Single Family Home 137 Pleasant Street Arlington, Massachusetts

List Of Drawings:

- T-1 Title Sheet
- D-1 Demolition plans, and notes
- D-1.1 Demolition plan, section and notes
- D-1.2 Building sections and notes
- A-1 Proposed plans, and notes
- A-1.1 Proposed plans, and notes
- A-3 Building sections, and notes

- S-1 Foundation plan and detail
- S-2 Framing plans and notes

Construction Notes:

- 1- All work shall conform to the Massachusetts State Building Codes, the latest edition. In case of conflict, local regulations and ordinance shall govern
- 2- Contractor shall verify all dimensions in field. If discrepancy occurs, notify the Engineer or Architect immediately. All work in the affected area shall not be continued until uncertainty are clarified
- 3- Concrete footings shall be properly cured, so that concrete strength can be fully developed
- 4- All exposed wood members shall be pressured treated

2015 IRC Code Review

- R310 Emergency Escape and Rescue Opening:
- R310 Provide two means of egress per dwelling: (Comply)
- R310.2.1 H=28" > 24"  
W=30" > 20"
- R310.2.2 S=24" < 44"
- R314 Smoke Alarms:
- R315.3 Carbon monoxide alarms in dwelling units shall be installed outside of each separate sleeping area in the immediate of the bedroom (Comply)
- R315.4 Combination carbon monoxide and smoke alarms shall be permitted to be used in lieu of carbon monoxide alarms (Comply)

Dwelling Unit Floor Area (Square Feet)	Number of Bedrooms				
	0 - 1	2 - 3	4	5 - 7	> 7
<1,500	30	45	60	75	90
1,500 - 3,000	45	60	75	90	105
3,001 - 4,500	60	75	90	105	120
4,501 - 6,000	75	90	105	120	135
6,001 - 7,500	90	105	120	135	150
>7,500	105	120	135	150	165

2015 IRC Code Review

- R311.1 Means of Egress:  
Provide two means of egress per dwelling: (Comply)
- R311.2 Egress Doors:  
Primary egress door shall be minimum clear width of (32") measured between the face of the door and the stop with door open at 90 degrees: (Comply)  
  
Secondary egress door shall be minimum clear width of (28") measured between the face of the door and the stop with door open at 90 degrees: (Comply)
- R311.2.1 Interior Doors:  
All interior doors providing access to habitable rooms shall have a minimum nominal width of 30" and nominal height of 78": (Comply)  
  
Doors providing access to bathrooms are permitted to be 28" nominal width; however, in existing building it's permit to be 24" nominal width: (Comply)
- R311.7.4.1 Stairs:  
Replace the phrase 7'-2" with 8'-2": (Comply)  
Replace the phrase 10" with 9": (Comply)
- R311.7.4.2 Winder treads stairs: (Comply)
- R313.1.1 Automatic Sprinkler: (NOT APPLICABLE)
- R313.2 Automatic Sprinkler:  
One-and-Two family dwelling having an aggregate area greater than 14,400 square feet shall have fire sprinkler installed: (NOT APPLICABLE)
- R314.5 Heat Detector:  
Heater detector installed in garage: (NOT APPLICABLE)
- R315.1 Carbon Monoxide:  
Carbon Monoxide alarm for New Construction and Existing dwellings shall be furnished, installed and maintained by owner: (Comply)
- R315.2 Fire Alarm:  
One alarm shall be installed on each story of a dwelling unit, including basement and cellars: (NOT APPLICABLE)
- R315.3 New Construction: (NOT APPLICABLE)
- R315.4 Existing Dwellings:  
Item #3-In an existing two-family dwellings that more than one bedrooms, the entire building shall be provide with alarms: (NOT APPLICABLE)
- R322.1.11 Basement: (Comply)

PROJECT  
Interior Renovation

137 Pleasant Street  
Arlington, MA



Title Sheet, and Notes

Revisions	Date
Revision-1	.
Revision-2	
Revision-3	

Scale	AS NOTED
Drawn / Check by	JL/ BAN
Date	3/2/21
Job No.	XX

T-1





Existing/ Demolition Plans, and Notes

Revisions	Date
Revision-1	.
Revision-2	
Revision-3	

Scale	AS NOTED
Drawn / Check by	JL/ BAN
Date	3/2/21
Job No.	XX

**D-1**

Sheet 2 of 8

**GENERAL DEMOLITION/ REMOVAL NOTES (TYP)**

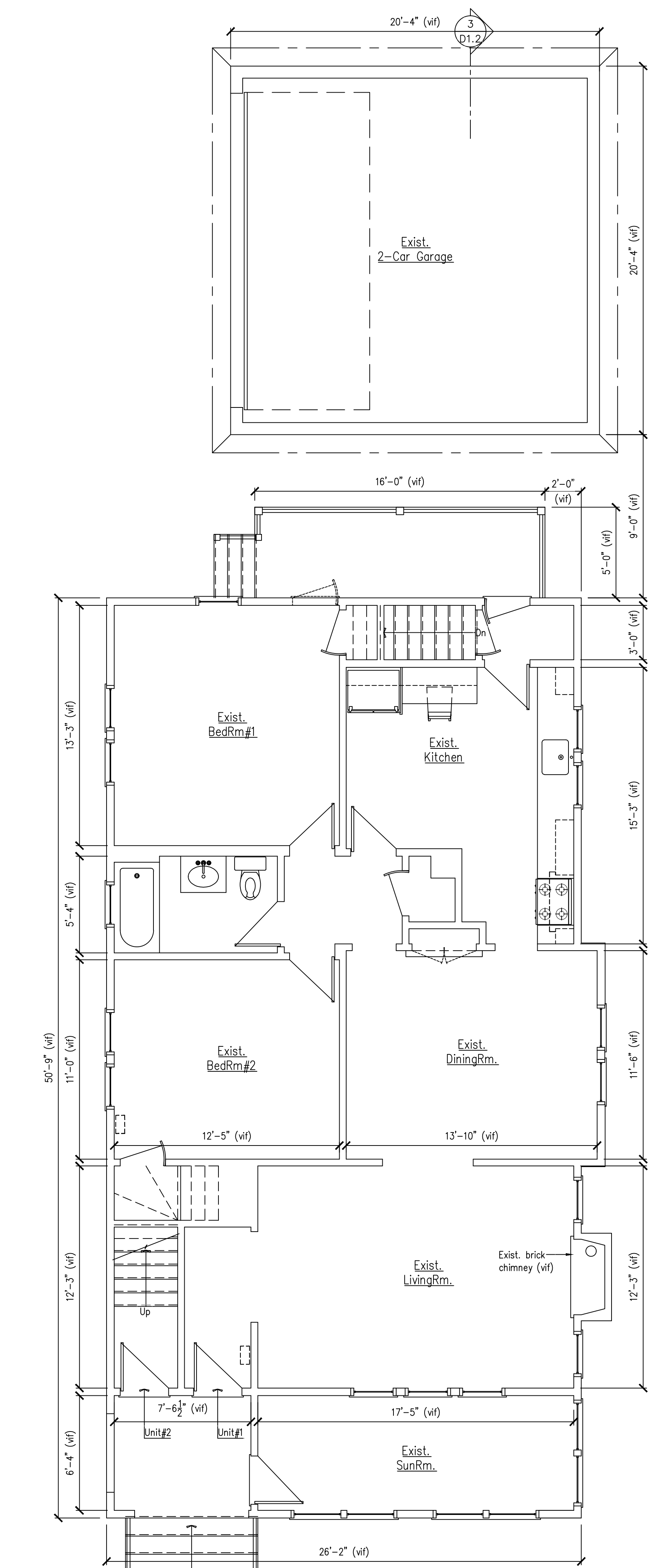
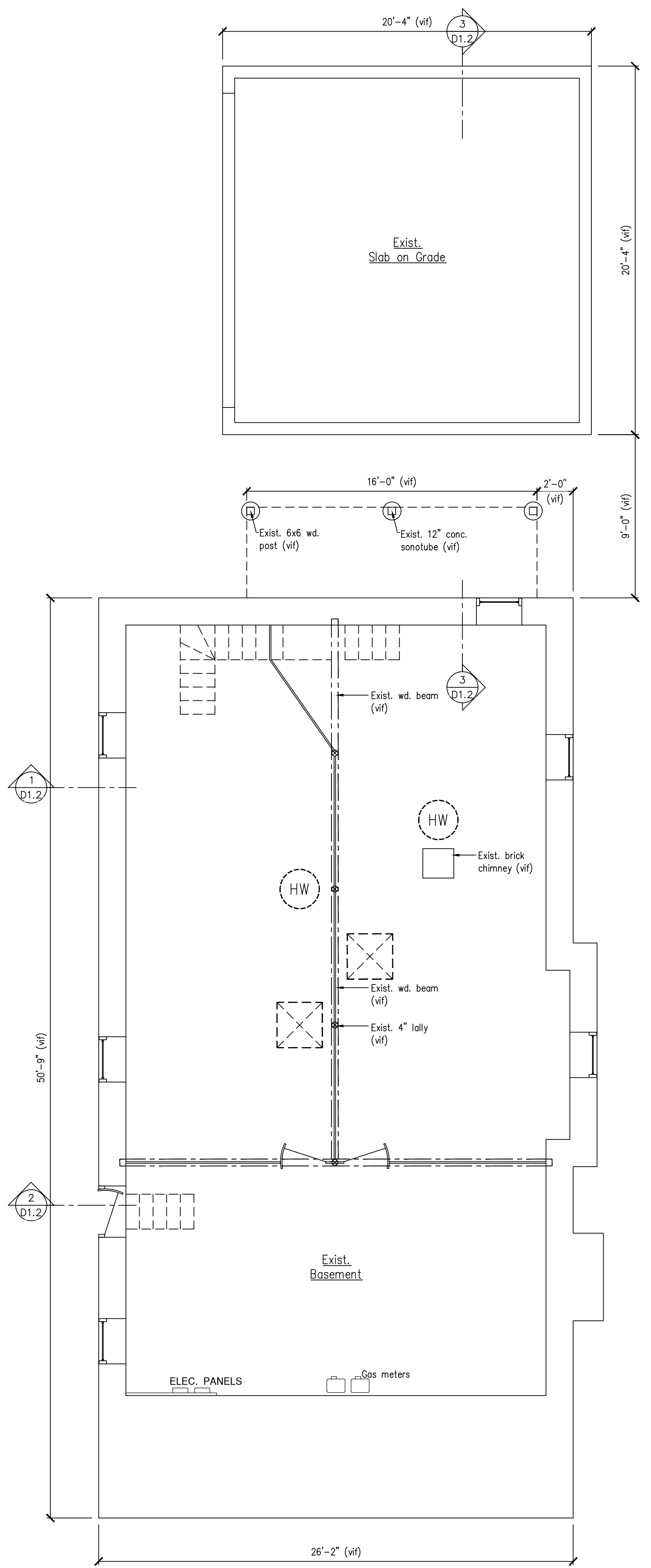
A- Contractor shall provide temporary structural shoring as needed.

