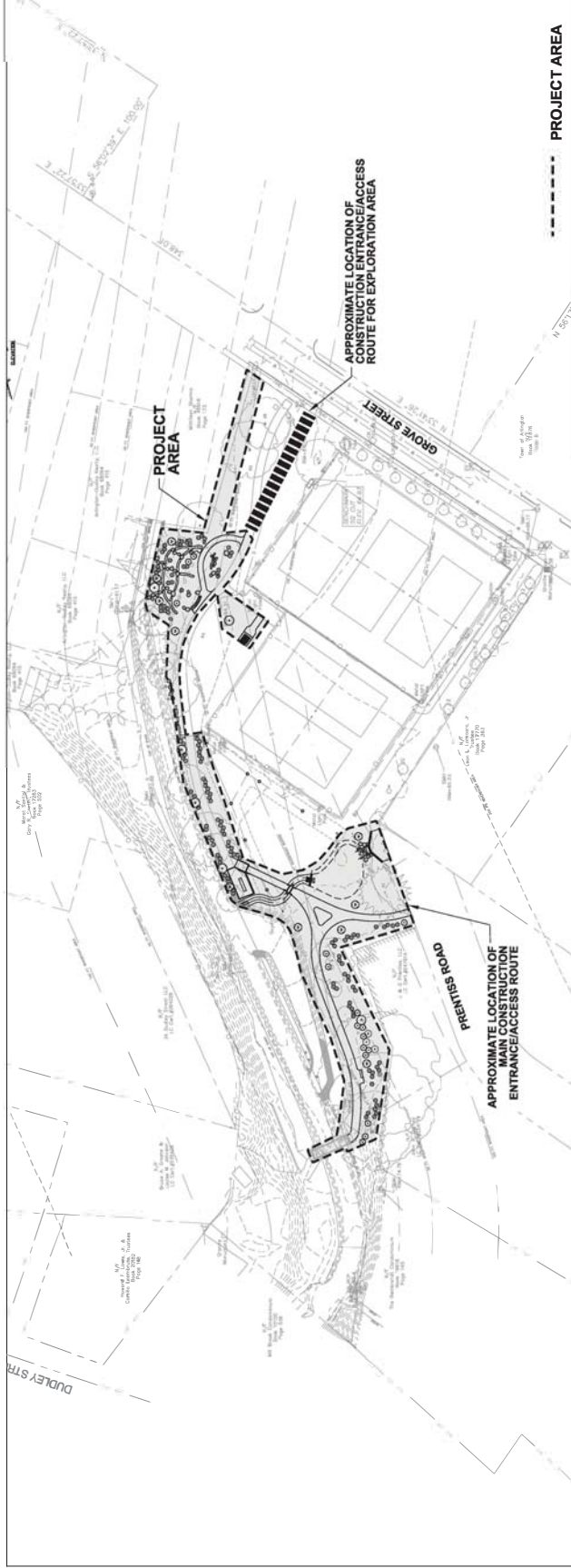


WELLINGTON PARK EXPLORATION PLAY AREA

*Document contains plans from larger Wellington P park & Mill Brook Revitalization Project: Phase 3. This bid is specific to the exploration play area outlined in detail on sheet L-3. Other plan pages included for context. Site prep, grading, and plant material for exploration play area conducted/ procured by Cassidy Landscaping, contractor for the Phase 3 project. Contractor requirements for this bid are outlined on L-3.

100% CONSTRUCTION DOCUMENTS

PROJECT LOCATION PLAN



SITE LOCUS PLAN - ARLINGTON



SCALE: NTS

PROJECT DESCRIPTION

THE ARLINGTON PARK AND RECREATION COMMISSION AND ITS PARTNERS WISH TO COMPLETE A COMMUNITY-DRIVEN DESIGN THAT WILL IMPROVE PASSIVE RECREATIONAL OPPORTUNITIES AT WELLINGTON PARK IN A MANNER THAT USES ENVIRONMENTALLY SUSTAINABLE APPROACHES WHILE MEETING THE FOLLOWING GOALS:

- INCREASE RECREATIONAL QUALITY AND OPPORTUNITY WITH EXISTING AND NEW FEATURES INCLUDING BENCHES, PICNIC TABLE AND EXPLORATION AREA.
- PROTECT AND ENHANCE WILDLIFE HABITAT ALONG THE BROOK AND ADJACENT WETLANDS DERIVED FROM A PLANT COMMUNITY BASED APPROACH.

DRAWING INDEX

SHEET NO.	SHEET TITLE
L-0	COVERSHEET
EC	EXISTING CONDITIONS PLAN
SP	SITE PREPARATION PLAN
L-1	SITE PLAN
L-3	EXPLORATION AREA ENLARGEMENT PLAN AND DETAILS



SCALE: 1"=40'



Client/Owner:



Town of Arlington
425 Summer Street, Arlington, MA 02474

HATCH
27 Congress Street, Salem, MA 01970
Tel: 978-744-0000
www.hatch.com

Stamp:



Project:

WELLINGTON PARK & MILL BROOK CORRIDOR
REVITALIZATION PROJECT: PHASE 3
WELLINGTON PARK - ARLINGTON, MA
100% CONSTRUCTION DOCUMENTS

Project Number: 00200972-00
Hatch Project Number: H-362472
Date: JANUARY, 2021
Drawn By: AK, AC
Designed By: AK
Reviewed By: CB
Scale: As Shown
Revision Number: Description: Date:
Sheet Title:

COVER SHEET

Sheet No:

L-0



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425 Summit Street, Arlington, MA 02474



