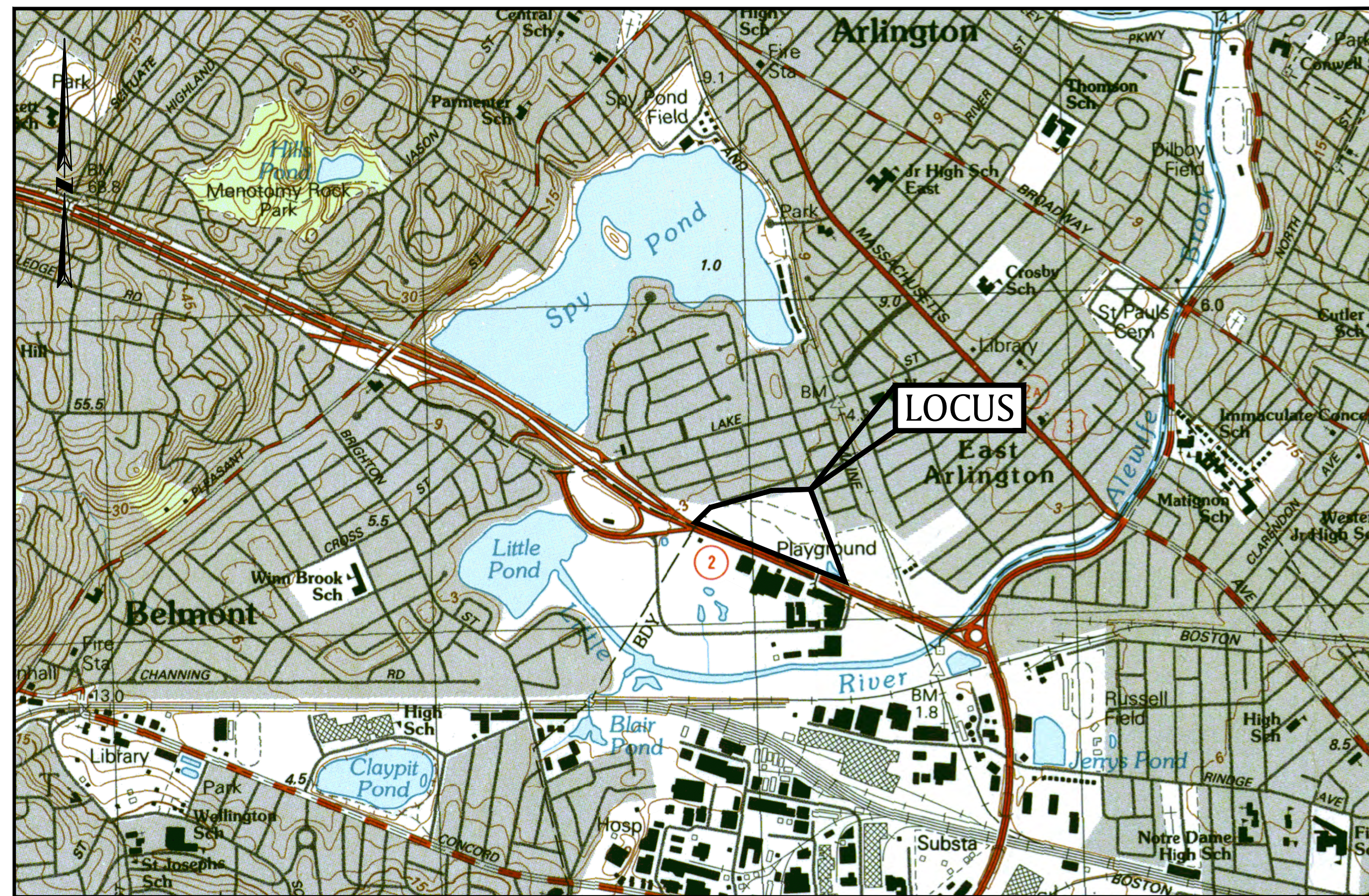


THORNDIKE PLACE COMPREHENSIVE PERMIT

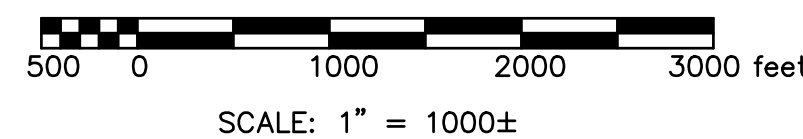
DOROTHY ROAD
ARLINGTON, MASSACHUSETTS

MARCH 13, 2020

REVISED: AUGUST 27, 2021



LOCUS MAP



PREPARED FOR:

ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

PREPARED BY:



BSC GROUP

803 Summer Street
Boston, Massachusetts
02127

617 896 4300

ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION

INDEX OF DRAWINGS

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GENERAL NOTES

- EXISTING CONDITIONS SURVEY INFORMATION WAS PREPARED BY BSC GROUP, INC. SURVEY IS BASED ON AN ON-THE-GROUND SURVEY CONDUCTED BY BSC GROUP IN DECEMBER 2019-FEBRUARY 2020.
- REVIEW ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO STARTING WORK.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DISSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE CONTRACTOR/ENGINEER FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.

SITE PREPARATION NOTES

- AREAS DESIGNATED FOR CLEARING SHALL BE CLEARED ONLY.
- THE SUBCONTRACTOR(S) IS/ARE RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS TO REMAIN THAT ARE DUE TO SUBCONTRACTOR(S) OPERATIONS.
- ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE SUBCONTRACTOR(S).
- THE SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATING THEIR EFFORTS WITH ALL TRADES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
- THE SUBCONTRACTOR(S) SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED OR DIRECTED BY THE CONTRACTOR/ENGINEER.
- TEMPORARY CONSTRUCTION HAUL ROADS (IF REQUIRED) SHALL BE EXCAVATED AND THE SUB-BASE COMPACTED TO 95% SPMD. THE USE OF SEPARATION FABRICS MAY BE USED TO FACILITATE FUTURE REMOVAL AND RECOVERY OF GRANULAR MATERIALS. HAUL ROAD SHALL HAVE AT LEAST 9" OF 6-INCH MINUS STONE AND SHALL BE MAINTAINED DURING CONSTRUCTION.

EROSION AND SEDIMENT CONTROL MEASURES

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH THE SEQUENCE OF STAGED CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A DETAILED EROSION CONTROL PLAN INCLUDING SCHEDULE FOR APPROVAL BY THE TOWN OF ARLINGTON. A COPY OF THE APPROVED NPDES - EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
- SEDIMENT TRAPS SHALL BE INSTALLED AT DRAINAGE STRUCTURES IN PUBLIC STREET IN THE PROJECT AREA. STRAW BALE BARRIERS AND SILTATION FENCES ARE TO BE MAINTAINED AND CLEANED UNTIL ALL SLOPES HAVE BEEN STABILIZED.
- SEDIMENT BARRIERS SHALL BE INSPECTED AND APPROVED BY THE TOWN OF ARLINGTON BEFORE CONSTRUCTION CAN START.
- STRAW BALES AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY WHEN INSTALLED.
- THE UNDERSIDE OF STRAW BALES SHOULD BE KEPT IN CLOSE CONTACT (TRENCHED IN 3-INCHES MINIMUM) WITH THE EARTH AND RESET AS NECESSARY.
- DISTURBED AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED AS SOON AS PRACTICAL AFTER CONSTRUCTION ACTIVITIES IN THAT AREA HAVE CONCLUDED. ALL ERODABLE/BARE AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED WITHIN 7 DAYS WITH TEMPORARY EROSION CONTROL SEEDING.
- STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL:VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET, OR RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
- SEDIMENT BARRIERS SHALL BE CONSTRUCTED AROUND ALL SOIL STOCKPILE AREAS.
- CLEAN OUT DRAINAGE FEATURES AND STRUCTURES AFTER COMPLETION OF CONSTRUCTION.
- SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS TEMPORARY EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL SYSTEMS WHEN THE HEIGHT OF THE SEDIMENT EXCEEDS ONE-HALF OF THE HEIGHT OF THE SEDIMENT CONTROL MEASURE.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE SUBCONTRACTOR(S) SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AT THE CONTRACTOR/ENGINEER DIRECTION.
- AFTER THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES, THE SUBCONTRACTOR(S) SHALL GRADE AND SEED AREA OF TEMPORARY EROSION CONTROL MEASURE.
- DAMAGED OR DETERIORATED ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE CONTRACTOR/ENGINEER.
- THE CONTRACTOR'S SITE SUPERINTENDENT WILL BE RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES EVERY SEVEN (7) CALENDAR DAYS OR ONCE EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF ANY STORM EXCEEDING 1/2 INCH PRECIPITATION. DAMAGED AND INEFFECTIVE EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS.
- PIPE OUTLETS (IF ANY) SHALL BE STABILIZED WITH STONE.
- TEMPORARY SEEDING SHALL BE AT A RATE OF 45 LBS PER ACRE. ERODABLE AREAS OUTSIDE AND DOWN SLOPE FROM THE CONSTRUCTION LIMITS SHALL BE SIMILARLY SEEDED.
- WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING SHALL BE FILTERED. DEWATERING PLAN SHALL BE SUBMITTED FOR APPROVAL BY THE ENGINEER.
- WHEN TEMPORARY DRAINAGE IS ESTABLISHED, EROSION/SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY CONTRACTOR/ENGINEER.
- GRAVEL CONSTRUCTION ROADS AND CONSTRUCTION PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN FACILITIES, SHALL BE PROVIDED TO PREVENT SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY AND AS NEEDED.
- NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR POLLUTION RUNOFF. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
- THE COST OF REPAIRING OR REMOVING SEDIMENT FROM EROSION CONTROL SYSTEMS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE APPLICABLE EROSION CONTROL ITEM.
- ALL EROSION CONTROL MEASURES SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL. CONTRACTOR SHALL PROVIDE TO THE CONSERVATION COMMISSION MEASURES (EROSION AND SEDIMENTATION CONTROL) FOR WORK DURING WINTER CONDITIONS.
- CONTRACTOR SHALL SPRAY WATER FROM A WATER TRUCK ON DRY AND WINDY DAYS TO PREVENT DUST FROM FORMING.
- EROSION CONTROL MEASURES AS SHOWN ON THESE DRAWINGS IS INTENDED TO CONVEY MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PREVENT SOIL EROSION AND TO COMPLY WITH THE PROJECT'S STORMWATER POLLUTION PREVENTION PLAN.
- SOILS ON SLOPES THAT ARE 3:1 OR STEEPER SHOULD BE ROUGHENED PER THE EPA'S NPDES SOIL ROUGHENING FACT SHEET IF THEY ARE TO BE SEEDED WITHIN 2 WEEKS OF DISTURBANCE. IF NOT, EROSION

CONTROL BLANKETS SHOULD BE INSTALLED ON THESE SLOPES.

LAND AND MATERIAL NOTES

- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
 - ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
 - DISTANCES AND DIMENSIONS ARE IN DECIMAL FEET.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED. AMBIGUITIES IN THE PLANS SHALL BE CLARIFIED BY THE ENGINEER OR SITE SUPERINTENDENT.

GRADING AND UTILITY NOTES

- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE APPLICANT. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- THE PROJECT APPLICANT SHALL OBTAIN ALL NECESSARY STREET-OPENING PERMITS, WATER AND SEWER CONNECTION PERMITS AND PAY REQUIRED FEES PRIOR TO COMMENCING WORK ON THESE UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY COORDINATION WITH THE TOWN OF ARLINGTON.
- ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES SHALL BE MADE BY THE PROJECT APPLICANT.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, SUBCONTRACTOR(S) SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- POSITIVE DRAINAGE SHALL BE MAINTAINED AWAY FROM ALL STRUCTURES.
- SUBCONTRACTOR(S) SHALL VERIFY EXISTING GRADES AND NOTIFY THE CONTRACTOR/ENGINEER OF ANY DISCREPANCIES.
- PRIOR TO ANY WORK OVER EXISTING TOWN-OWNED UTILITIES, CONTRACTOR TO EVALUATE CONDITION OF SUBSURFACE UTILITIES PRIOR TO CONSTRUCTION. A POST-CONSTRUCTION EVALUATION SHALL ALSO BE PERFORMED TO IDENTIFY ANY DAMAGE CAUSED DURING CONSTRUCTION.
- ANY INSTALLATION OF UTILITY POLES OR UNDERGROUND CONDUIT WITHIN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A GRANT OF LOCATION FROM THE BOARD OF SELECTMEN.

PLANTING NOTES

- MAINTENANCE SHALL BEGIN IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE PLANTINGS SHOWN ON THE DRAWINGS.
- MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- AREAS PLANTED WITH EVERGREEN TREES SHALL BE COVERED WITH A MINIMUM 3" OF MULCH. MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF CONTRACTOR/LANDSCAPE ARCHITECT.