B- Contractor shall comply with federal/ state and local codes regarding removal and dispose of hazardous metals.

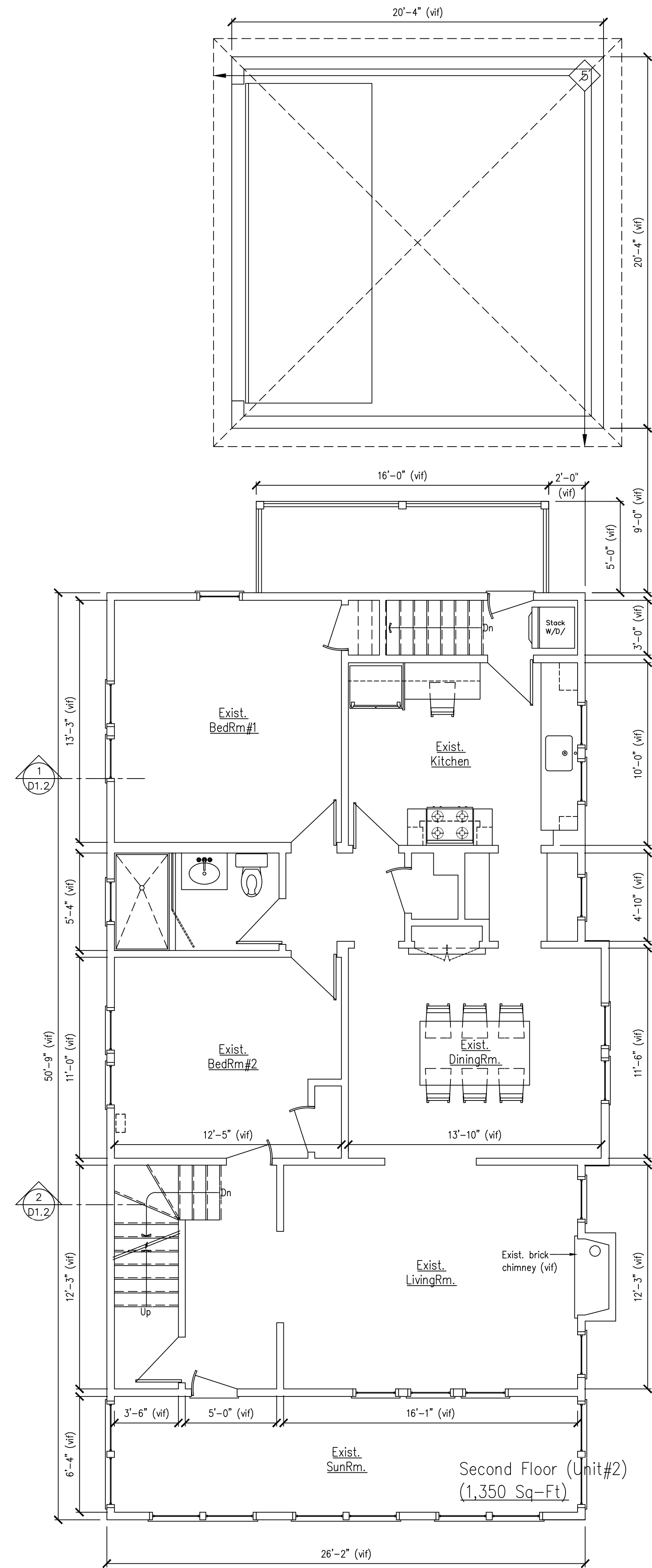
C- Contractor to patch and match where disturb areas

**LEGEND:**

==	Wall/ partition and areas designated for removal and disposal	3	Remove and dispose partitions, provide temporary support as needed.
---	Exist wall/ partition to remain	4	Remove and dispose wd. siding, sheathing, insulation, studs, GWB, and related materials.
◇ 1	Remove and dispose door, frame, hardware and related materials.	5	Remove and dispose entire roof and related materials.
◇ 2	Remove and dispose window, frame, hardware and related materials.	6	Remove and dispose partial roof rafter, insulation and related materials
		7	Remove and dispose plumbing fixtures and related materials.



First Floor (Unit#1) (1,350 Sq-Ft)



TO REMAIN  
 1 Existing Second Floor Plan  
 D-1.1 SCALE: 1/4" = 1'-0"

**GENERAL DEMOLITION / REMOVAL NOTES (TYP)**

A- Contractor shall provide temporary structural shoring as needed.

B- Contractor shall comply with federal / state and local codes regarding removal and dispose of hazardous metals.

C- Contractor to patch and match where disturb areas.