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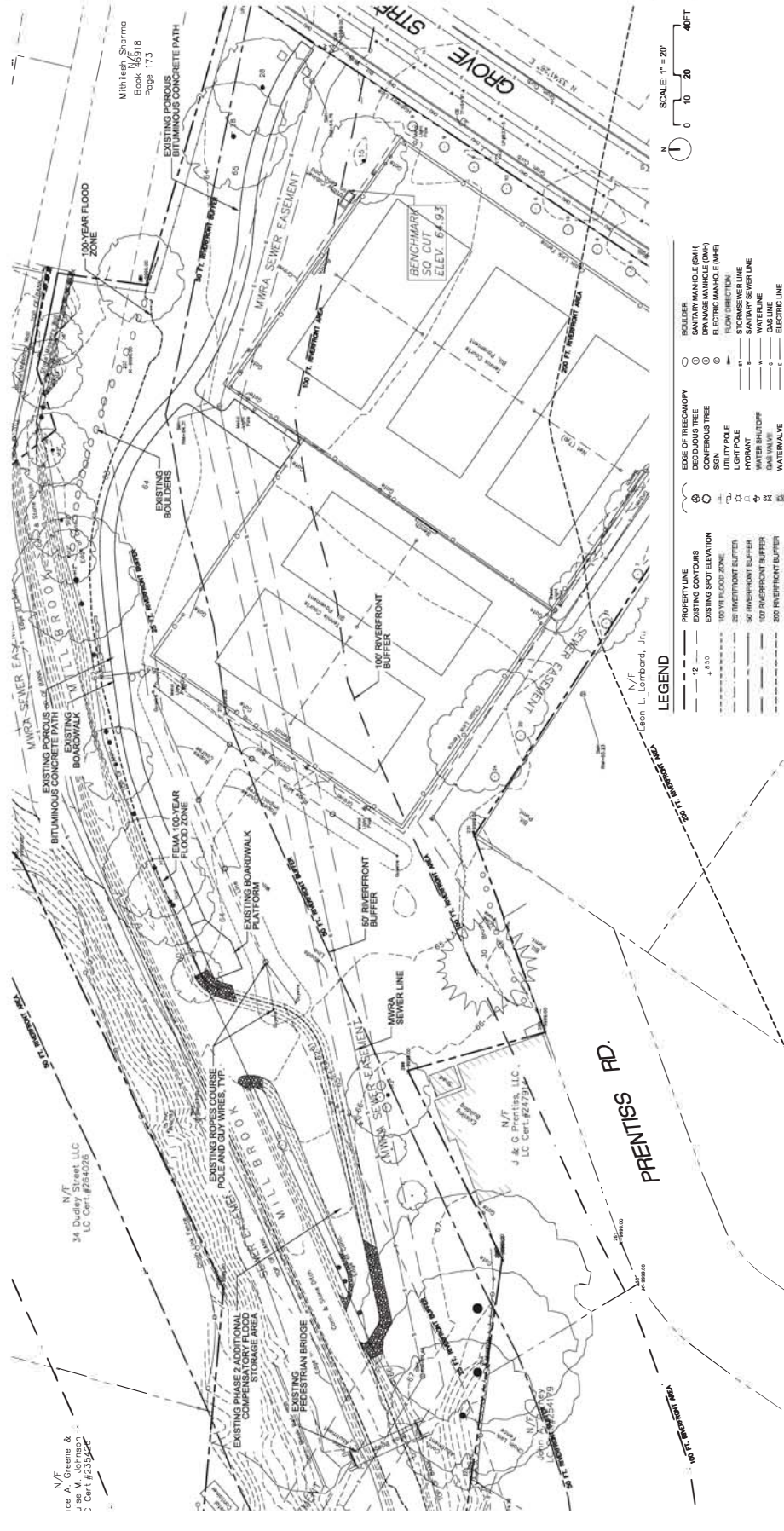
Project: WELLINGTON PARK & MILL BROOK CORRIDOR REVITALIZATION PROJECT: PHASE 3

WELLINGTON PARK - ARLINGTON, MA
100% CONSTRUCTION DOCUMENTS

Project Number: 00035072-00
Hatch Project Number: H-382472
Date: January 2021
Drawn By: JAK, AC
Designed By: JAK
Reviewed By: JAK
Scale As Shown:
Revisions:
Number: Description: Date:
Sheet Title:
Sheet No.:

EXISTING CONDITIONS
PLAN

EC



SURVEY NOTES

1. TOPOGRAPHIC SURVEY INFORMATION IS A COMBINATION OF AN ON-THE-GROUND INSTRUMENT SURVEY BY WESTON AND SAMPSON LAND SURVEYORS, INC. IN SEPTEMBER 2018 (WESTON & SAMPSON ENGINEERS, INC. 5 CENTENNIAL DRIVE, PEABODY, MA 01960, TEL. 978-532-8600), AND AS-BUILT GRADES FROM THE PREVIOUS PROJECT PHASE.
2. CASDISY IS SPECIFICALLY CAUTIONED THAT THE EXISTING CONDITIONS SHOWN ON THESE PLANS FROM THE AS-BUILT SURVEY SHALL BE USED UPON AS BEING EXACT OR COMPLETE. CASDISY PRIOR TO THE START OF CONSTRUCTION, SHALL THOROUGHLY REVIEW THE EXISTING CONDITIONS AS THEY RELATE TO THESE SITE PLAN DRAWINGS AND BE RESPONSIBLE TO CORRECT ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.
3. BEARINGS REFER TO THE MASSACHUSETTS MAD 83 STATE PLANE COORDINATE SYSTEM (MAINLAND ZONE).
4. ELEVATIONS REFER TO THE 1988 NORTH AMERICAN DATUM (NAVD 88).
5. REFERENCE IS MADE TO THE FOLLOWING MAPS:
 - A. "PLAN OF BUILDING LOTS IN ARLINGTON, MASS. BELONGING TO W.M. RICHARDSON", BY JOSIAH HOVEY, SCALE 1" = 50', DATED JUNE 1869, RECORDED IN PLAN BOOK 86, PLAN 2 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.