ABBREVIATIONS

- BC BOTTOM OF CURB
- BIT CONC BITUMINIOUS CONCRETE
- BWV BORDERING VEGETATED WETLANDS
- CB CATCH BASIN
- CB/DH CONC. BOUND/DRILL HOLE
- CLF CHAIN LINK FENCE
- DIP DUCTILE IRON PIPE
- DMH DRAIN MANHOLE
- ECB EROSION CONTROL BARRIER
- FES FLARED END SECTION
- FH FIRE HYDRANT
- FOC FACE OF CURB
- FD FOUND
- GG GAS GATE
- HW HEADWALL
- ILSF ISOLATED LAND SUBJECT TO FLOODING
- IP IRON PIPE
- ISW ISOLATED WETLANDS
- LA LANDSCAPED AREA
- LOW LIMIT OF WORK
- N/F NOW OR FORMERLY
- NTS NOT TO SCALE
- OCS OUTLET CONTROL STRUCTURE
- PCC PRECAST CONCRETE CURB
- RW RETAINING WALL
- RCP REINFORCED CONCRETE PIPE
- SLC STREET LIGHT CIRCUIT
- SMH SEWER MANHOLE
- TC TOP OF CURB
- TEL TELEPHONE CABLE
- VGC VERTICAL GRANITE CURB
- WG WATER GATE

LEGEND

- ☐ STONE BOUND W/DRILL HOLE
- ☐ STONE BOUND W/ESCUTCHEON PIN
- ☐ CONCRETE BOUND
- ⊕ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊕ WATER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ TELEPHONE MANHOLE
- ⊕ CABLE MANHOLE
- ⊕ MANHOLE
- ☐ CATCH BASIN
- ⊕ HYDRANT
- ⊕ WATER GATE
- ⊕ GAS GATE
- ⊕ UTILITY POLE
- ⊕ UTILITY POLE W/LIGHT
- ⊕ UTILITY POLE W/TRANSFORMER
- ⊕ LIGHT POLE
- ⊕ ELECTRIC HANDHOLE
- ⊕ HANDHOLE
- ⊕ SIGN
- ⊕ WETLANDS FLAG
- BIT BITUMINIOUS CONCRETE
- CONC CONCRETE
- EP EDGE OF PAVEMENT
- GC GRANITE CURB
- WC WOOD CURB
- I= AND IN+= INVERT
- (R) RECORD INFORMATION
- S SEWER LINE
- D DRAIN LINE
- W WATER LINE
- G GAS LINE
- OHV OVERHEAD WIRE
- X CHAIN LINK FENCE
- STOCKADE FENCE
- STEEL GUARDRAIL
- TREELINE
- BRUSHLINE
- SURVEYED BUILDING LOCATION
- GIS BUILDING LOCATION
- ⊗ WATER VALVE
- ☐ CB CATCH BASIN
- ⊕ FIRE HYDRANT
- ☐ TF TREE FILTER
- ⊕ # OF PARKING SPACES
- ⊕ SEWER MANHOLE
- x — FENCE LINE
- — — — — PROPERTY LINE
- . . . — WETLAND LINE/FLAG
- 100 — (E) MAJOR CONTOUR
- 99 — (E) MINOR CONTOUR
- 100 — PROPOSED MAJOR CONTOUR
- 99 — PROPOSED MINOR CONTOUR
- — — — — 100' WETLAND BUFFER ZONE
- — — — — 25' NO DISTURB ZONE
- ☐ WATER QUALITY UNIT/INLET
- ⊕ WATER QUALITY UNIT



PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

GENERAL NOTES
AND LEGEND

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING
4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140



803 Summer Street
Boston, Massachusetts
02127

617 896 4300

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SCALE: NONE

FILE: 2340700\C\2340700-LN

DWG.: SHEET C-101

JOB. NO: 23407.00

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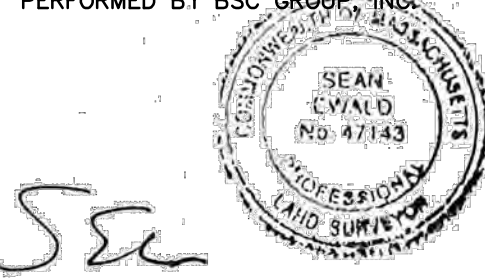
GENERAL NOTES

- THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC. IN DECEMBER, 2019 AND JANUARY, 2020.
- HORIZONTAL DATUM IS BASED UPON NAD '83 (12B) AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. IN DECEMBER 2019.
- VERTICAL DATUM IS BASED UPON NAVD '88 AS DERIVED VIA GPS OBSERVATIONS PERFORMED BY BSC GROUP, INC. IN DECEMBER, 2019.
 TBM 18-1 ELEV=9.13'
 DESC: BACK LEFT BOLT ON HYDRANT ON OSBORNE
 TBM 18-2 ELEV=11.61'
 DESC: FRONT BOLT ON HYDRANT ACROSS FROM UTILITY POLE # 8
 TBM 18-3 ELEV=11.71'
 DESC: BACK LEFT BOLT ON HYDRANT BETWEEN UNITS
- LOCUS IS LOCATED WITHIN ZONES ZONES AE, AE FLOODWAY, X AND X SHADED AS GRAPHICALLY DEPICTED ON FLOOD INSURANCE RATE MAP NUMBER 25017C0419E, EFFECTIVE DATE JUNE 4, 2010.
- LOCUS HAS DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO DOROTHY ROAD, A PUBLIC STREET IN THE TOWN OF ARLINGTON.
- THE PARCELS COMPRISING LOCUS FORM ONE CONTIGUOUS TRACT OF LAND, AND THERE ARE NO GAPS, GORES OR OVERLAPS.
- WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY BSC GROUP, INC. ON JANUARY 15, 2020.
- UTILITY RECORDS HEREON DENOTED WITH "*" HAVE BEEN PROVIDED BY BORRIGO SOLAR SYSTEMS, INC. VIA A CAD FILE ENTITLED "CIVILBASE.DWG"
- CONTOURS SHOWN WITHIN WOODED AREAS ARE BASED UPON AERIAL LIDAR COLLECTED UNDER USGS CONTRACT DURING 2013-2014. DATA MEETS OR EXCEEDS Q12 USGS SPECIFICATIONS. BSC GROUP FOUND A MEAN ERROR OF 0.20'(OBSCURED) & 0.16'(UNOBSCURED) ACROSS 15 LOCATIONS SAMPLED DURING THE ON-THE-GROUND SURVEY IN DECEMBER 2019.
- TOWN LINE LOCATIONS ESTABLISHED FROM MASSACHUSETTS STATE HIGHWAY LAYOUTS 2981, 2982, 2983, 5211 AND 5579.
- ABUTTING BOUNDARY LINES ARE APPROXIMATE.
- RECORD UTILITY INFORMATION WAS NOT RECEIVED FROM VERIZON, TENNESSEE GAS AND MCI.

UTILITY NOTE

EXISTING UTILITIES, WHERE SHOWN HEREON, ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY LOCATING AND COORDINATING ANY ON-SITE ACTIVITY WITH DIG-SAFE AND THE APPROPRIATE UTILITY COMPANY AND MAINTAINING EXISTING UTILITY SYSTEM SERVICE. DIG-SAFE SHALL BE NOTIFIED PER THE COMMONWEALTH OF MASSACHUSETTS STATUTE, CHAPTER 82, SECTION 40, AT 1-888-344-7233. NO GUARANTEE IS IMPLIED OR INTENDED AS TO THE ACCURACY, LOCATION OR THAT ALL UTILITIES AND/OR SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION AND INVERTS OR UTILITIES AND STRUCTURES AS REQUIRED PRIOR TO THE START OF CONSTRUCTION.

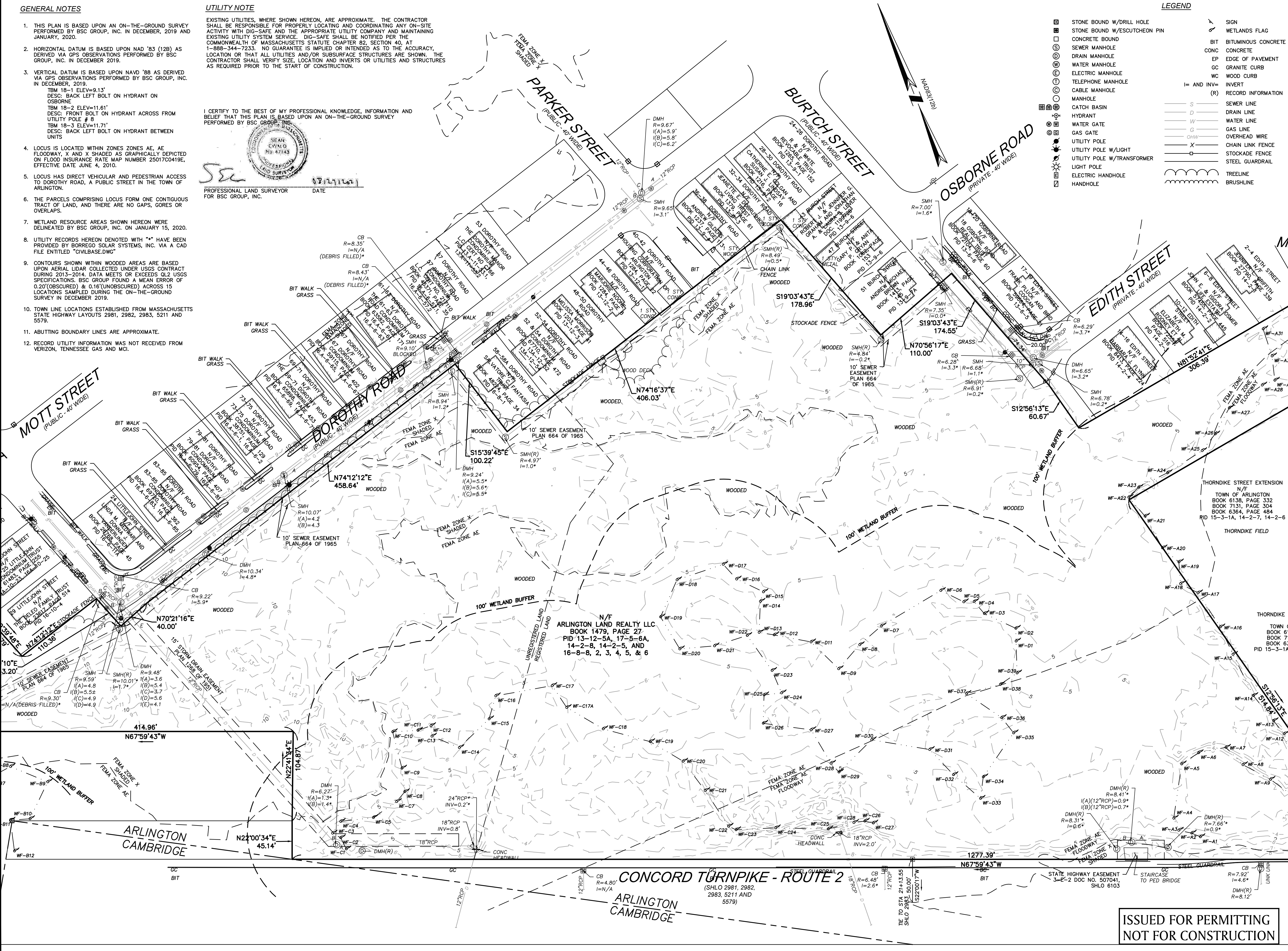
I CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF THAT THIS PLAN IS BASED UPON AN ON-THE-GROUND SURVEY PERFORMED BY BSC GROUP, INC.



PROFESSIONAL LAND SURVEYOR
 FOR BSC GROUP, INC.
 DATE: 02/17/2021

LEGEND

- STONE BOUND W/DRILL HOLE
- STONE BOUND W/ESCUTCHEON PIN
- CONCRETE BOUND
- ⊙ SEWER MANHOLE
- ⊙ DRAIN MANHOLE
- ⊙ WATER MANHOLE
- ⊙ ELECTRIC MANHOLE
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- OHV OVERHEAD WIRE
- X CHAIN LINK FENCE
- STOCKADE FENCE
- STEEL GUARDRAIL
- ~ TREELINE
- ~ BRUSHLINE



THORNDIKE PLACE
 IN
 ARLINGTON
 MASSACHUSETTS
 (MIDDLESEX COUNTY)

EXISTING
 CONDITIONS
 MARCH 13, 2020

REVISIONS:

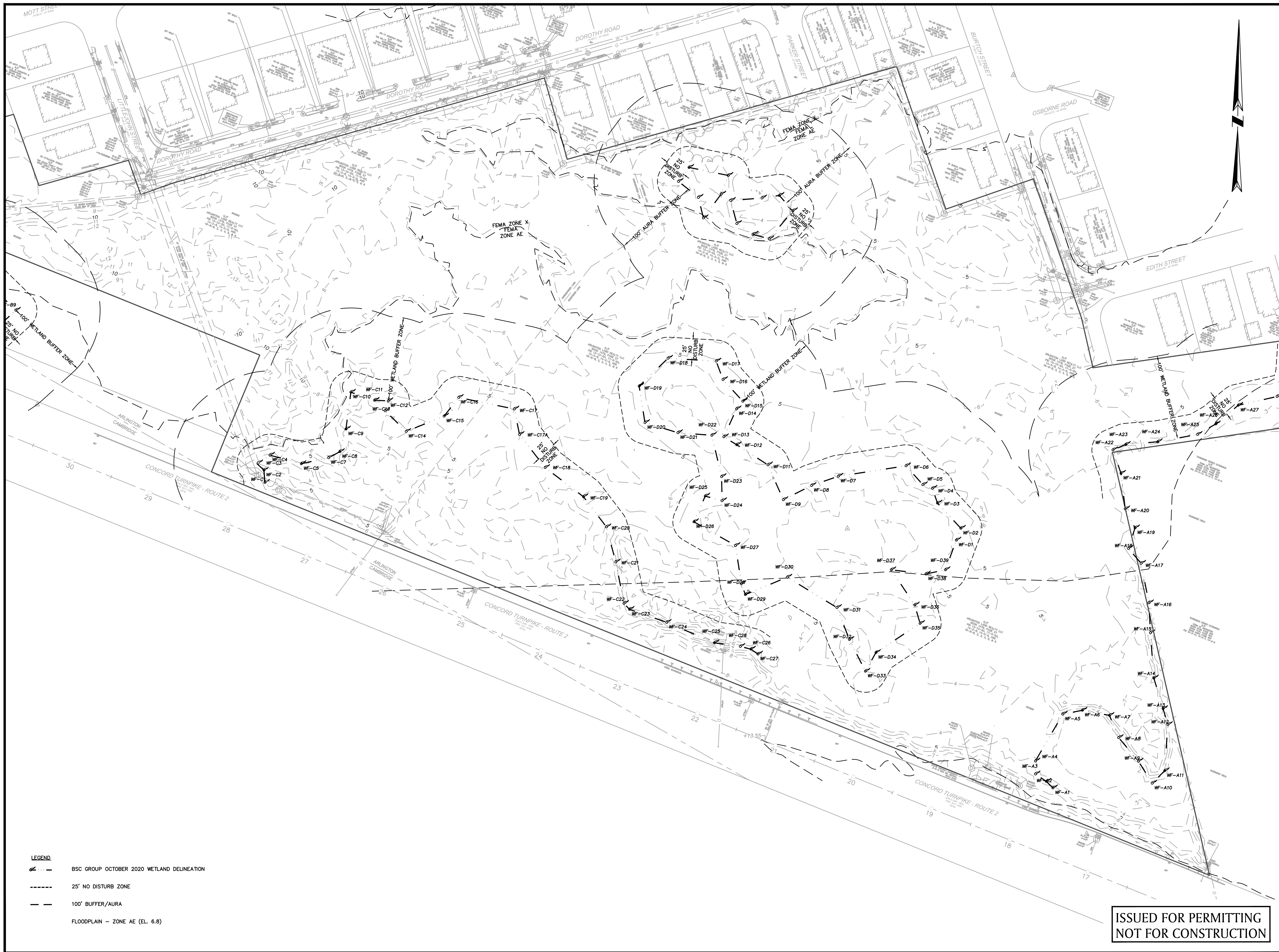
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PREPARED FOR:
 ARLINGTON LAND REALTY, LLC
 84 SHERMAN STREET, 2ND FLOOR
 CAMBRIDGE, MA 02140