**LEGEND:**

--- Wall / partition and areas designated for removal and disposal

==== Exist wall / partition to remain

1 Remove and dispose door, frame, hardware and related materials.

2 Remove and dispose window, frame, hardware and related materials.

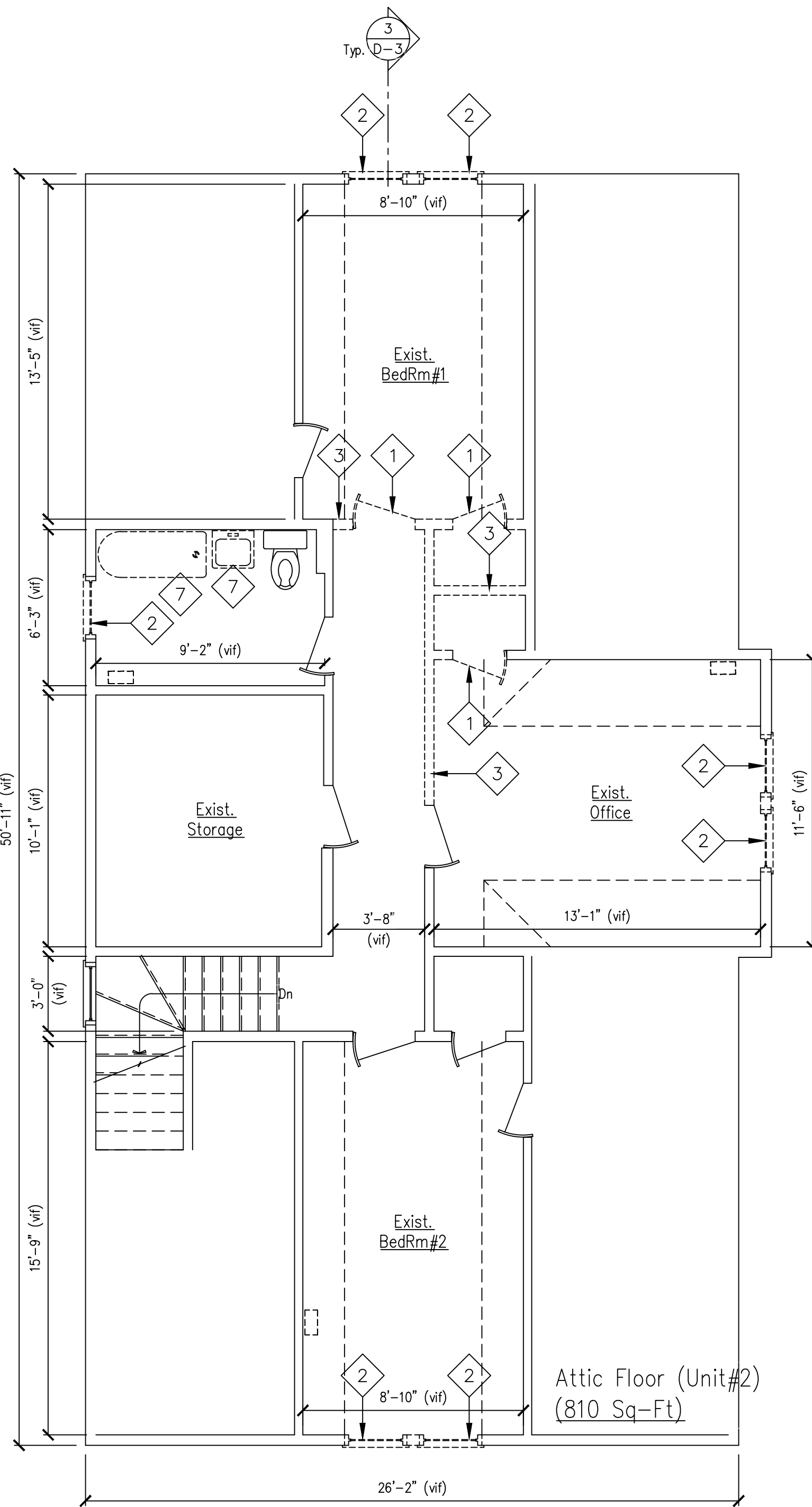
3 Remove and dispose partitions, provide temporary support as needed.

4 Remove and dispose wd. siding, sheathing, insulation, studs, GWB, and related materials.

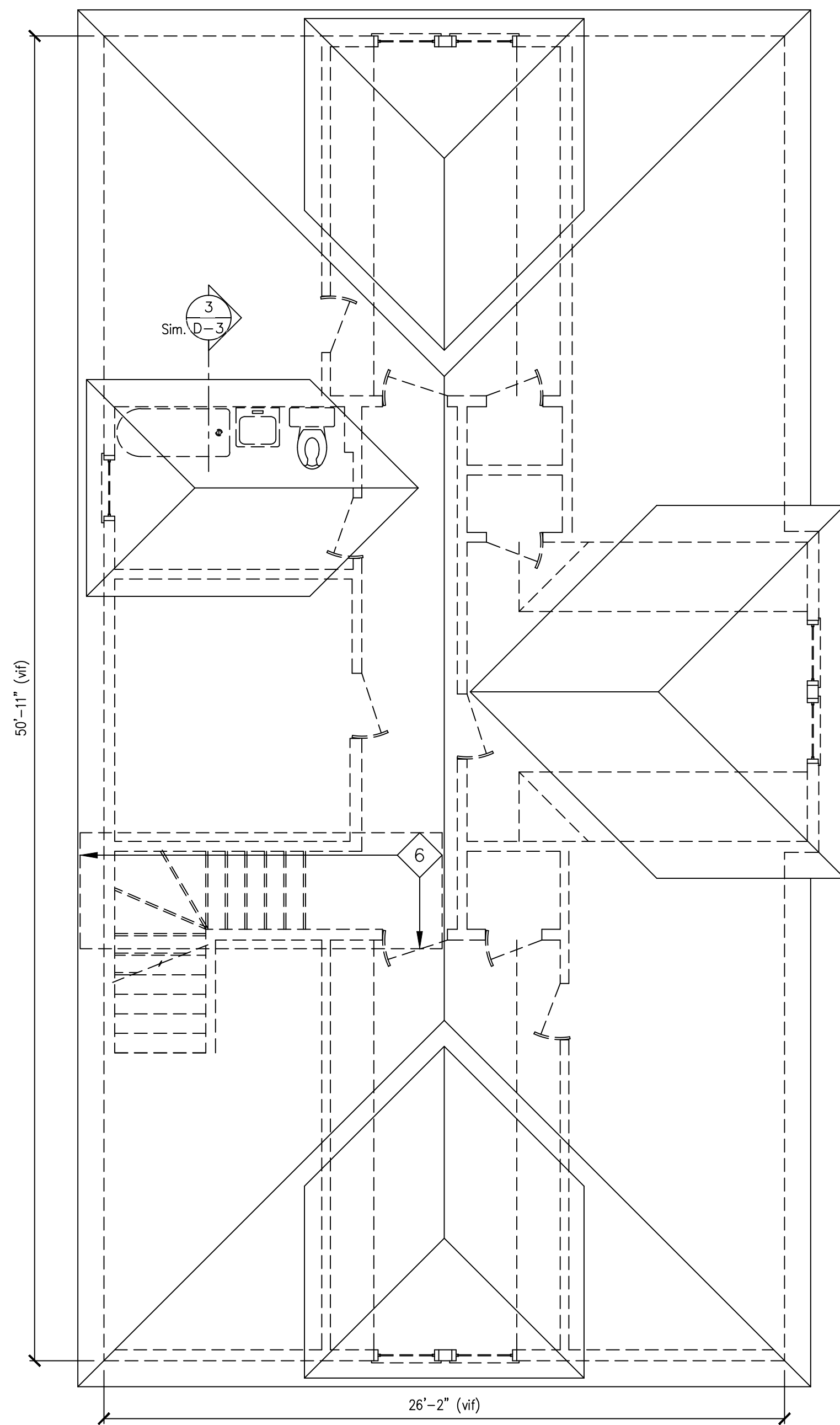
5 Remove and dispose entire roof and related materials.