- J. LAND COURT PLAN 20878A DATED OCTOBER 1947.
- K. LAND COURT PLAN 22018A DATED SEPTEMBER 1949.
- L. "PLAN OF THE RELOCATION OF GROVE STREET ARLINGTON AS ORDERED BY THE COUNTY COMMISSIONERS", SCALE 1" = 40', DATED JANUARY 1964, RECORDED AS PLAN 281 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
- M. "SECTION 92 MILL BROOK VALLEY RELIEF SEWER NORTH METROPOLITAN SYSTEM ARLINGTON", DATED MAY 1966, RECORDED AS PLAN 657 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
- N. "THE DIVISION OF CONSERVATION PLANNING DISTRICT COMMISSION SURVEYS OF THE 'MILL BROOK VALLEY' TRACT, SCALE 1" = 40', DATED MAY 1966, RECORDED AS PLAN 281 OF 1967 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
- O. "PLAN OF LAND IN ARLINGTON MASS.", BY CURELY & HANSEN, SCALE 1" = 20', DATED MAY 29, 1971, RECORDED AS PLAN 657 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
- P. "LAND COURT PLAN 4481B DATED APRIL 26, 1969.
- Q. "LAND COURT PLAN 4481B DATED APRIL 26, 1969.
- R. "PLAN OF LAND IN ARLINGTON MASS. SHOWING SEWER & WATER EASEMENT", BY R.L. HIGGINS, SCALE 1" = 40', DATED JAN. 1973, RECORDED AS PLAN 144 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
- S. "PLAN OF LAND IN ARLINGTON MASS.", BY HATES ENGINEERING INC., SCALE 1" = 30', DATED JANUARY 31, 1983, RECORDED AS PLAN 144 OF 1983 OF THE MIDDLESEX SOUTH REGISTRY OF DEEDS.
- T. "PLAN OF LAND IN ARLINGTON MA. PREPARED FOR ROSE-MAL HERITAGE REALTY TRUST", BY DAVID D. LANAKA & ASSOC., INC., SCALE 1" = 20', DATED JUNE 24, 1987, RECORDED AS

6. THE PROPERTY IS TOGETHER WITH AND SUBJECT TO, SUCH EASEMENTS AND RIGHTS OF RECORD AS MAY APPEAR.
7. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, RESPECTIVELY, FROM RECORD MAPPING AND FIELD SURVEY DATA, RESPECTIVELY, FROM THE RECORDS OF THE GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG.

N/F
Ice A. Greene &
Lisa M. Simpson
5 Cert #1231249

N/F
34 Duval Street, LLC
LC Cert #264028

Mithlesh Sharma
Book #6518
Page 173

PRENTISS RD.

N/F
J & C Prentiss, LLC
LC Cert #473739

N/F
Leon L. Lombard, Jr.



Town of Arlington
425 Summit Street, Arlington, MA 02474



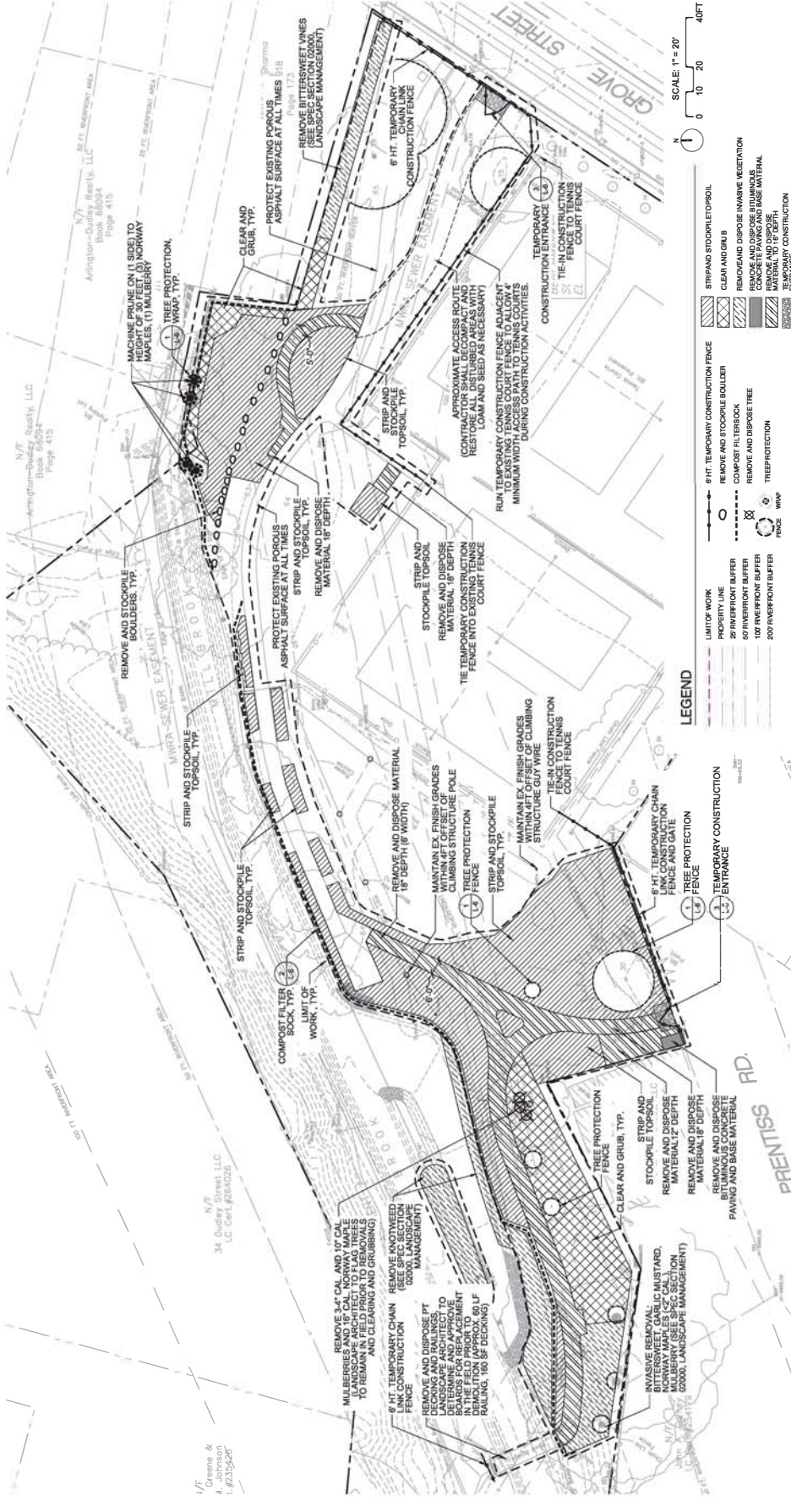
27 Congress Street, Salem, MA 01970
Tel: 978-749-8888
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Scale:

Project: WELLINGTON PARK & MILL BROOK CORRIDOR
REVITALIZATION PROJECT: PHASE 3
WELLINGTON PARK - ARLINGTON, MA
100% CONSTRUCTION DOCUMENTS

Project Number: 00303072-00
Hatch Project Number: H-362472
Date: January 2021
Drawn By: AK, AC
Designed By: AK
Reviewed By: DB
Scale: As Shown
Revisions:
Number: Description: Date:
Sheet Title: SITE PREPARATION PLAN
Sheet No: SP



- SITE PREPARATION, DEMOLITION, AND EROSION CONTROL NOTES:**
- CASSIDY IS CAUTIONED THAT LOCATION AND/OR ELEVATION OF PLANS, MEASUREMENTS, AND FIELD SURVEY DATA IS BASED ON SITE SURVEY AND FIELD MEASUREMENTS. THIS INFORMATION IS NOT TO BE RELEASD AS BEING EXACT OR COMPLETE. CASSIDY, PRIOR TO THE START OF CONSTRUCTION, SHALL VERIFY THE FIELD DATA WITH THE APPROPRIATE UTILITY COMPANY. ANY GOVERNING PERMITTING AUTHORITY, AND "DIG SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE EXACT LOCATION OF ANY UTILITIES. INTERFERING UTILITIES SHALL BE NOTICED IN WRITING BY ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTIONS TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF CASSIDY TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
 - CASSIDY SHALL PROTECT ALL EXISTING DRAINAGE STRUCTURES. CASSIDY SHALL IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT UPON COMPLETION OF INSTALLATION FOR APPROVAL. ALL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL THE SITE WORK IS COMPLETE AND GROUND COVER IS FULLY ESTABLISHED.
 - CASSIDY SHALL PROTECT EXISTING POROUS BITUMINOUS ASPHALT PATH AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. CASSIDY SHALL BE RESPONSIBLE FOR REPLACING POROUS BITUMINOUS SURFACING OF ANY AREAS THAT BECOME CLOGGED WITH SEDIMENT OR DEBRIS AT NO COST TO THE OWNER. CARE SHOULD BE TAKEN TO ADVANCE TO BOTH EXISTING AND NEWLY CONSTRUCTED POROUS ASPHALT PAVING TO ENSURE SURFACE IS PROTECTED FROM SOIL AND SEDIMENT WASHING.
 - THE AREA, OR AREAS OF ENTRANCE AND EXIT, TO AND FROM THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT PUBLIC RIGHTS-OF-WAY FROM BEING IMPAIRED OR ENDED ONTO A PUBLIC RIGHT-OF-WAY. MUST BE REMOVED IMMEDIATELY.
 - FINAL TREE PROTECTION FENCE LOCATIONS SHALL BE DETERMINED IN THE FIELD PRIOR TO CONSTRUCTION ACTIVITY AS DIRECTED BY THE LANDSCAPE ARCHITECT, AND MAY DIFFER FROM CONSTRUCTION DOCUMENTS.
 - EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN OPERATION. CASSIDY SHALL NOTIFY LANDSCAPE ARCHITECT UPON COMPLETION OF INSTALLATION FOR APPROVAL. ALL MEASURES SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL THE SITE WORK IS COMPLETE AND GROUND COVER IS FULLY ESTABLISHED.
 - STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETERS WITH STAKED HAY BALES AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION.
 - ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDS FOR TEMPORARY VEGETATIVE COVER. NO AREA, SUBJECT TO EROSION, SHALL BE LEFT UNDISTURBED AND UNSTABILIZED FOR PERIODS LONGER THAN IS ABSOLUTELY NECESSARY TO CARRY OUT THAT PORTION OF THE CONSTRUCTION WORK.
 - INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, THROUGHOUT CONSTRUCTION.
 - ALL PROPOSED SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITH CASSIDY IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION MFA FEES REQUIRED TO CARRY OUT THE WORK INCLUDING, BUT NOT LIMITED TO, DEMOLITION, SITE CONSTRUCTION, ELECTRICAL, STORM AND WATER UTILITIES.
 - CASSIDY SHALL BE RESPONSIBLE FOR PROPER DISPOSING OF EXCESS FILL, TREES, INVASIVE SPECIES AND DEMOLITION DEBRIS RESULTING FROM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH REGULATIONS AT NO ADDITIONAL COST TO THE OWNER. CASSIDY SHALL NOT BURY OR ALLOW TO BURY SUCH MATERIAL.
 - ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS AND OTHER APPURTENANCES EXCEPT AS SPECIFICALLY NOTED OTHERWISE, OR DIRECTED BY THE LANDSCAPE ARCHITECT.
 - LANDSCAPE ARCHITECT SHALL VERIFY TREES & STUMPS TO BE REMOVED IN THE FIELD PRIOR TO REMOVAL.
 - INVASIVE PLANTS ON SITE THAT ARE TO BE REMOVED SHALL BE CONFIRMED BY THE LANDSCAPE ARCHITECT.
 - ALL DISTURBED LANDSCAPE AREAS SHALL BE REPAIRED WITH LOAM AND SEED AT NO COST TO THE OWNER.
- LEGEND**
- LIMIT OF WORK
 - PROPERTY LINE
 - 20' RIVERFRONT BUFFER
 - 50' RIVERFRONT BUFFER
 - 100' RIVERFRONT BUFFER
 - 200' RIVERFRONT BUFFER
 - 6' FT. TEMPORARY CONSTRUCTION FENCE
 - REMOVE AND STOCKPILE BOULDER
 - COMPOST FILTER STOCK
 - REMOVE AND DISPOSE TREE
 - TREE PROTECTION FENCE
 - WIP
 - STRIP AND STOCKPILE TOPSOIL
 - CLEAR AND GRUB
 - REMOVE AND DISPOSE INVASIVE VEGETATION
 - CONCRETE PAVING AND BASE MATERIAL
 - REMOVE AND DISPOSE
 - TEMPORARY CONSTRUCTION ENTRANCE
- SCALE: 1" = 20'**