BSC GROUP
 803 Summer Street
 Boston, Massachusetts
 02127
 617 896 4300

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 SCALE: 1" = 50'
 0 25 50 100 FEET
 FILE: \Survey\Drawings\2340700EC
 DWG: SHEET V-100
 JOB. NO: 23407.00

ISSUED FOR PERMITTING
 NOT FOR CONSTRUCTION



- LEGEND**
- BSC GROUP OCTOBER 2020 WETLAND DELINEATION
 - 25' NO DISTURB ZONE
 - 100' BUFFER/AURA
 - FLOODPLAIN - ZONE AE (EL. 6.8)



PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

**EXISTING
ENVIRONMENTAL
RESOURCE PLAN**

MARCH 13, 2020

REVISIONS:

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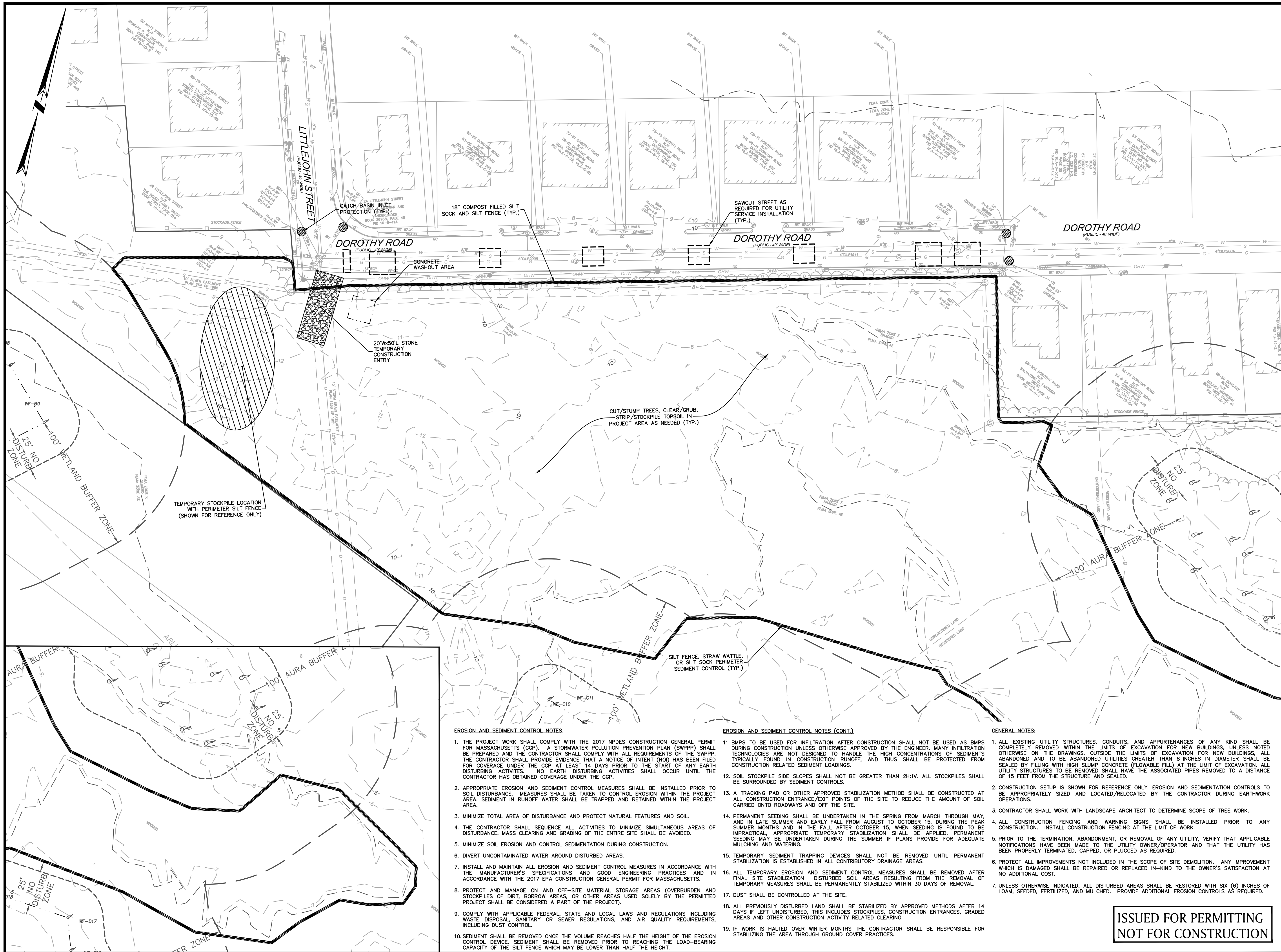
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BSC GROUP
803 Summer Street
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SCALE: 1" = 50'
0 25 50 100 FEET

FILE: \Civil\Drawgs\2340700-CONSTRAINTS
DWG.:
JOB. NO: 23407.00 SHEET C-100

**ISSUED FOR PERMITTING
NOT FOR CONSTRUCTION**



EROSION AND SEDIMENT CONTROL NOTES

1. THE PROJECT WORK SHALL COMPLY WITH THE 2017 NPDES CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS (CGP). A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED AND THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE SWPPP. THE CONTRACTOR SHALL PROVIDE EVIDENCE THAT A NOTICE OF INTENT (NOI) HAS BEEN FILED FOR COVERAGE UNDER THE CGP AT LEAST 14 DAYS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITIES. NO EARTH DISTURBING ACTIVITIES SHALL OCCUR UNTIL THE CONTRACTOR HAS OBTAINED COVERAGE UNDER THE CGP.
2. APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE. MEASURES SHALL BE TAKEN TO CONTROL EROSION WITHIN THE PROJECT AREA. SEDIMENT IN RUNOFF WATER SHALL BE TRAPPED AND RETAINED WITHIN THE PROJECT AREA.
3. MINIMIZE TOTAL AREA OF DISTURBANCE AND PROTECT NATURAL FEATURES AND SOIL.
4. THE CONTRACTOR SHALL SEQUENCE ALL ACTIVITIES TO MINIMIZE SIMULTANEOUS AREAS OF DISTURBANCE. MASS CLEARING AND GRADING OF THE ENTIRE SITE SHALL BE AVOIDED.
5. MINIMIZE SOIL EROSION AND CONTROL SEDIMENTATION DURING CONSTRUCTION.
6. DIVERT UNCONTAMINATED WATER AROUND DISTURBED AREAS.
7. INSTALL AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICES AND IN ACCORDANCE WITH THE 2017 EPA CONSTRUCTION GENERAL PERMIT FOR MASSACHUSETTS.
8. PROTECT AND MANAGE ON AND OFF-SITE MATERIAL STORAGE AREAS (OVERBURDEN AND STOCKPILES OF DIRT, BORROW AREAS, OR OTHER AREAS USED SOLELY BY THE PERMITTED PROJECT SHALL BE CONSIDERED A PART OF THE PROJECT).
9. COMPLY WITH APPLICABLE FEDERAL STATE AND LOCAL LAWS AND REGULATIONS INCLUDING WASTE DISPOSAL, SANITARY OR SEWER REGULATIONS, AND AIR QUALITY REQUIREMENTS, INCLUDING DUST CONTROL.
10. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES HALF THE HEIGHT OF THE EROSION CONTROL DEVICE. SEDIMENT SHALL BE REMOVED PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY BE LOWER THAN HALF THE HEIGHT.

EROSION AND SEDIMENT CONTROL NOTES (CONT.)

11. BMPs TO BE USED FOR INFILTRATION AFTER CONSTRUCTION SHALL NOT BE USED AS BMPs DURING CONSTRUCTION UNLESS OTHERWISE APPROVED BY THE ENGINEER. MANY INFILTRATION TECHNOLOGIES ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF, AND THUS SHALL BE PROTECTED FROM CONSTRUCTION RELATED SEDIMENT LOADINGS.
12. SOIL STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2H:1V. ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
13. A TRACKING PAD OR OTHER APPROVED STABILIZATION METHOD SHALL BE CONSTRUCTED AT ALL CONSTRUCTION ENTRANCE/EXIT POINTS OF THE SITE TO REDUCE THE AMOUNT OF SOIL CARRIED ONTO ROADWAYS AND OFF THE SITE.
14. PERMANENT SEEDING SHALL BE UNDERTAKEN IN THE SPRING FROM MARCH THROUGH MAY, AND IN LATE SUMMER AND EARLY FALL FROM AUGUST TO OCTOBER 15. DURING THE PEAK SUMMER MONTHS AND IN THE FALL AFTER OCTOBER 15, WHEN SEEDING IS FOUND TO BE IMPRACTICAL, APPROPRIATE TEMPORARY STABILIZATION SHALL BE APPLIED. PERMANENT SEEDING MAY BE UNDERTAKEN DURING THE SUMMER IF PLANS PROVIDE FOR ADEQUATE MULCHING AND WATERING.
15. TEMPORARY SEDIMENT TRAPPING DEVICES SHALL NOT BE REMOVED UNTIL PERMANENT STABILIZATION IS ESTABLISHED IN ALL CONTRIBUTORY DRAINAGE AREAS.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED WITHIN 30 DAYS OF REMOVAL.
17. DUST SHALL BE CONTROLLED AT THE SITE.
18. ALL PREVIOUSLY DISTURBED LAND SHALL BE STABILIZED BY APPROVED METHODS AFTER 14 DAYS IF LEFT UNDISTURBED. THIS INCLUDES STOCKPILES, CONSTRUCTION ENTRANCES, GRADED AREAS AND OTHER CONSTRUCTION ACTIVITY RELATED CLEARING.
19. IF WORK IS HALTED OVER WINTER MONTHS THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILIZING THE AREA THROUGH GROUND COVER PRACTICES.

GENERAL NOTES:

1. ALL EXISTING UTILITY STRUCTURES, CONDUITS, AND APPURTENANCES OF ANY KIND SHALL BE COMPLETELY REMOVED WITHIN THE LIMITS OF EXCAVATION FOR NEW BUILDINGS UNLESS NOTED OTHERWISE ON THE DRAWINGS. OUTSIDE THE LIMITS OF EXCAVATION FOR NEW BUILDINGS, ALL ABANDONED AND TO-BE-ABANDONED UTILITIES GREATER THAN 8 INCHES IN DIAMETER SHALL BE SEALED BY FILLING WITH HIGH SLUMP CONCRETE (FLOWABLE FILL) AT THE LIMIT OF EXCAVATION. ALL UTILITY STRUCTURES TO BE REMOVED SHALL HAVE THE ASSOCIATED PIPES REMOVED TO A DISTANCE OF 15 FEET FROM THE STRUCTURE AND SEALED.
2. CONSTRUCTION SETUP IS SHOWN FOR REFERENCE ONLY. EROSION AND SEDIMENTATION CONTROLS TO BE APPROPRIATELY SIZED AND LOCATED/RELOCATED BY THE CONTRACTOR DURING EARTHWORK OPERATIONS.
3. CONTRACTOR SHALL WORK WITH LANDSCAPE ARCHITECT TO DETERMINE SCOPE OF TREE WORK.
4. ALL CONSTRUCTION FENCING AND WARNING SIGNS SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION. INSTALL CONSTRUCTION FENCING AT THE LIMIT OF WORK.
5. PRIOR TO THE TERMINATION, ABANDONMENT, OR REMOVAL OF ANY UTILITY, VERIFY THAT APPLICABLE NOTIFICATIONS HAVE BEEN MADE TO THE UTILITY OWNER/OPERATOR AND THAT THE UTILITY HAS BEEN PROPERLY TERMINATED, CAPPED, OR PLUGGED AS REQUIRED.
6. PROTECT ALL IMPROVEMENTS NOT INCLUDED IN THE SCOPE OF SITE DEMOLITION. ANY IMPROVEMENT WHICH IS DAMAGED SHALL BE REPAIRED OR REPLACED IN-KIND TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
7. UNLESS OTHERWISE INDICATED, ALL DISTURBED AREAS SHALL BE RESTORED WITH SIX (6) INCHES OF LOAM, SEEDED, FERTILIZED, AND MULCHED. PROVIDE ADDITIONAL EROSION CONTROLS AS REQUIRED.