6 Remove and dispose partial roof rafter, insulation and related materials.

7 Remove and dispose plumbing fixtures and related materials.



TO MODIFY  
 2 Existing Attic Floor Plan  
 D-1.1 SCALE: 1/4" = 1'-0"



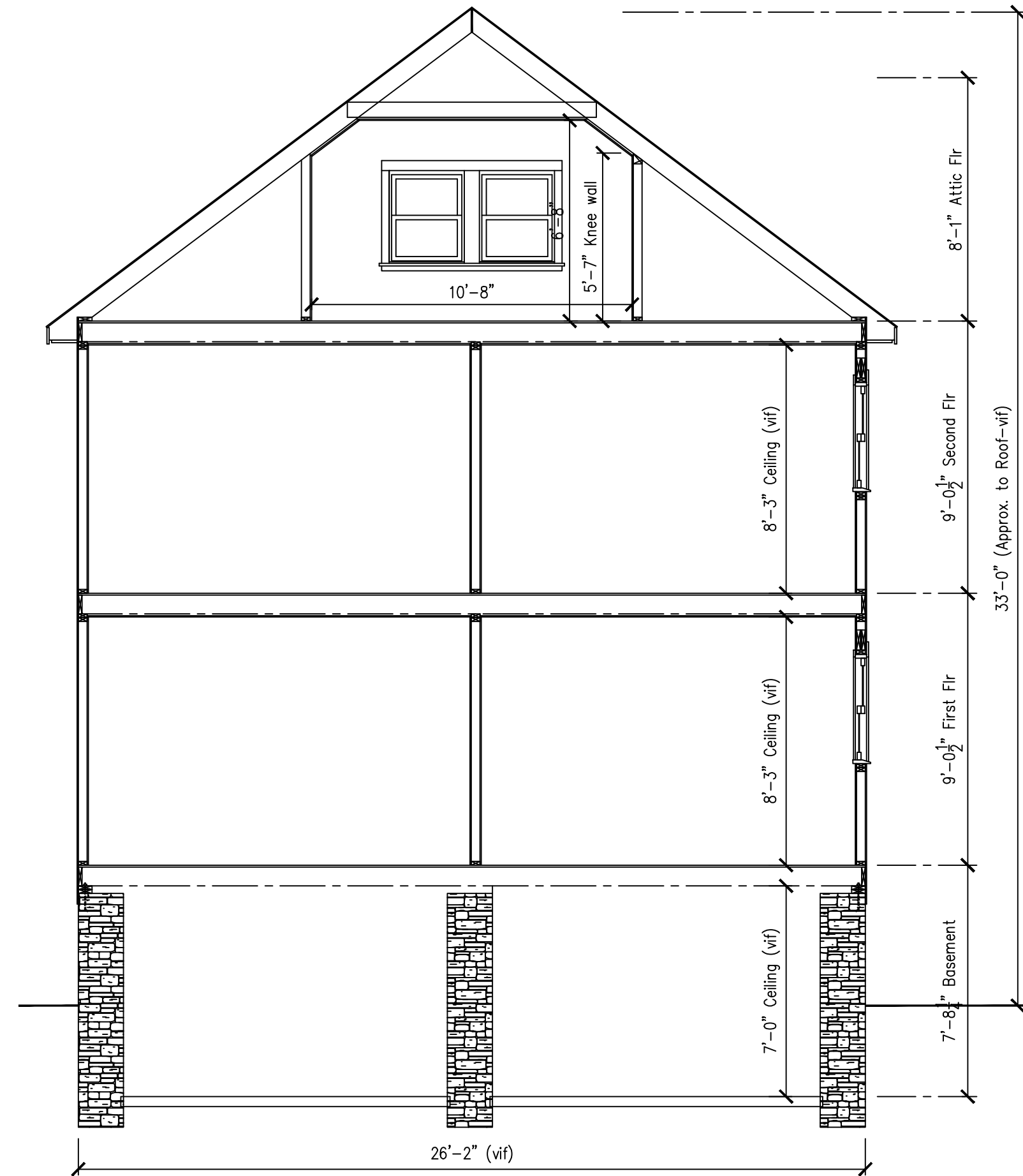
TO REMAIN  
 3 Existing Roof Plan  
 D-1.1 SCALE: 1/4" = 1'-0"