Client/Owner:



Town of Arlington
425 Summer Street, Arlington, MA 02474



27 Congress Street, Salem, MA 01970
Tel: 978-744-2334
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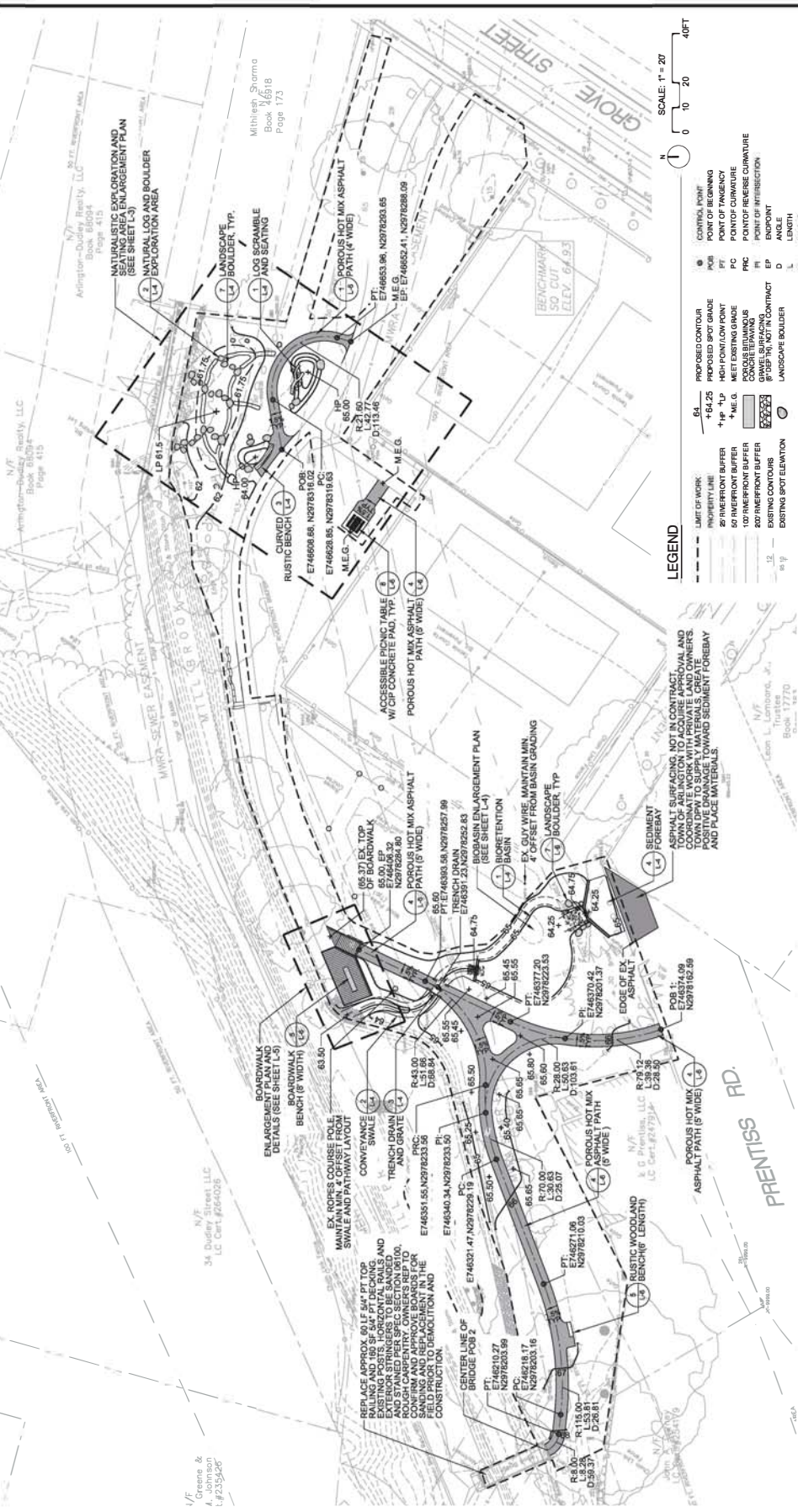