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PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

SITE PREPARATION PLAN

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING
4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

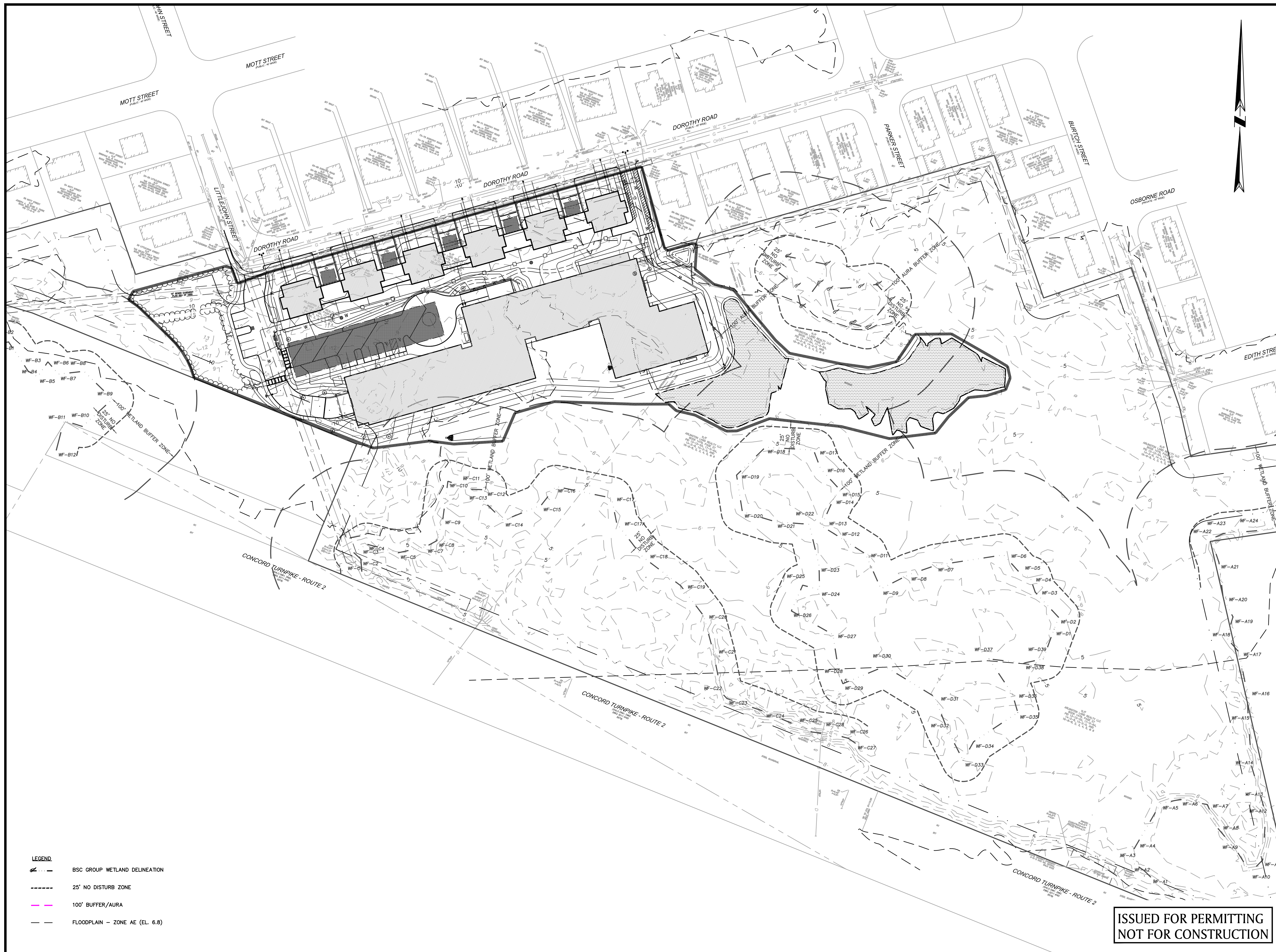
PREPARED FOR:
ARLINGTON LAND REALTY, LLC
84 SHERMAN STREET, 2ND FLOOR
CAMBRIDGE, MA 02140

BSC GROUP
803 Summer Street
Boston, Massachusetts
02127
617 896 4300

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DWG.:
JOB. NO: 23407.00 SHEET C-101



- LEGEND**
- BSC GROUP WETLAND DELINEATION
 - 25' NO DISTURB ZONE
 - 100' BUFFER/AURA
 - FLOODPLAIN - ZONE AE (EL. 6.8)

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PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
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MASSACHUSETTS
(MIDDLESEX COUNTY)

OVERALL SITE PLAN

MARCH 13, 2020

REVISIONS:

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1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING
4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

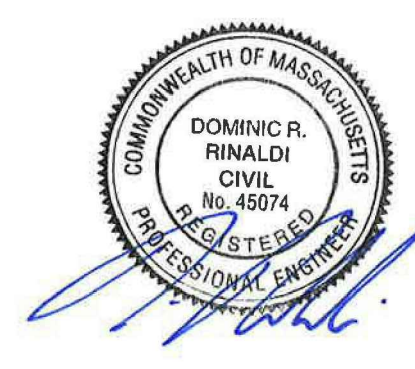
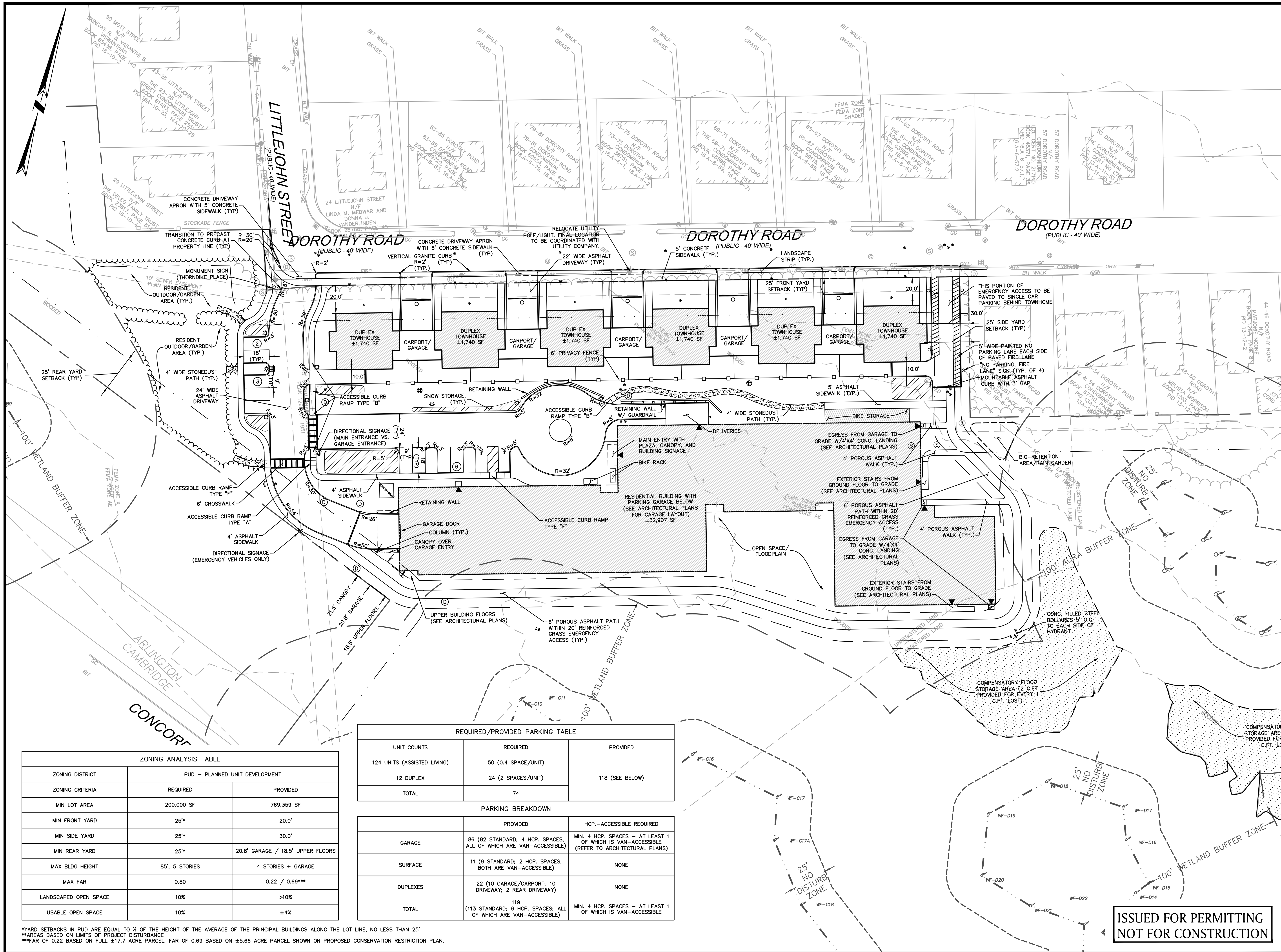
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0 25 50 100 FEET

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THORNDIKE PLACE

DOROTHY ROAD
IN
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(MIDDLESEX COUNTY)

LAYOUT & MATERIALS PLAN

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	10/22/20	WETLAND DELINEATION
3	11/03/20	REVISED BUILDING
4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

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ZONING ANALYSIS TABLE

ZONING DISTRICT	PUD - PLANNED UNIT DEVELOPMENT	
ZONING CRITERIA	REQUIRED	PROVIDED
MIN LOT AREA	200,000 SF	769,359 SF
MIN FRONT YARD	25'	20.0'
MIN SIDE YARD	25'	30.0'
MIN REAR YARD	25'	20.8' GARAGE / 18.5' UPPER FLOORS
MAX BLDG HEIGHT	85', 5 STORIES	4 STORIES + GARAGE
MAX FAR	0.80	0.22 / 0.69***
LANDSCAPED OPEN SPACE	10%	>10%
USABLE OPEN SPACE	10%	±4%

REQUIRED/PROVIDED PARKING TABLE

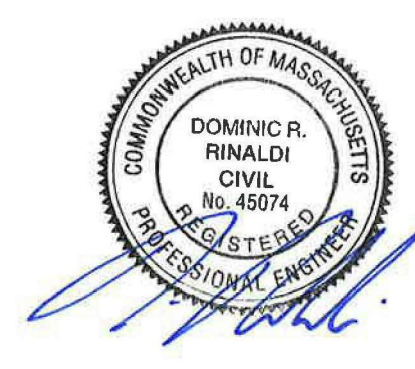
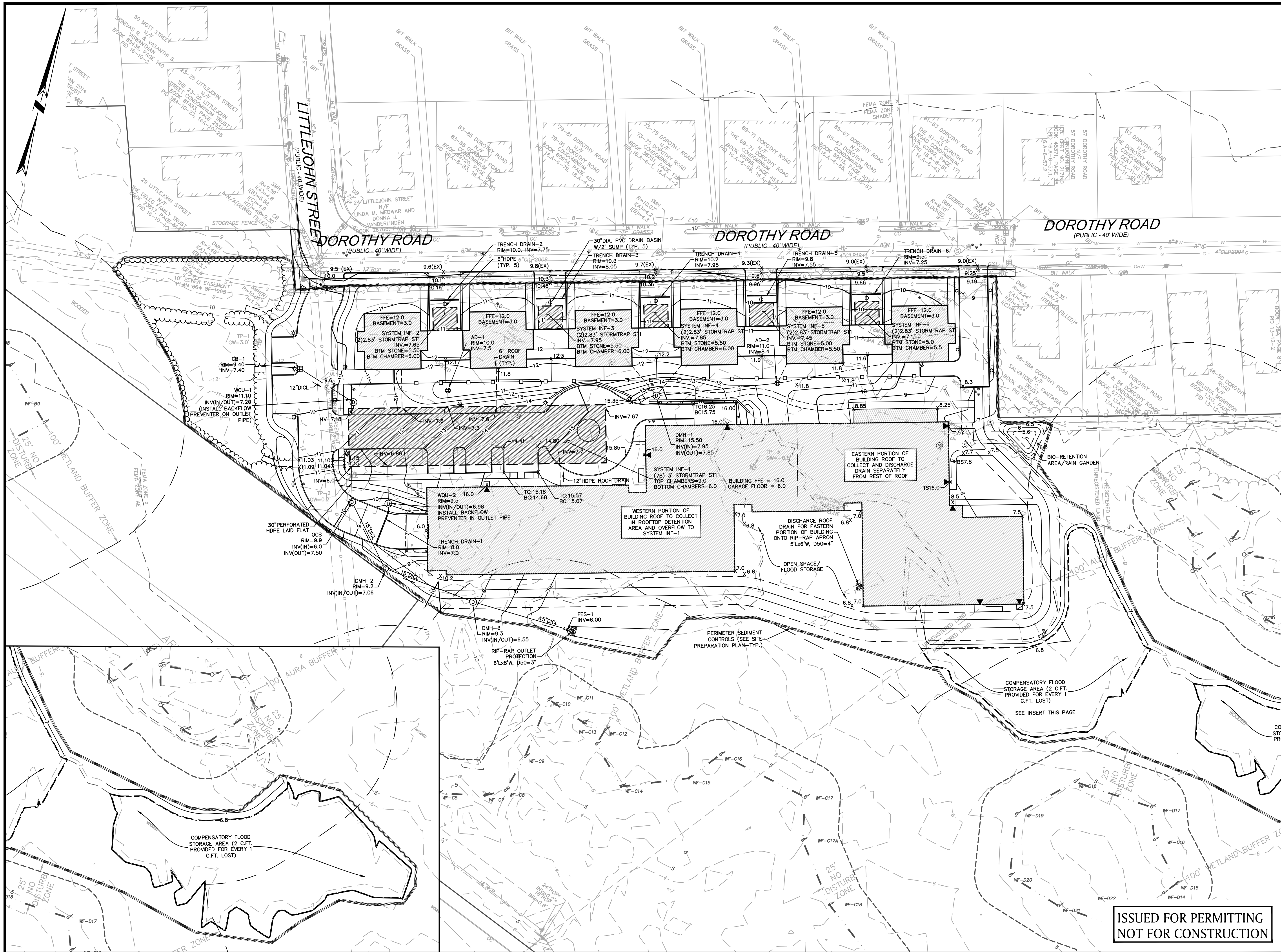
UNIT COUNTS	REQUIRED	PROVIDED
124 UNITS (ASSISTED LIVING)	50 (0.4 SPACE/UNIT)	118 (SEE BELOW)
12 DUPLEX	24 (2 SPACES/UNIT)	
TOTAL	74	

PARKING BREAKDOWN

	PROVIDED	HCP.-ACCESSIBLE REQUIRED
GARAGE	86 (82 STANDARD; 4 HCP. SPACES; ALL OF WHICH ARE VAN-ACCESSIBLE)	MIN. 4 HCP. SPACES - AT LEAST 1 OF WHICH IS VAN-ACCESSIBLE (REFER TO ARCHITECTURAL PLANS)
SURFACE	11 (9 STANDARD; 2 HCP. SPACES, BOTH ARE VAN-ACCESSIBLE)	NONE
DUPLEXES	22 (10 GARAGE/CARPORY; 10 DRIVEWAY; 2 REAR DRIVEWAY)	NONE
TOTAL	119 (113 STANDARD; 6 HCP. SPACES; ALL OF WHICH ARE VAN-ACCESSIBLE)	MIN. 4 HCP. SPACES - AT LEAST 1 OF WHICH IS VAN-ACCESSIBLE

*YARD SETBACKS IN PUD ARE EQUAL TO 1/4 OF THE HEIGHT OF THE AVERAGE OF THE PRINCIPAL BUILDINGS ALONG THE LOT LINE, NO LESS THAN 25'
**AREAS BASED ON LIMITS OF PROJECT DISTURBANCE
***FAR OF 0.22 BASED ON FULL ±17.7 ACRE PARCEL. FAR OF 0.69 BASED ON ±5.66 ACRE PARCEL SHOWN ON PROPOSED CONSERVATION RESTRICTION PLAN.