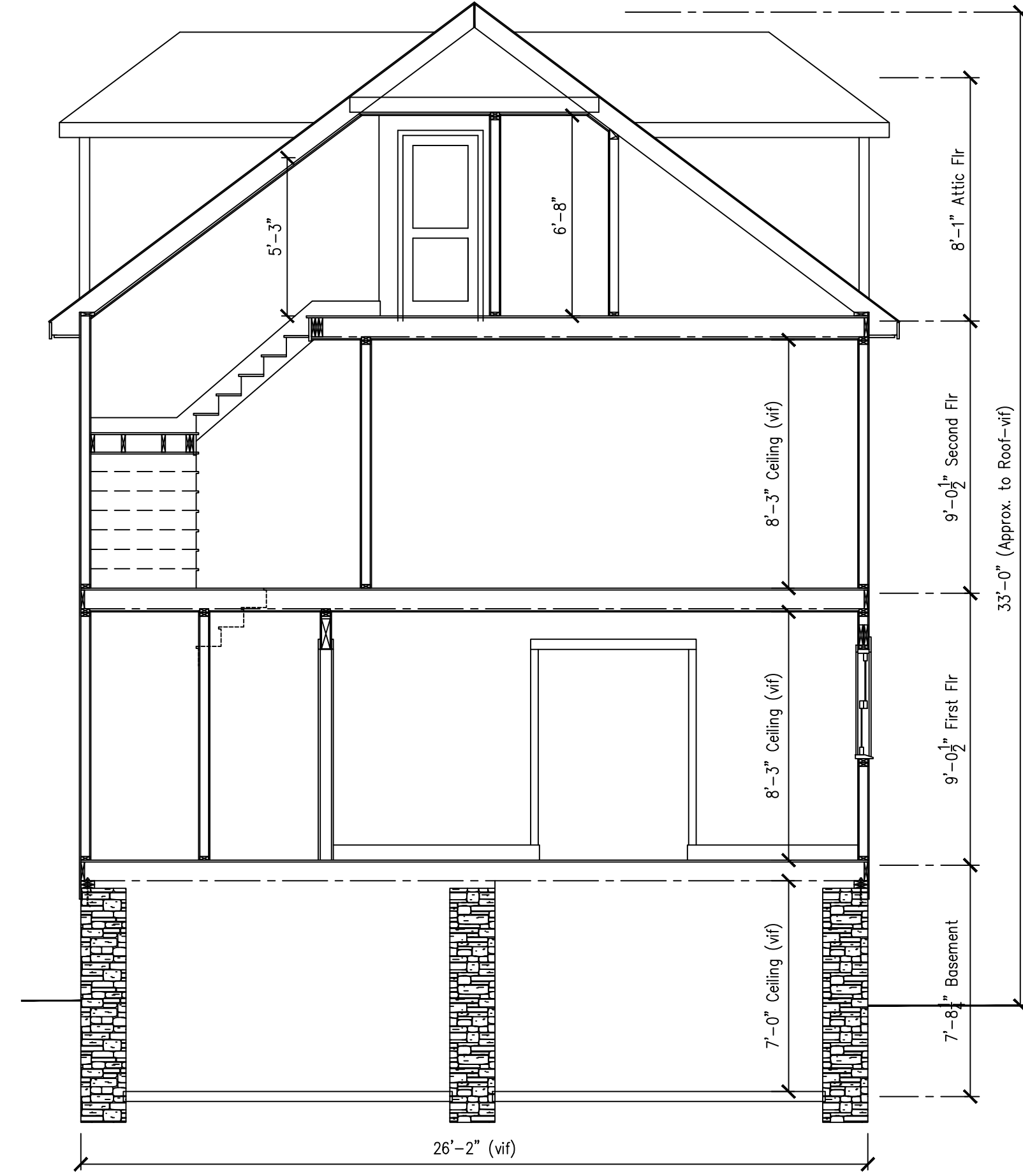
Existing / Demolition Plans, and Notes

Revisions	Date
Revision-1	.
Revision-2	
Revision-3	

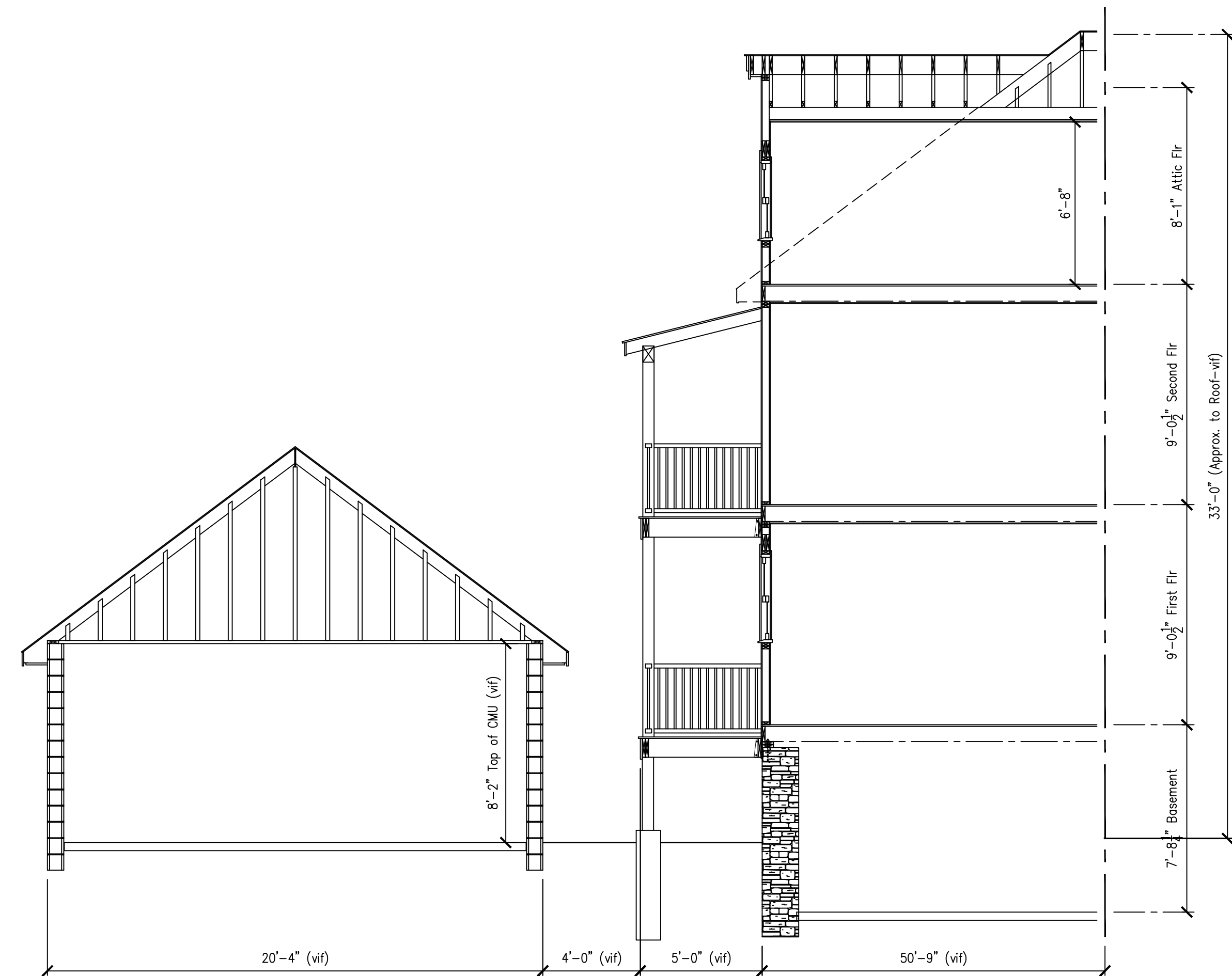
Scale	AS NOTED
Drawn / Check by	JL/ BAN
Date	3/2/21
Job No.	XX