100% CONSTRUCTION DOCUMENTS
WELLINGTON PARK - ARLINGTON, MA

WELLINGTON PARK & MILL BROOK CORRIDOR REVITALIZATION PROJECT: PHASE 3

Project Number: 00200072-00
Hatch Project Number: H-382472
Date: January, 2021
Drawn By: JAC
Designed By: JAC
Reviewed By: JAC
Scale As shown
Revisions:
Number:
Description:
Date:
Sheet Title:
Sheet No:

SITE PLAN



A. Johnson
L#23526

LAYOUT AND MATERIAL NOTES:

- 1. ALL LAYOUT LINES, OFFSETS OR REFERENCES TO LOCATING OBJECTS ARE EITHER PARALLEL OR PERPENDICULAR UNLESS OTHERWISE DESIGNATED WITH ANGLE OFFSET'S NOTED.
- 2. ALL PROPOSED PATHWAYS AND SITE IMPROVEMENTS SHALL BE LAD OUT AND STAKED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION BY THE OWNER'S REPRESENTATIVE. ANY REQUIRED STAKING SHALL BE UNDERTAKEN AT NO ADDITIONAL COST TO THE OWNER.
- 3. REFER TO SP PLAN FOR SITE PREPARATION, DEMOLITION AND EROSION CONTROL LAYOUT.
- 4. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK INDICATED IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL VERIFY ALL GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PROPOSED AND EXISTING CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE TWO.
- 5. CASSIDY SHALL SET, PROTECT AND REPLACE REFERENCE STAKING AS NECESSARY OR AS REQUIRED BY THE OWNERS REPRESENTATIVE.
- 6. CASSIDY SHALL PROTECT NEW AND EXISTING POROUS HOT

MIX ASPHALT SURFACES AT ALL TIMES DURING CONSTRUCTION ACTIVITIES. CASSIDY SHALL BE RESPONSIBLE FOR REPLACING

- 1. CASSIDY SHALL VERIFY ALL GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PROPOSED AND EXISTING CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN THE TWO.
- 2. CASSIDY SHALL STAKE LIMITS OF SWALE AND BIOTENTION SWALE IN THE FIELD PRIOR TO COMMENCING EXCAVATION. BASIN AND SWALE ROUGH GRADING SHALL BE APPROVED IN THE FIELD BY OWNER'S REPRESENTATIVE.
- 3. ALL PROPOSED PAVEMENTS SHALL SMOOTHLY MEET THE LINE GRADE AND EDGES OF EXISTING ADJACENT PAVEMENT SURFACES AS WELL AS THE TOP OF RAMPS AND BACK OF CURBS.

WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CASSIDY SHALL BLEND THE GRADES SMOOTHLY, PROVIDING VERTICAL CURVES

- 4. WHERE NEW EARTHWORK MEETS EXISTING EARTHWORK, CASSIDY SHALL BLEND THE GRADES SMOOTHLY, PROVIDING VERTICAL CURVES THROUGH ROLL-OVER SPOTS AND ABRUPT GRADE CHANGES.
- 5. CASSIDY SHALL ENSURE ALL AREAS PROPERLY PITCH TO DRAIN, INCLUDING GRASSLAND UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION DRAWINGS.
- 6. ALL NEW WALKWAY / ACCESS PATH GRADING MUST CONFORM TO CURRENT AMERICANS WITH DISABILITIES ACT (ADA), AND REGULATIONS: WALKWAYS SHALL MAINTAIN A CROSS PITCH OF NOT MORE THAN ONE AND A HALF (1.5%) PERCENT AND THE RUNNING SLOPE (PARALLEL TO THE DIRECTION OF TRAVEL) BETWEEN 1% MIN. AND 4.5% MAX. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNERS REPRESENTATIVE PRIOR TO CONTINUING WORK.
- 7. ALL UTILITY GRATES, COVERS OR OTHER SURFACE ELEMENTS INTENDED TO BE EXPOSED AT GRADE SHALL BE FLUSH WITH THE ADJACENT FINISHED CURBE AND ADJUSTED TO PROVIDE A SMOOTH TRANSITION AT ALL EDGES.
- 8. EXCAVATION REQUIRED WITHIN PROXIMITY OF KNOWN EXISTING UTILITY LINES SHALL BE DONE BY STRING LINE AND CROWNED TO PREVENT ANY DAMAGE TO CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.

GRADES ABOVE THE SEWER EASEMENT SHALL NOT CHANGE UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION DOCUMENTS.

- 9. GRADES ABOVE THE SEWER EASEMENT SHALL NOT CHANGE UNLESS OTHERWISE INDICATED ON THE CONSTRUCTION DOCUMENTS.
- 10. CASSIDY IS CAUTIONED THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS SHOWN ON THESE PLANS, IS BASED ON THE EXISTING SURVEY. THIS INFORMATION IS NOT TO BE USED TO VERIFY THE EXISTING UTILITIES OR STRUCTURES. PRIOR TO THE START OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES IN THE FIELD. CASSIDY MUST CONTACT THE APPROPRIATE UTILITY COMPANY, AND ANY GOVERNING AGENCIES TO REQUEST THE EXACT FIELD LOCATION OF UTILITIES AND THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING, OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIATION ACTIONS TAKEN BEFORE PROCEEDING INTO THE WORK. ANY UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- 11. CASSIDY SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS FOR THE WORK.
- 12. ALL WORK SHALL BE OFFSETS MINIMUM 4 FT FROM CLIMBING STRUCTURE GUY WIRES AND POLES.
- 13. CASSIDY SHALL DECOMPACT AND RESTORE ALL DISTURBED AREAS WITH LOAM AND SEED.