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PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
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(MIDDLESEX COUNTY)

**GRADING &
DRAINAGE PLAN**

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
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6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

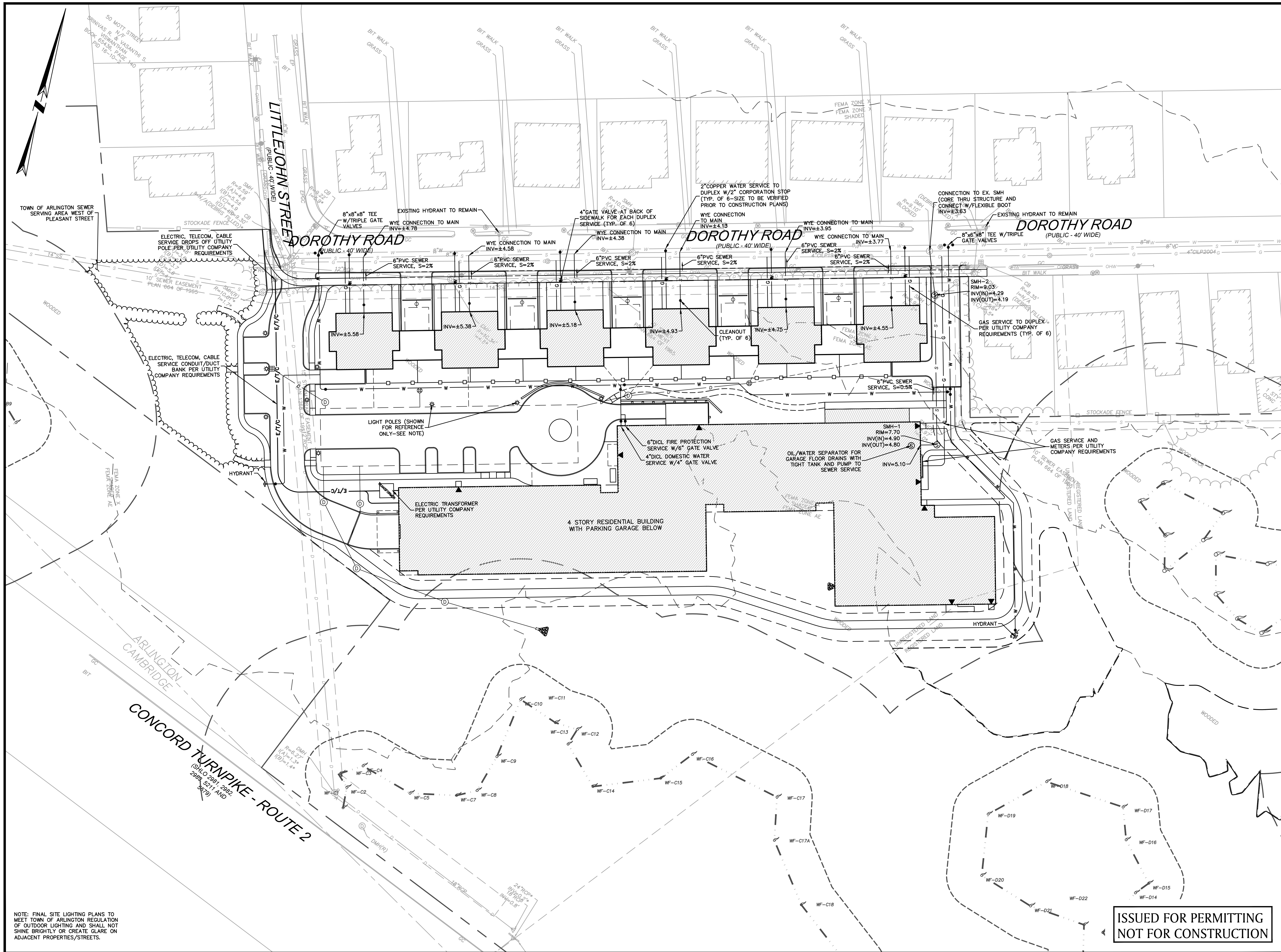
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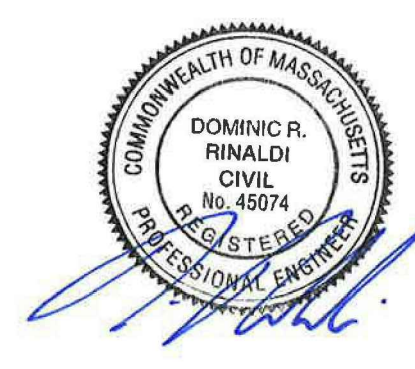
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0 15 30 60 FEET

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DWG.:
JOB. NO: 23407.00 SHEET C-104

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NOTE: FINAL SITE LIGHTING PLANS TO MEET TOWN OF ARLINGTON REGULATION OF OUTDOOR LIGHTING AND SHALL NOT SHINE BRIGHTLY OR CREATE GLARE ON ADJACENT PROPERTIES/STREETS.



PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

UTILITY PLAN

MARCH 13, 2020

REVISIONS:

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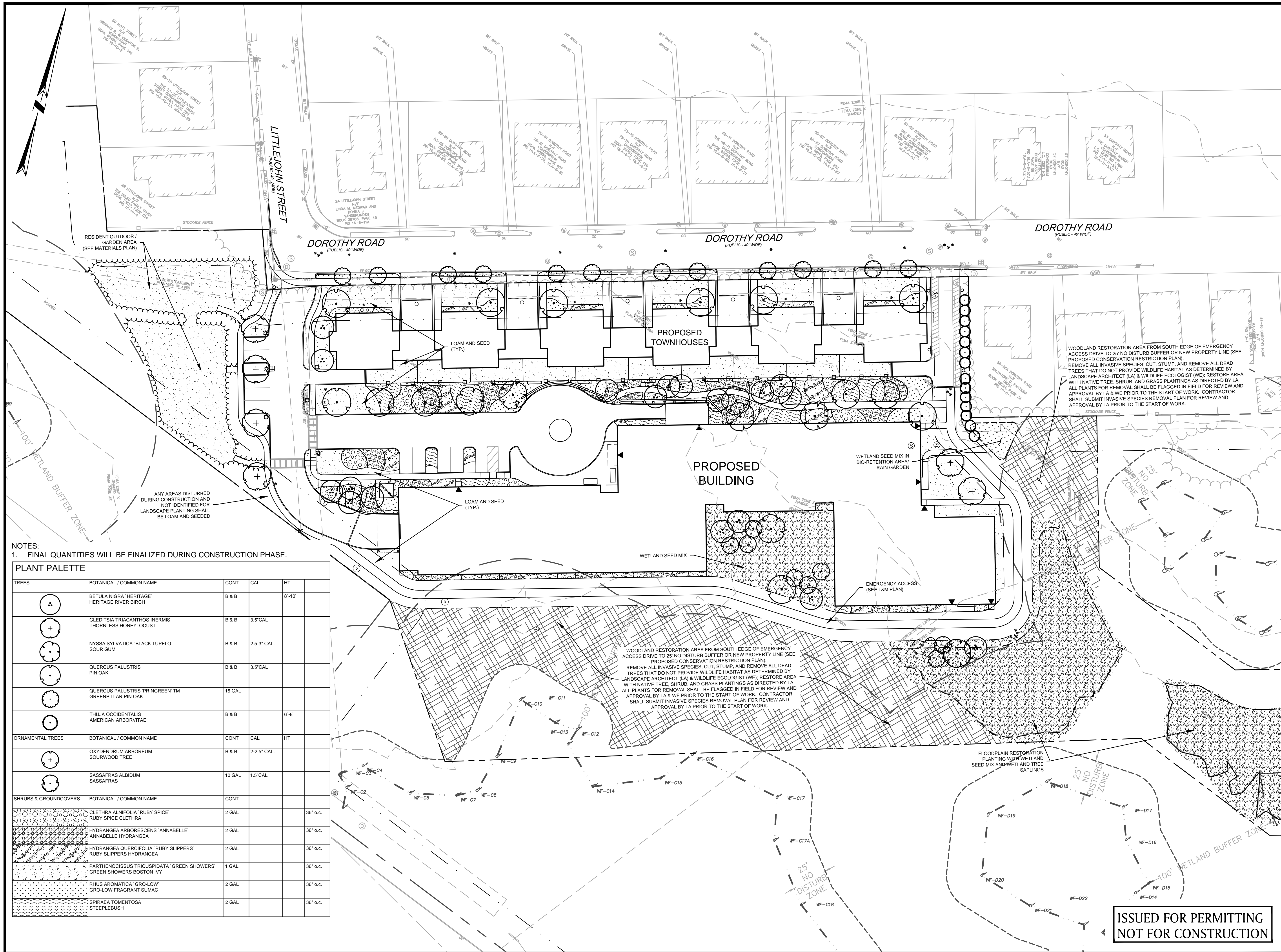
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JOB: NO: 23407.00
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REGISTERED LANDSCAPE ARCHITECT

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

PLANTING PLAN

MARCH 13, 2020

NOTES:
1. FINAL QUANTITIES WILL BE FINALIZED DURING CONSTRUCTION PHASE.

PLANT PALETTE				
TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT
	BETULA NIGRA 'HERITAGE' HERITAGE RIVER BIRCH	B & B		8'-10'
	GLEDITSIA TRIACANTHOS INERMIS THORNLESS HONEYLOCUST	B & B	3.5" CAL	
	NYSSA SYLVATICA 'BLACK TUPELO' SOUR GUM	B & B	2.5-3" CAL	
	QUERCUS PALUSTRIS PIN OAK	B & B	3.5" CAL	
	QUERCUS PALUSTRIS 'PRINGREEN' TM GREENPILLAR PIN OAK	15 GAL		
	THUJA OCCIDENTALIS AMERICAN ARBORVITAE	B & B		6'-8'
ORNAMENTAL TREES	BOTANICAL / COMMON NAME	CONT	CAL	HT
	OXYDENDRUM ARBOREUM SOURWOOD TREE	B & B	2-2.5" CAL	
	SASSAFRAS ALBIDUM SASSAFRAS	10 GAL	1.5" CAL	
SHRUBS & GROUNDCOVERS	BOTANICAL / COMMON NAME	CONT		
	CLETHRA ALNIFOLIA 'RUBY SPICE' RUBY SPICE CLETHRA	2 GAL		36" o.c.
	HYDRANGEA ARBORESCENS 'ANNABELLE' ANNABELLE HYDRANGEA	2 GAL		36" o.c.
	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS' RUBY SLIPPERS HYDRANGEA	2 GAL		36" o.c.
	PARTHENOCISSUS TRICUSPIDATA 'GREEN SHOWERS' GREEN SHOWERS BOSTON IVY	1 GAL		36" o.c.
	RHUS AROMATICA 'GRO-LOW' GRO-LOW FRAGRANT SUMAC	2 GAL		36" o.c.
	SPIRAEA TOMENTOSA STEEPLEBUSH	2 GAL		36" o.c.