1 Building Cross Section  
D-1 SCALE: 1/4" = 1'-0"



2 Building Cross Section  
D-1 SCALE: 1/4" = 1'-0"



3 Partial Building Longitudinal Section  
D-1 SCALE: 1/4" = 1'-0"

PROJECT  
Interior Renovation

137 Pleasant Street  
Arlington, MA



Existing Building Sections,  
and Notes

Revisions	Date
Revision-1	.
Revision-2	
Revision-3	

Scale	AS NOTED
Drawn / Check by	JL/ BAN
Date	3/2/21
Job No.	XX

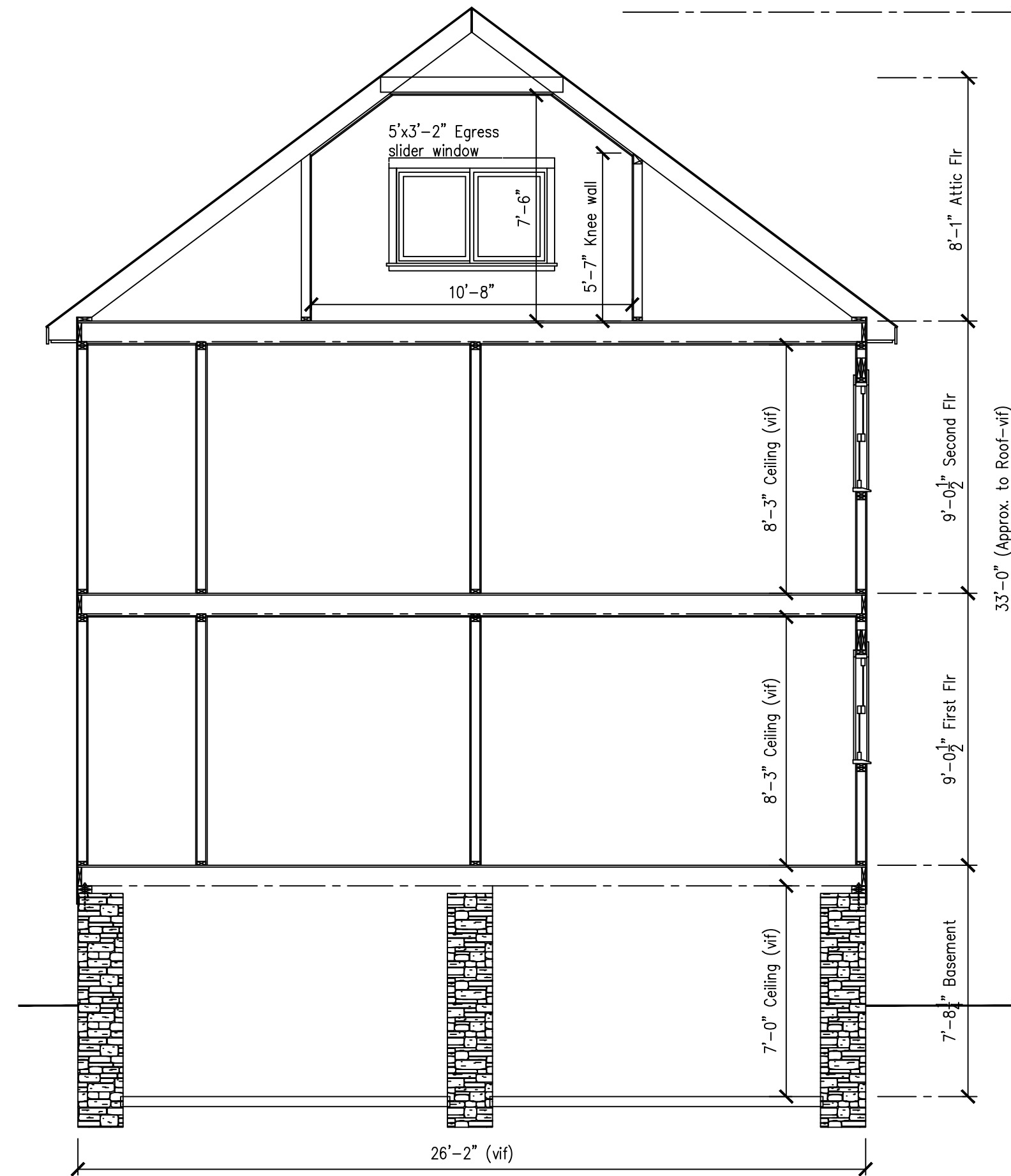
**D-1.2**



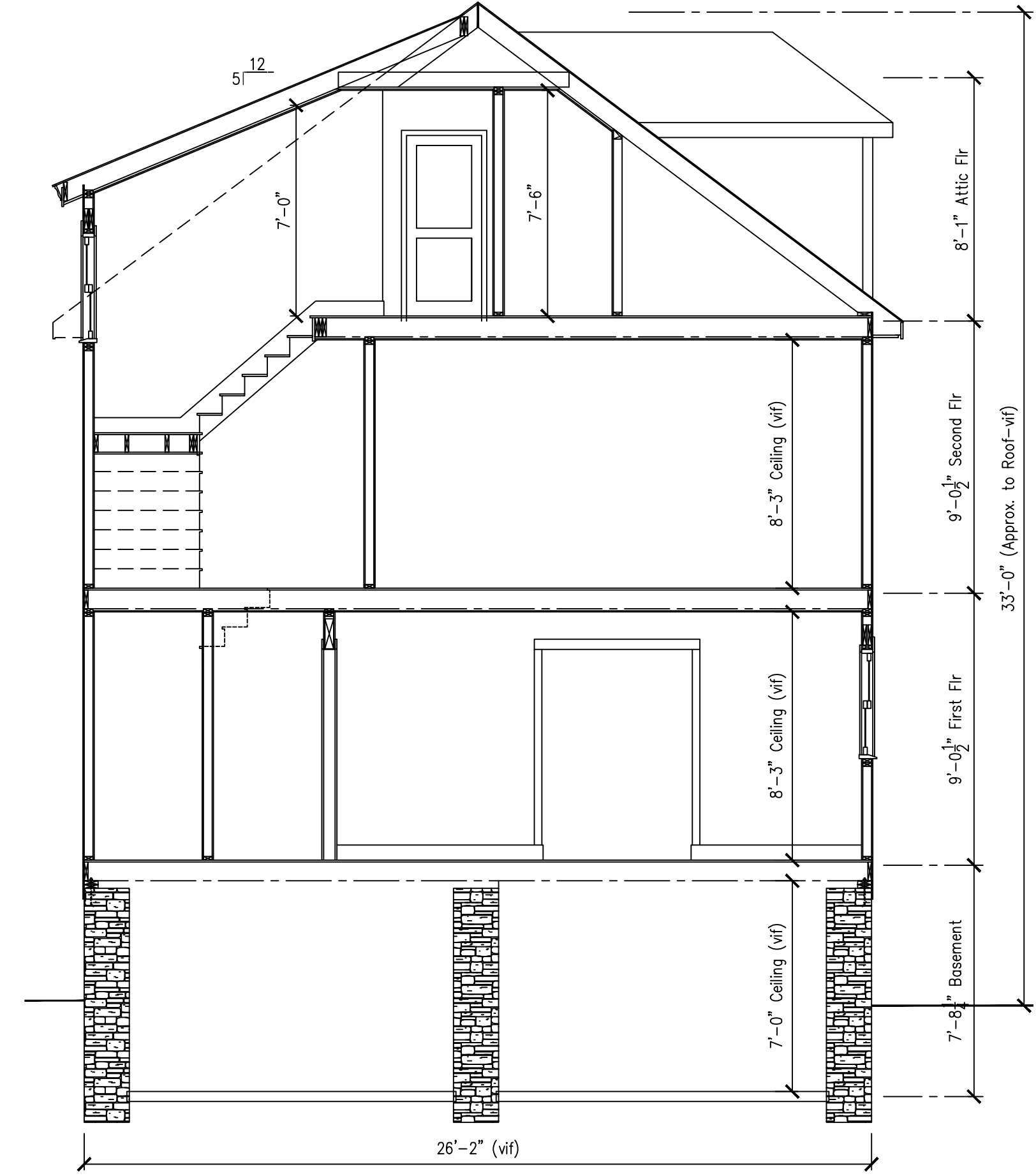