LEGEND

64	PROPOSED CONTIGUOUS	CONCRETE	CONCRETE
64.25	PROPOSED SPOT GRADE	PT	POINT OF BEGINNING
+H.P.	HIGH POINT/LOW POINT	PF	POINT OF FIDUCY
+M.E.G.	MEET EXISTING GRADE	PC	POINT OF CURVATURE
	POURUS/BETWEEN POROUS	PRC	POINT OF REVERSE CURVATURE
	GRAVEL SURFACING	PI	POINT OF INTERSECTION
	#125 P.H. NOT IN CONTRACT	BP	BENCHMARK
	EXISTING CONTOURS	D	DIMENSION
	EXISTING SPOT ELEVATION	H	HATCH
		L	LANDSCAPE BOULDER

SCALE: 1" = 20'
40 FT

ASPHALT SURFACING NOT IN CONTRACT
COORDINATE WORK WITH PRIVATE LAND OWNERS
FOR POSITIVE DRAINAGE TOWARD SEDIMENT FOREBAY
AND PLUCE MATERIALS.

REPLACE APPROX. 417.5 SQ FT OS
RAILING AND 180 SF 3/4" PT DECKING
EXISTING POSTS, HORIZONTAL RAILS
AND STAINED PEG SPEC SECTION 09100.
CONDUIT AND ENTRY OWNERS REP TO
SANITING AND REPLACEMENT IN THE
CONSTRUCTION.

EX. ROPES COURSE POLE
MAINTAIN IN PLACE
SHIELD AND PATRIOT
CONFORMANCE

BOARDWALK
DETAILS (SEE SHEET L-0)

ACCESSIBLE PICNIC TABLE
W/ CH CONCRETE PAD, TYP. (1.8)

NATURALISTIC EXPLORATION AND
SEATING AREA ENLARGEMENT PLAN
SEE SHEET L-0



Town of Arlington
425 Summer Street, Arlington, MA 02474



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Tel: 978-740-8888
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Scale:



Project:

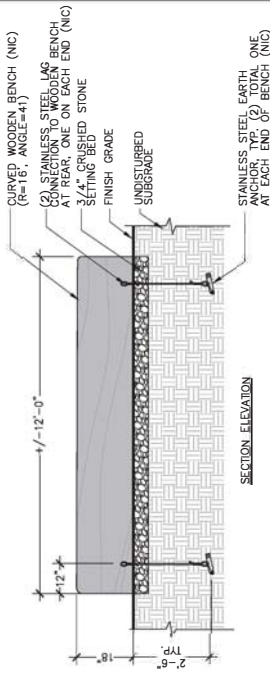
WELLINGTON PARK & MILL BROOK CORRIDOR
REVITALIZATION PROJECT: PHASE 3
WELLINGTON PARK - ARLINGTON, MA
100% CONSTRUCTION DOCUMENTS

Project Number: 00200972-00
Hatch Project Number: H-362472
Date: January, 2021
Drawn By: J.K. AC
Designed By: J.K.
Reviewed By: J.B.
Scale: As Shown
Number: _____
Description: _____
Date: _____
Sheet Title: _____

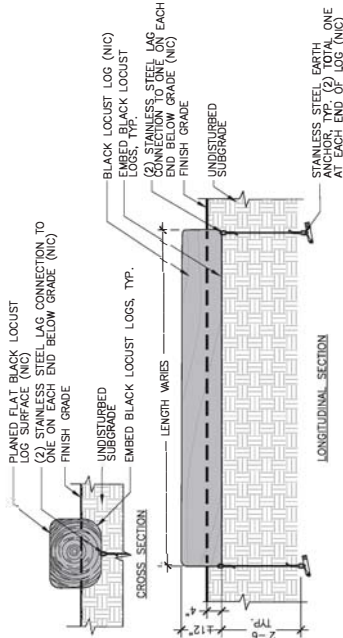
EXPLORATION AREA
ENLARGEMENT PLAN
AND DETAILS

Sheet No:

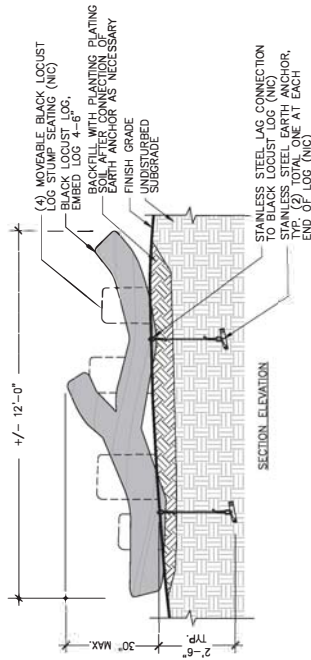
L-3



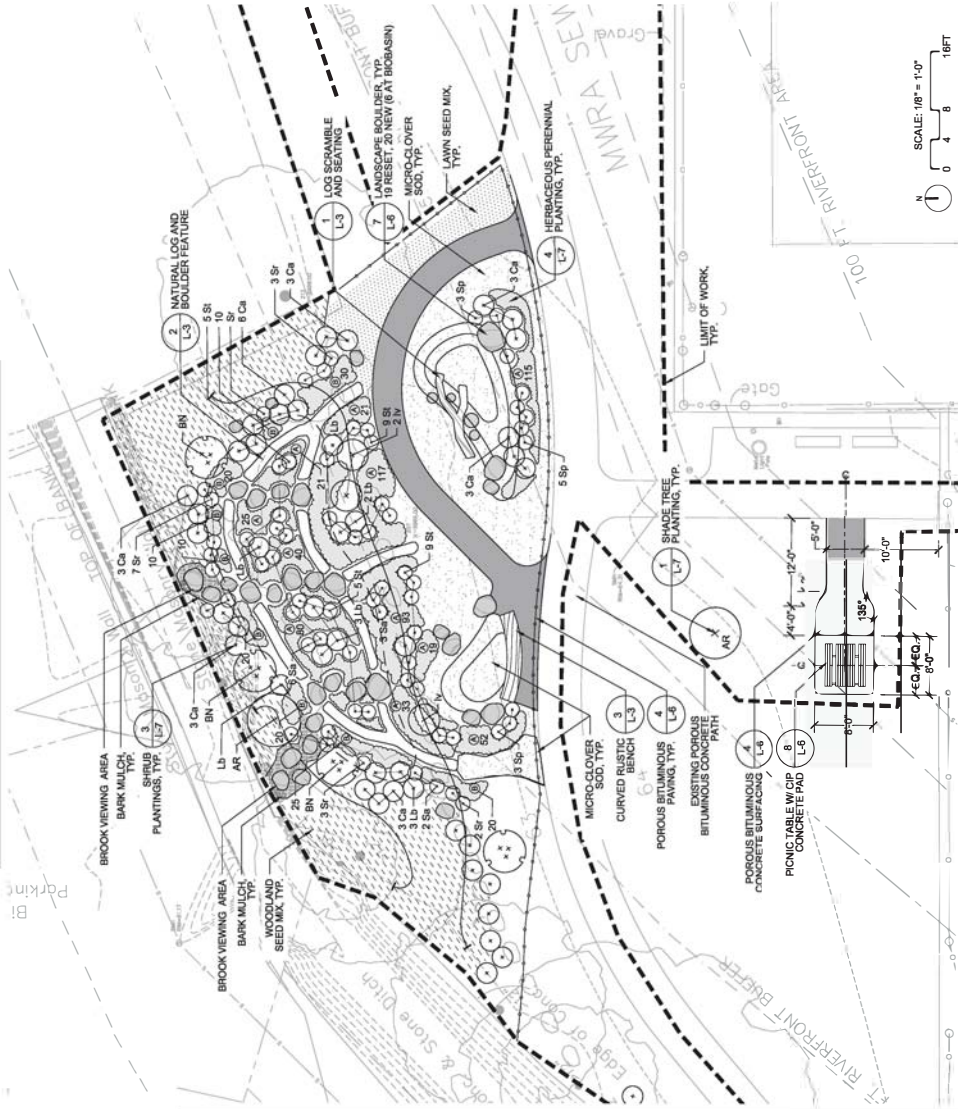
3 CURVED RUSTIC BENCH
SCALE: NTS



2 NATURAL LOG AND BOULDER FEATURE
SCALE: NTS



1 LOG SCRAMBLE AND SEATING
SCALE: NTS



- NOTES:
- CASSIDY SHALL STAKE LOCATION OF EXPLORATION AREA IN THE FIELD FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO COMMENCING EXCAVATION.
 - WOODEN BLACK LOCUST LOGS AND STUMPS TO BE PROVIDED BY CONTRACTOR AND DELIVERED TO THE PROJECT SITE. CASSIDY SHALL BE RESPONSIBLE FOR THE INDIVIDUAL PLACEMENT OF EACH WOODEN ELEMENT AS INDICATED BY THE ARCHITECT. CASSIDY SHALL BE RESPONSIBLE FOR SCHEDULE AND DELIVERY DIRECTLY WITH CONTRACTOR.
 - EARTH ANCHORS, FASTENERS AND HARDWARE TO BE PROVIDED BY AND INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING, LOCKING, TESTING AND SECURING EARTH ANCHORS TO BLACK LOCUST LOGS.
 - CASSIDY SHALL PROCURE AND PLACE LANDSCAPE BOULDERS AS INDICATED ON THE CONSTRUCTION DOCUMENTS. CASSIDY SHALL BE RESPONSIBLE FOR DIRECTED BY LANDSCAPE ARCHITECT.
 - CASSIDY SHALL BE RESPONSIBLE FOR PREPARING SUBGRADE, BASE MATERIALS AND BACKFILLING LOAM AROUND SCULPTURAL WOODEN ELEMENTS AS INDICATED ON CONSTRUCTION DRAWINGS.
 - FINAL LOCATIONS OF ALL SITE FURNISHINGS SHALL BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - SEE SHEET L-1 FOR LAYOUT, MATERIAL, GRADING AND DRAINAGE NOTES.

- LEGEND
- LIMIT OF WORK
 - - - - - PROPERTY LINE
 - 50' RIVERFRONT BUFFER
 - 100' RIVERFRONT BUFFER
 - 200' RIVERFRONT BUFFER
 - EXISTING CONTOURS
 - PROPOSED SPOT ELEVATION
 - PROPOSED CONTOUR
 - PROPOSED SLOPE
 - SHADE TREE PLANTING
 - CONTAINERIZED TREE PLANTING
 - SHRUB PLANTING
 - HERBACEOUS PLANTING
 - MICROCLOVER SODDING
 - WOODLAND SEED MIX
 - LAWN SEED MIX
 - SEED ESTABLISHMENT FENCE