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4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

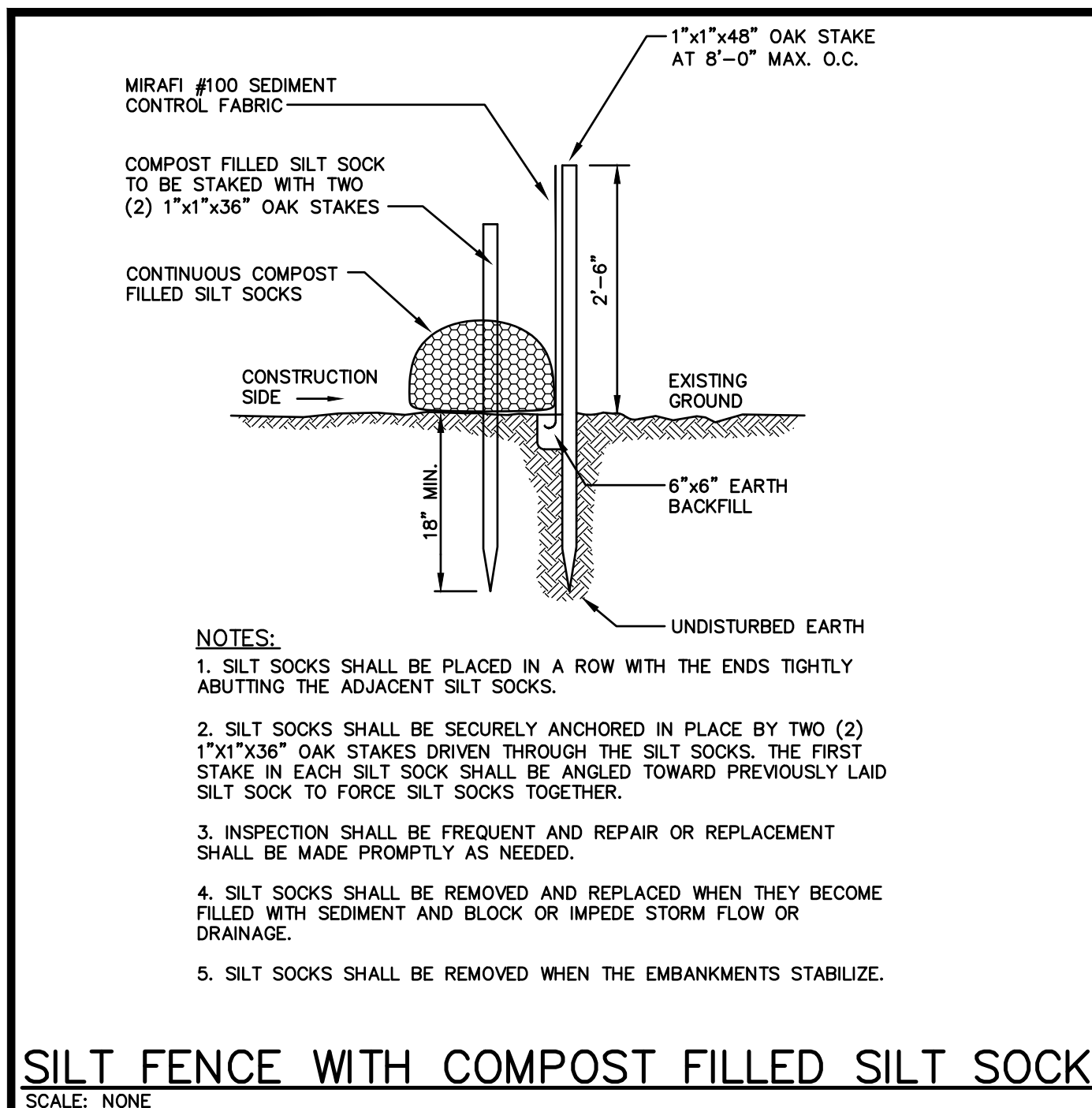
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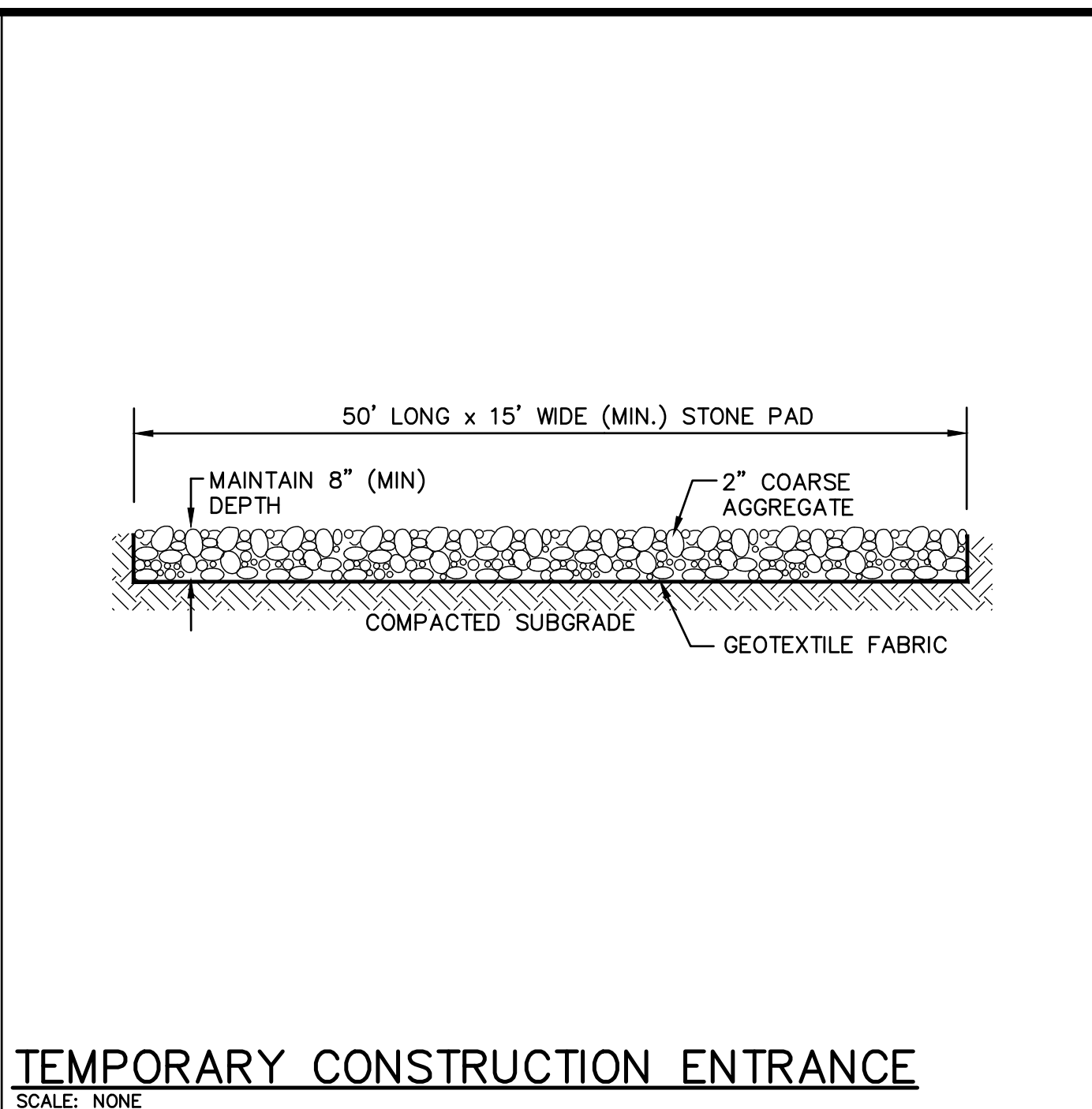
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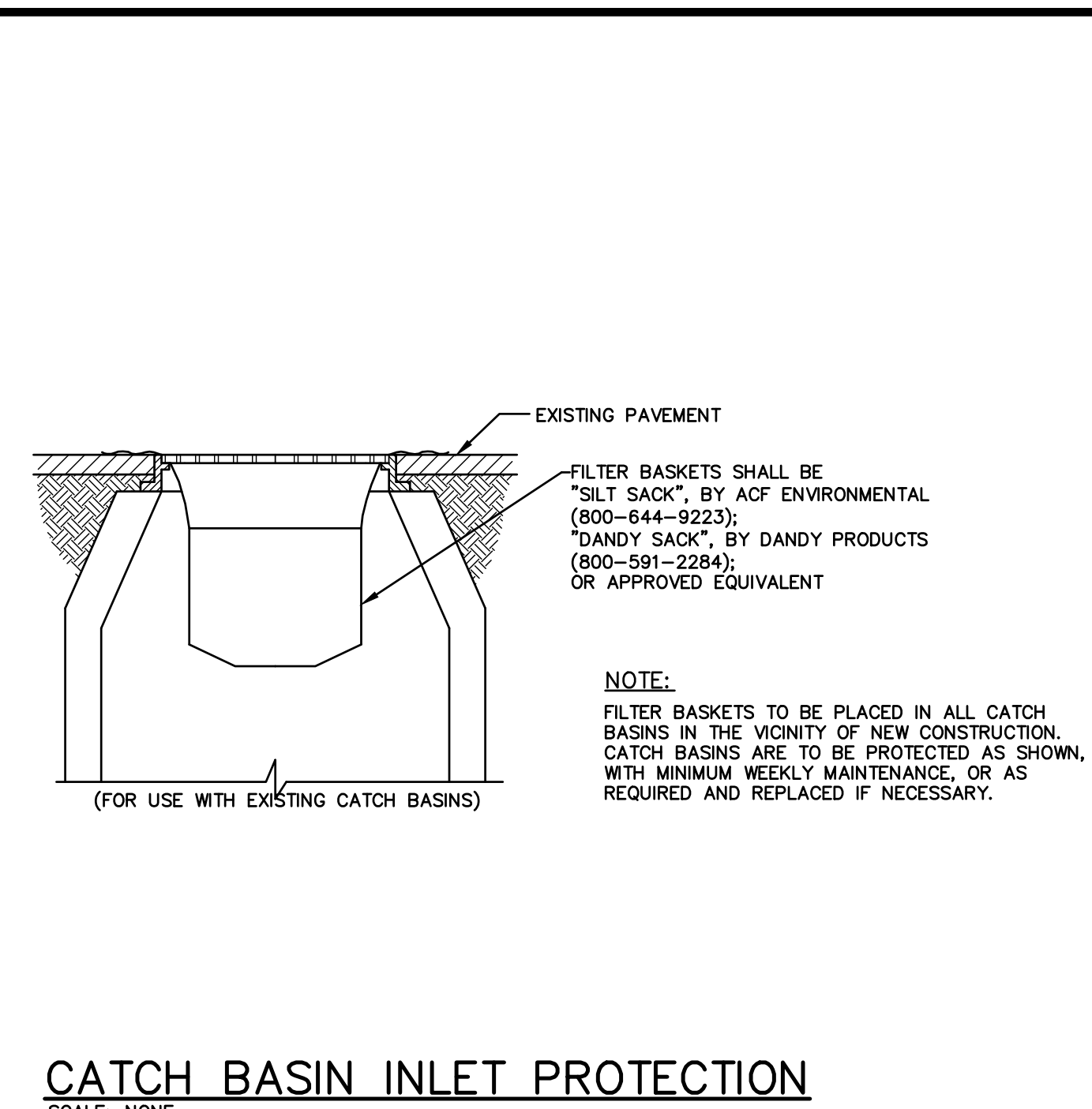
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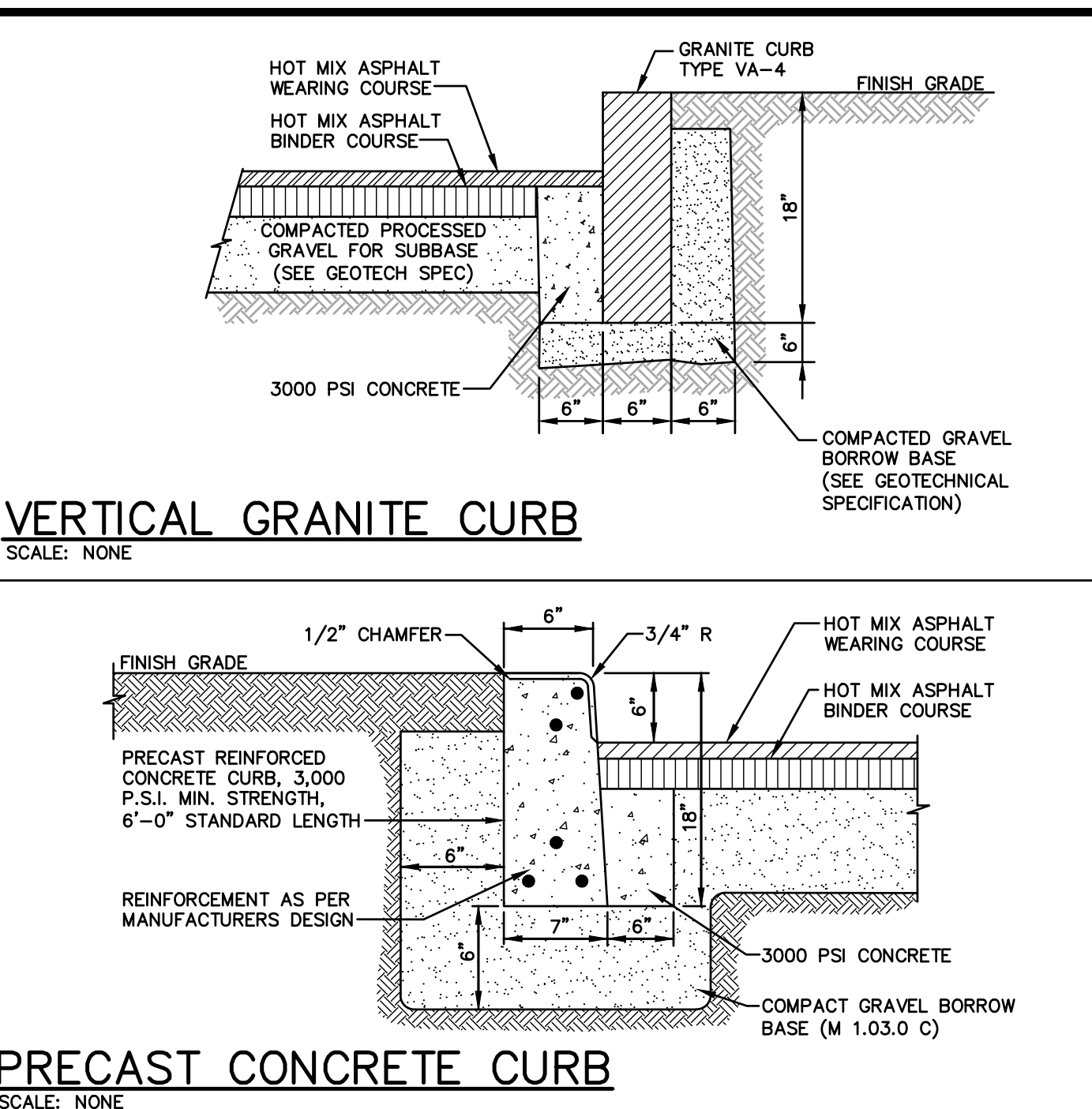
SILT FENCE WITH COMPOST FILLED SILT SOCK
SCALE: NONE