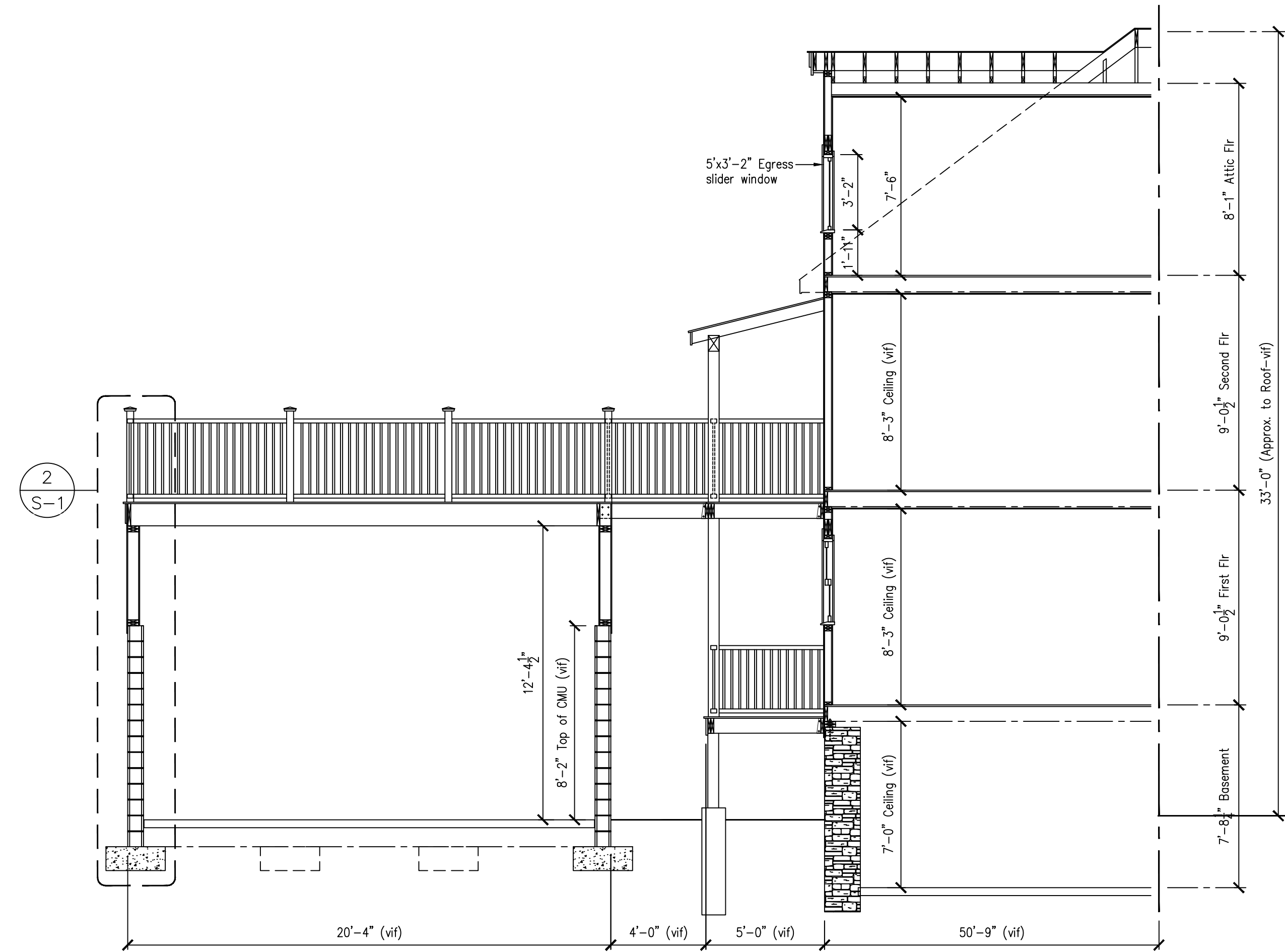




1 Building Cross Section  
A-1 SCALE: 1/4" = 1'-0"



2 Building Cross Section  
A-1 SCALE: 1/4" = 1'-0"



3 Partial Building Longitudinal Section  
A-1 SCALE: 1/4" = 1'-0"

PROJECT  
Interior Renovation

137 Pleasant Street  
Arlington, MA



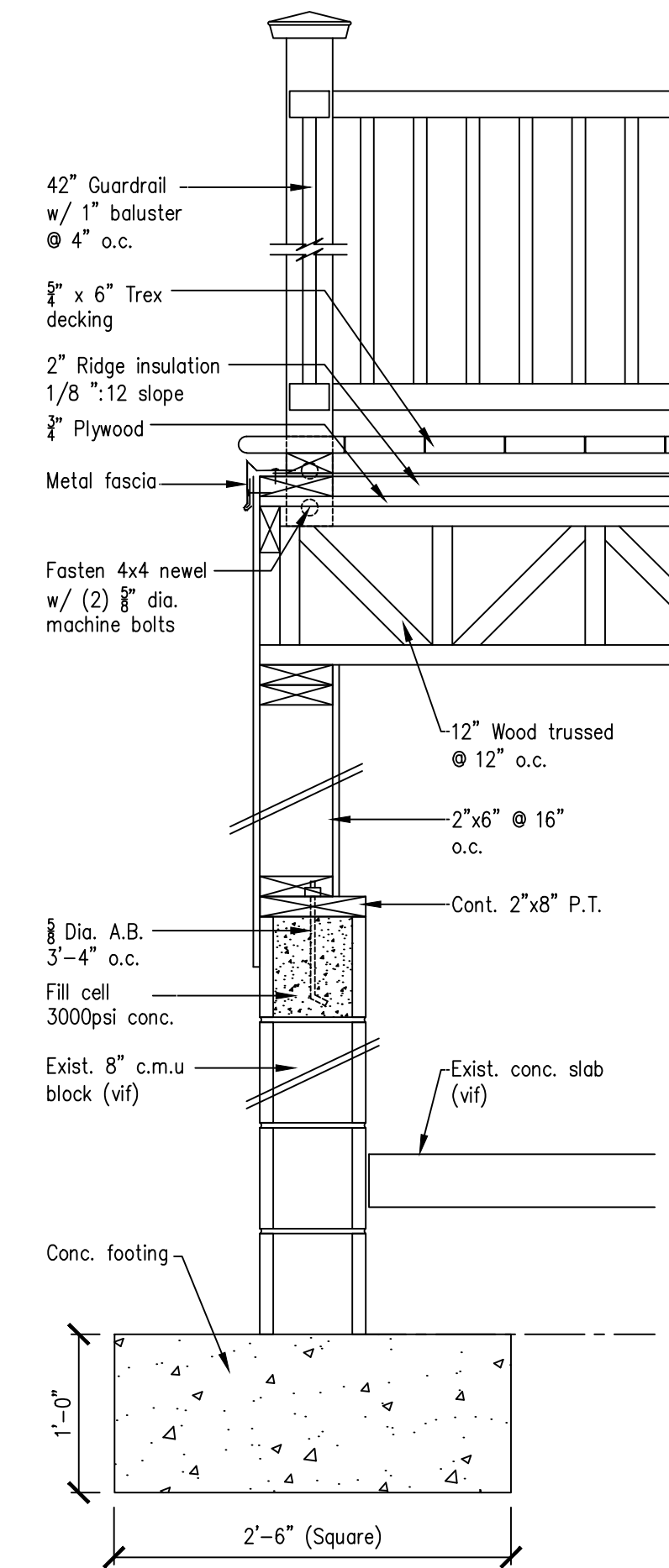
Building Sections, Details,  
and Notes

Revisions	Date
Revision-1	.
Revision-2	
Revision-3	

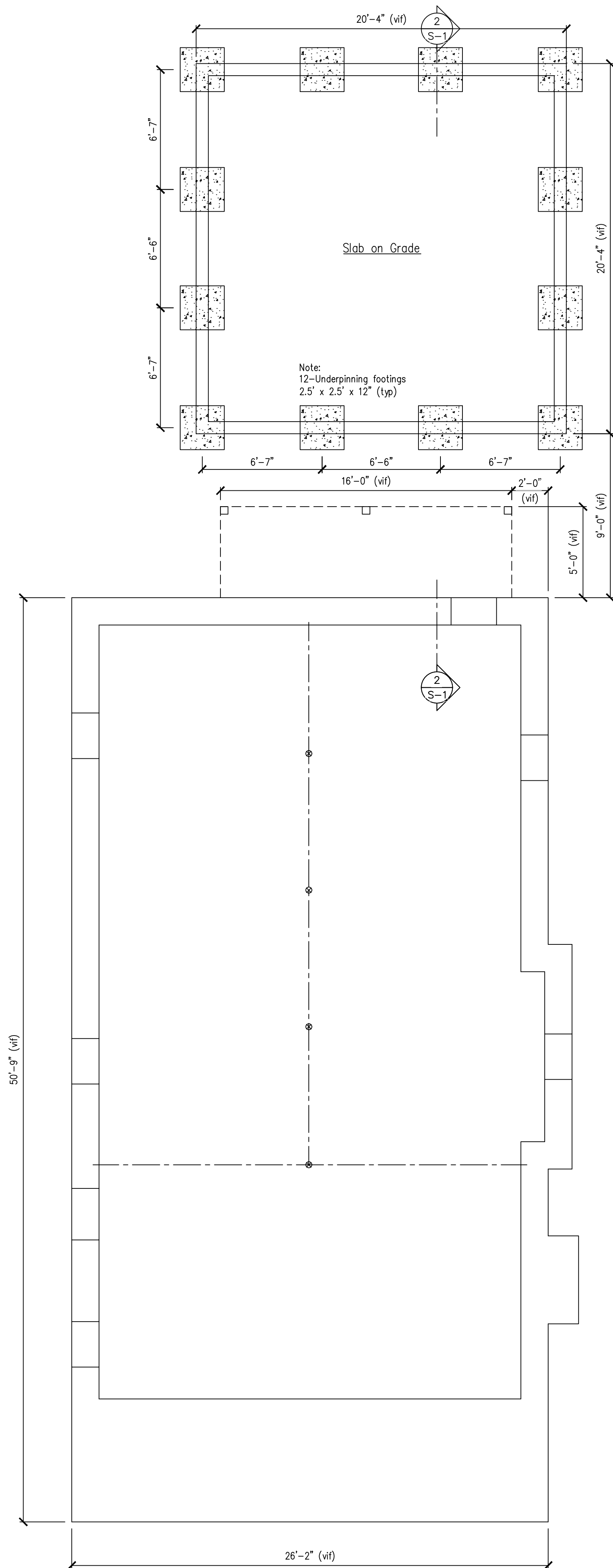
Scale	AS NOTED
Drawn / Check by	JL/ BAN
Date	3/2/21
Job No.	XX