TEMPORARY CONSTRUCTION ENTRANCE
SCALE: NONE

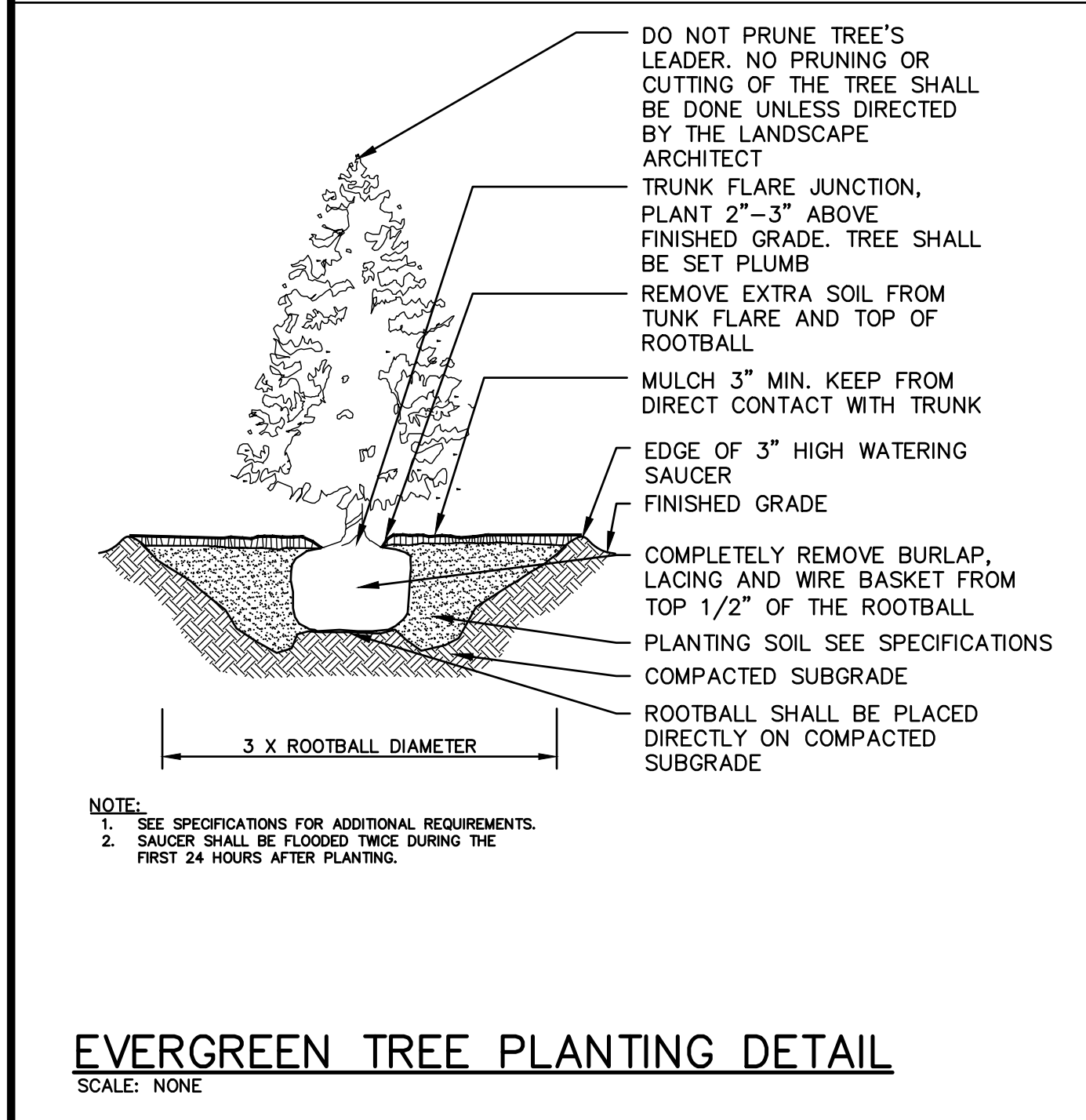


CATCH BASIN INLET PROTECTION
SCALE: NONE

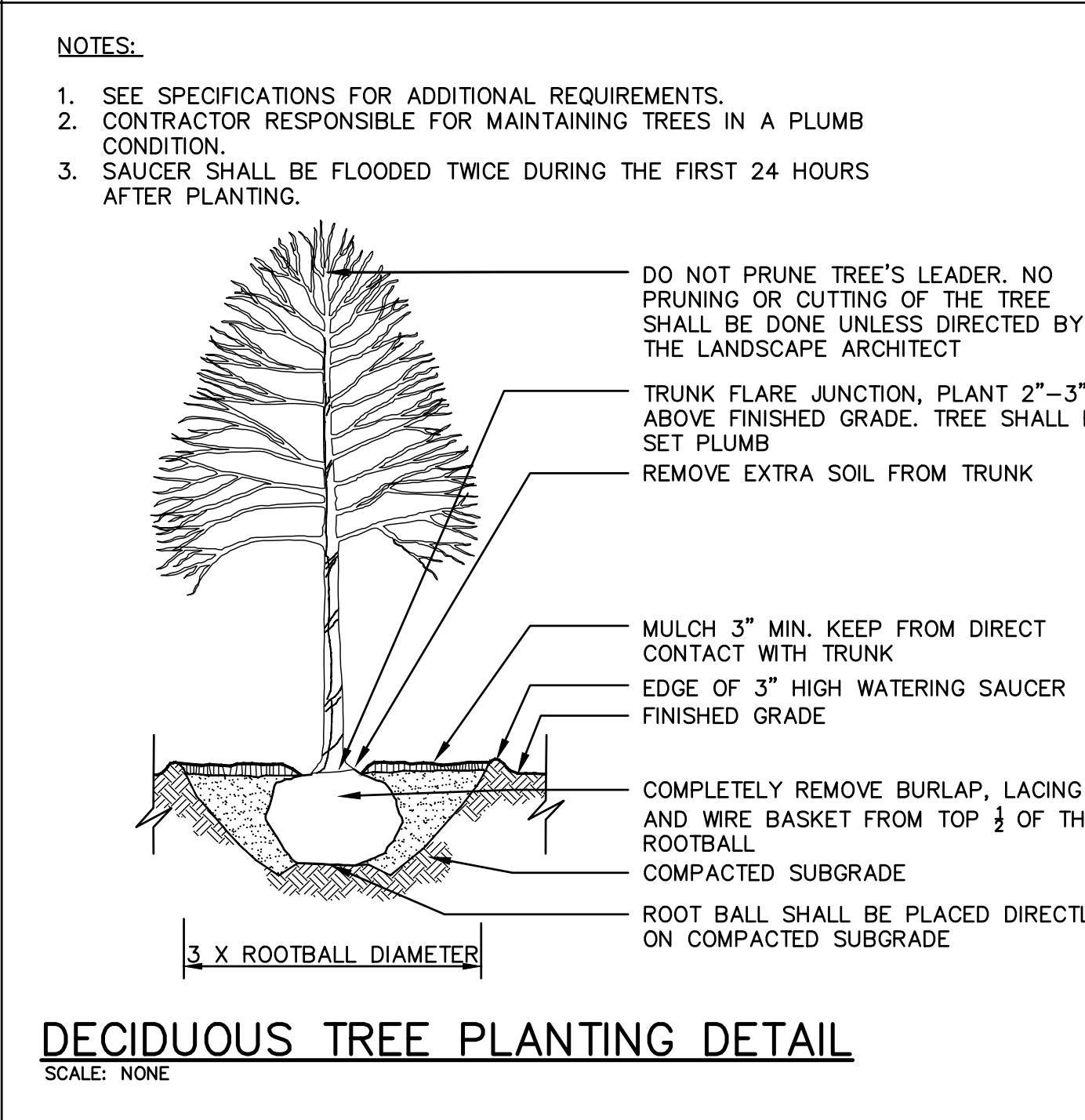


VERTICAL GRANITE CURB
SCALE: NONE

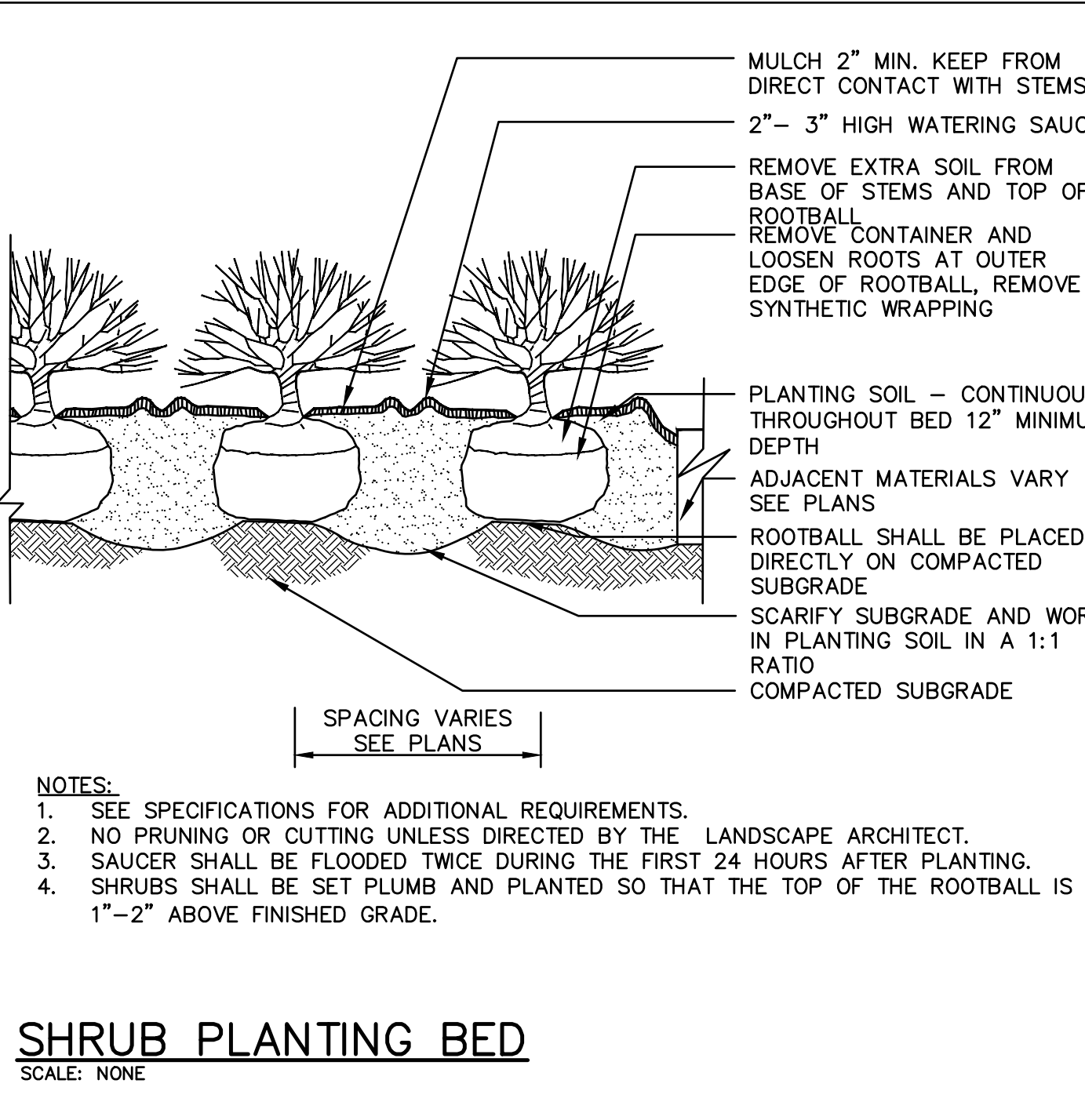
PRECAST CONCRETE CURB
SCALE: NONE



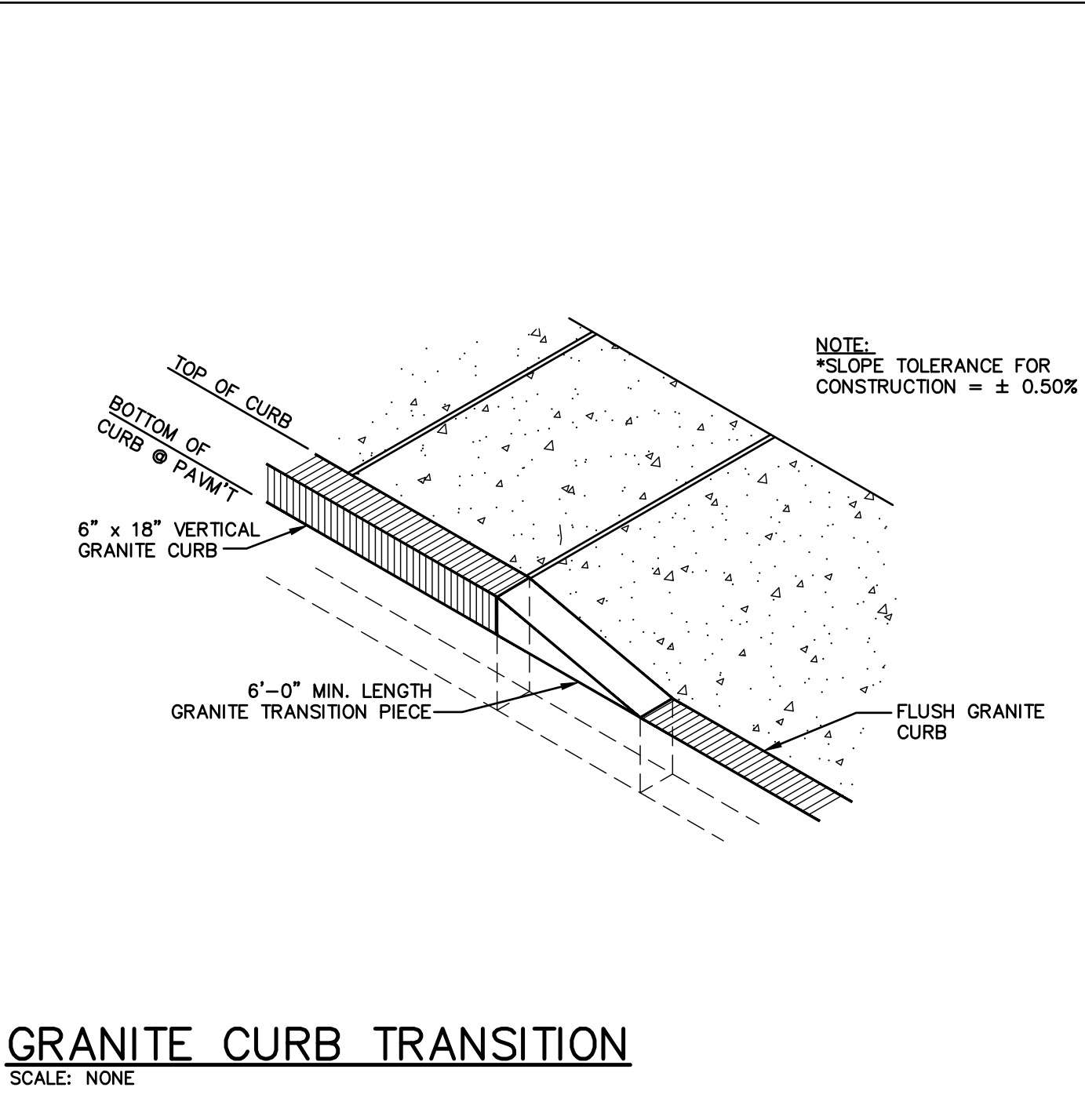
EVERGREEN TREE PLANTING DETAIL
SCALE: NONE



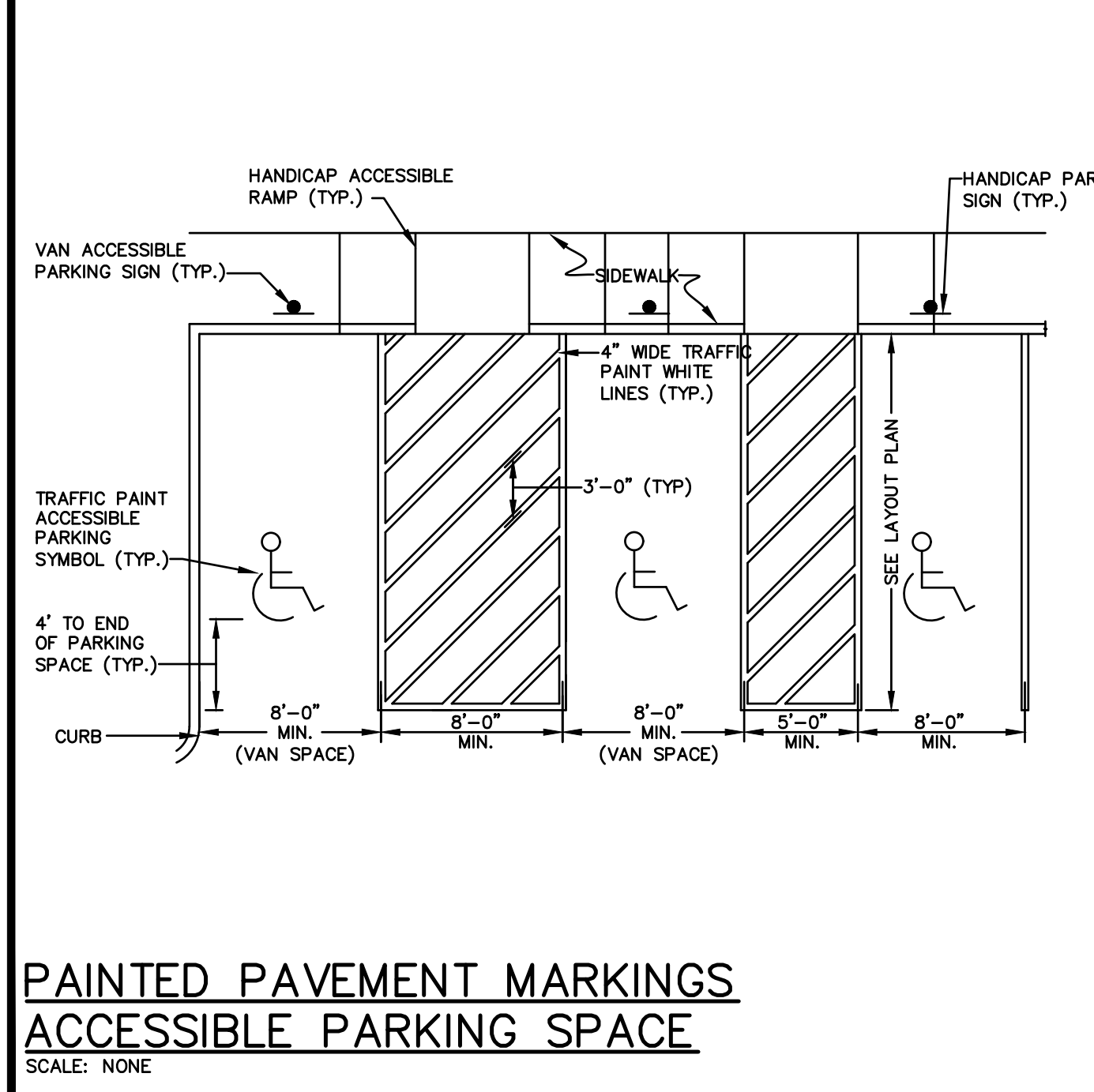
DECIDUOUS TREE PLANTING DETAIL
SCALE: NONE



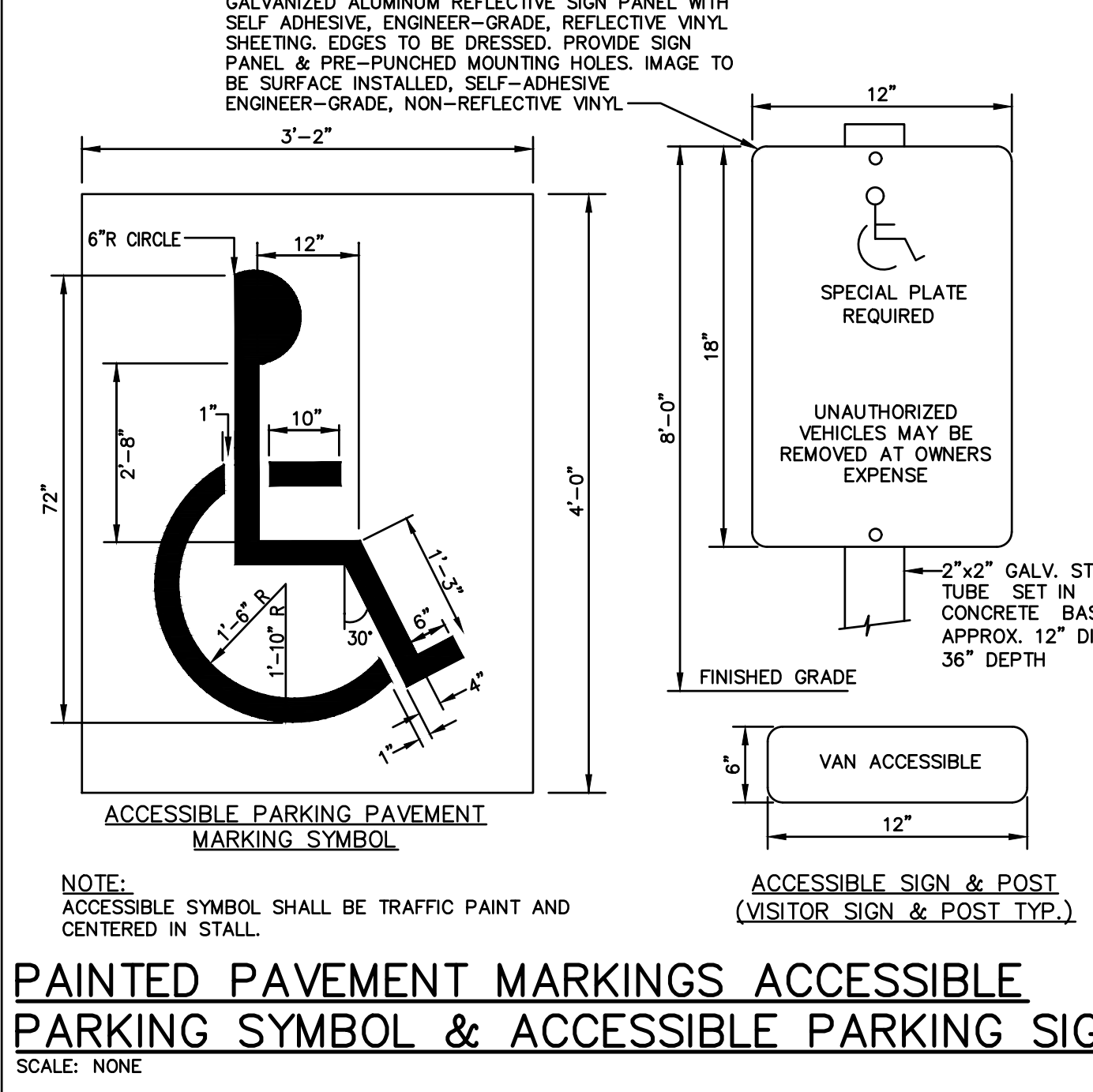
SHRUB PLANTING BED