**A-3**

Sheet 7 of 7



2 Enlarged Section Detail  
 S-2 SCALE: 1" = 1'-0"



1 Basement/ Foundation Plan  
 S-1 SCALE: 1/4" = 1'-0"

**J.R. Associates**  
 63 Griggs Road  
 Sutton, MA 01590  
 (508) -865-6721

Sheet Name:

Footing Plan, and Detail

Location:

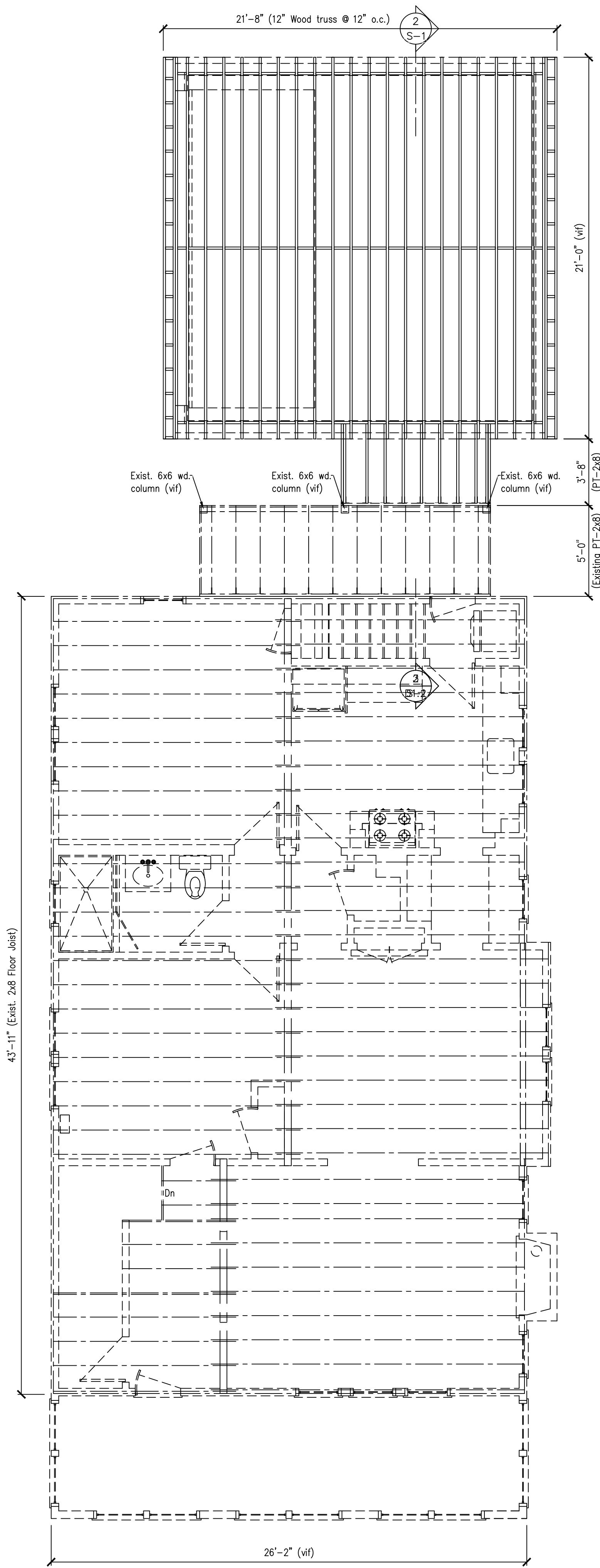
137 Pleasant Street  
 Arlington, MA

3-2-21

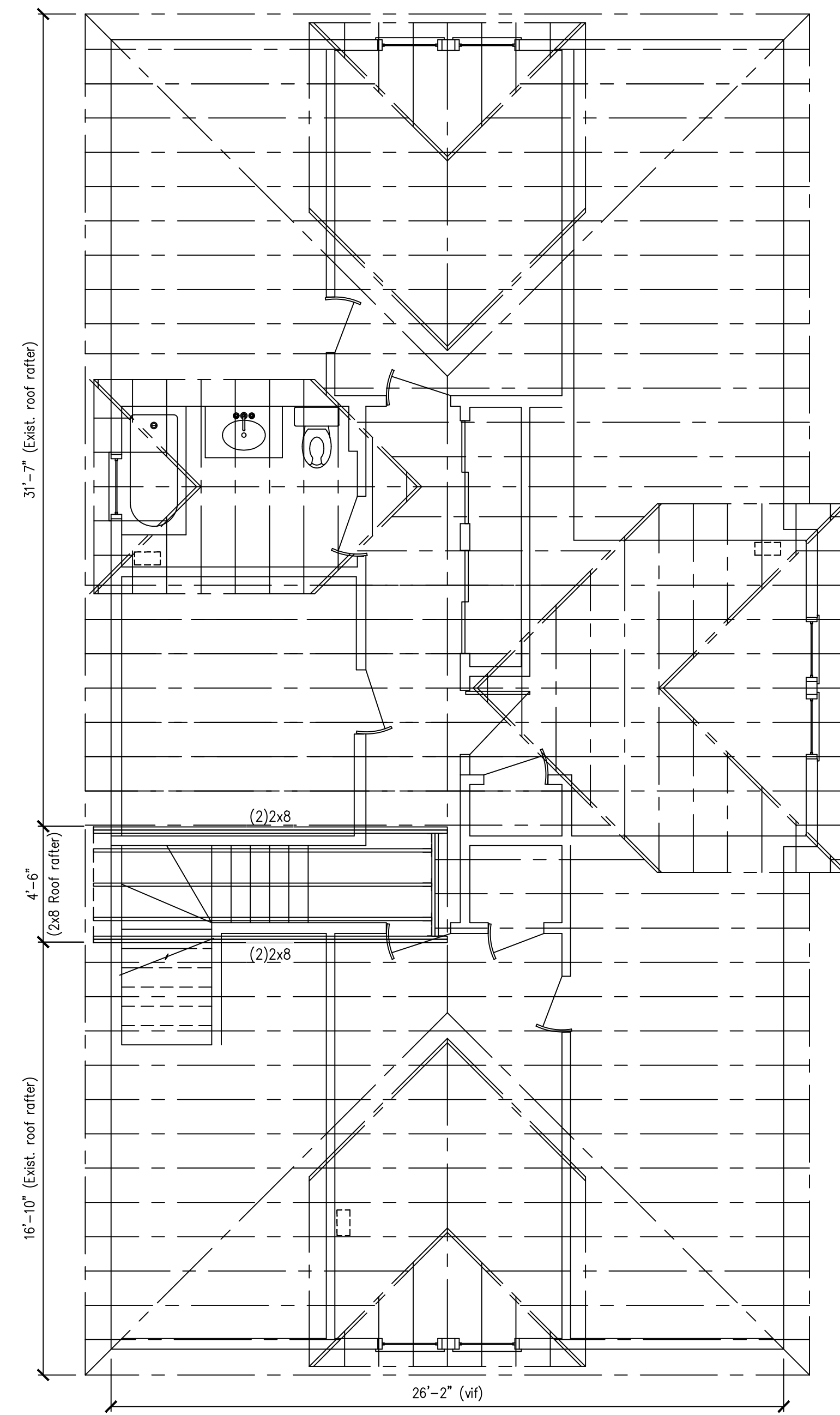
**S-1**

1-of-2





1 Floor & Roof Framing Plan  
S-1 SCALE: 1/4" = 1'-0"



PARTIAL MODIFICATION  
2 Roof Framing Plan  
S-1 SCALE: 1/4" = 1'-0"

**J.R. Associates**  
63 Griggs Road  
Sutton, MA 01590  
(508) -865-6721

Sheet Name:

Framing Plans, and Notes

Location:

137 Pleasant Street  
Arlington, MA

3-2-21

S-2

2-of-2



