SCALE: NONE



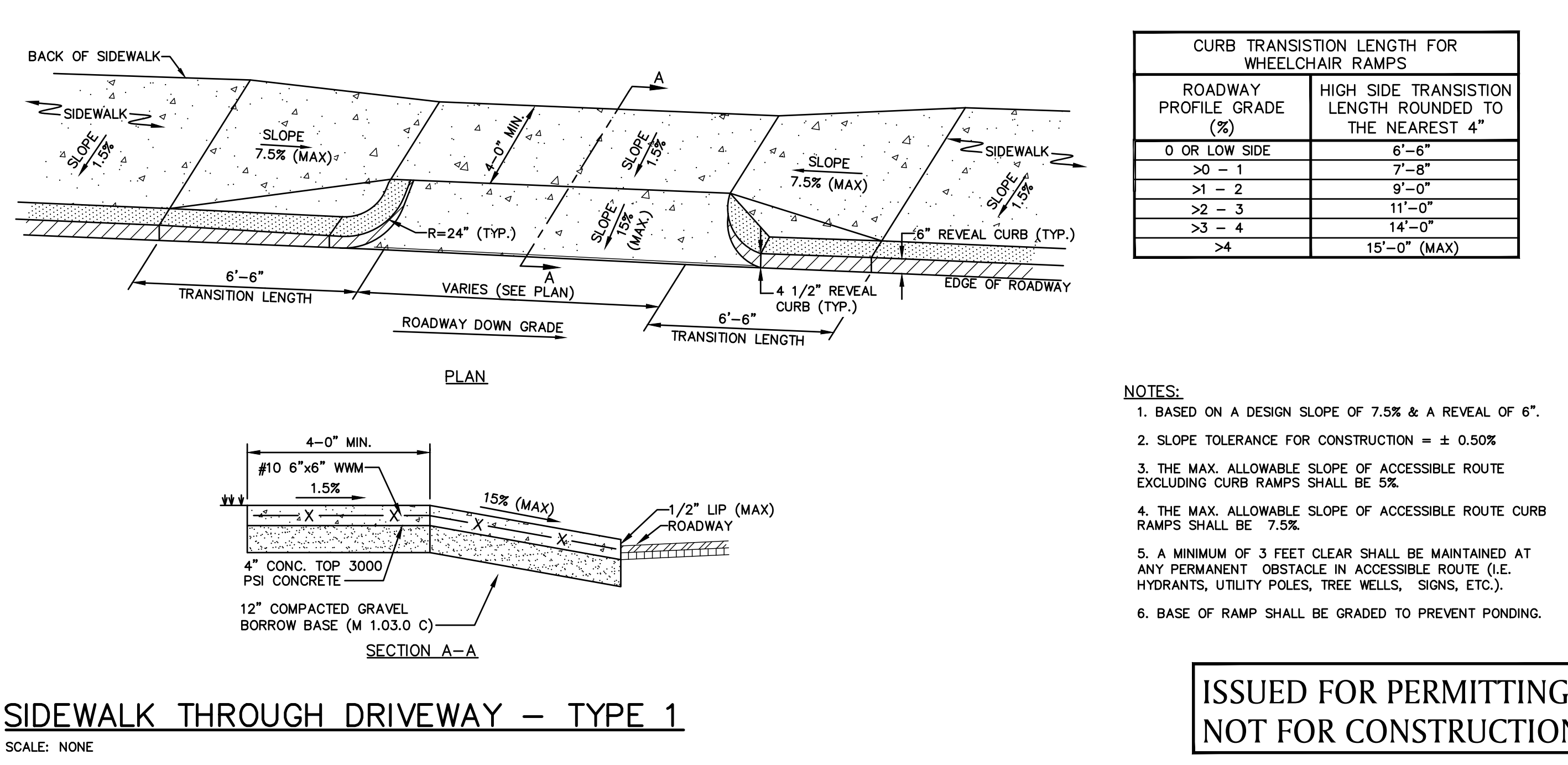
GRANITE CURB TRANSITION
SCALE: NONE



PAINTED PAVEMENT MARKINGS ACCESSIBLE PARKING SPACE
SCALE: NONE



PAINTED PAVEMENT MARKINGS ACCESSIBLE PARKING SYMBOL & ACCESSIBLE PARKING SIGN
SCALE: NONE



SIDEWALK THROUGH DRIVEWAY - TYPE 1
SCALE: NONE



PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE
DETAILS

MARCH 13, 2020

REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING
3	1/21/21	RESPONSE TO PEER REVIEW
4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

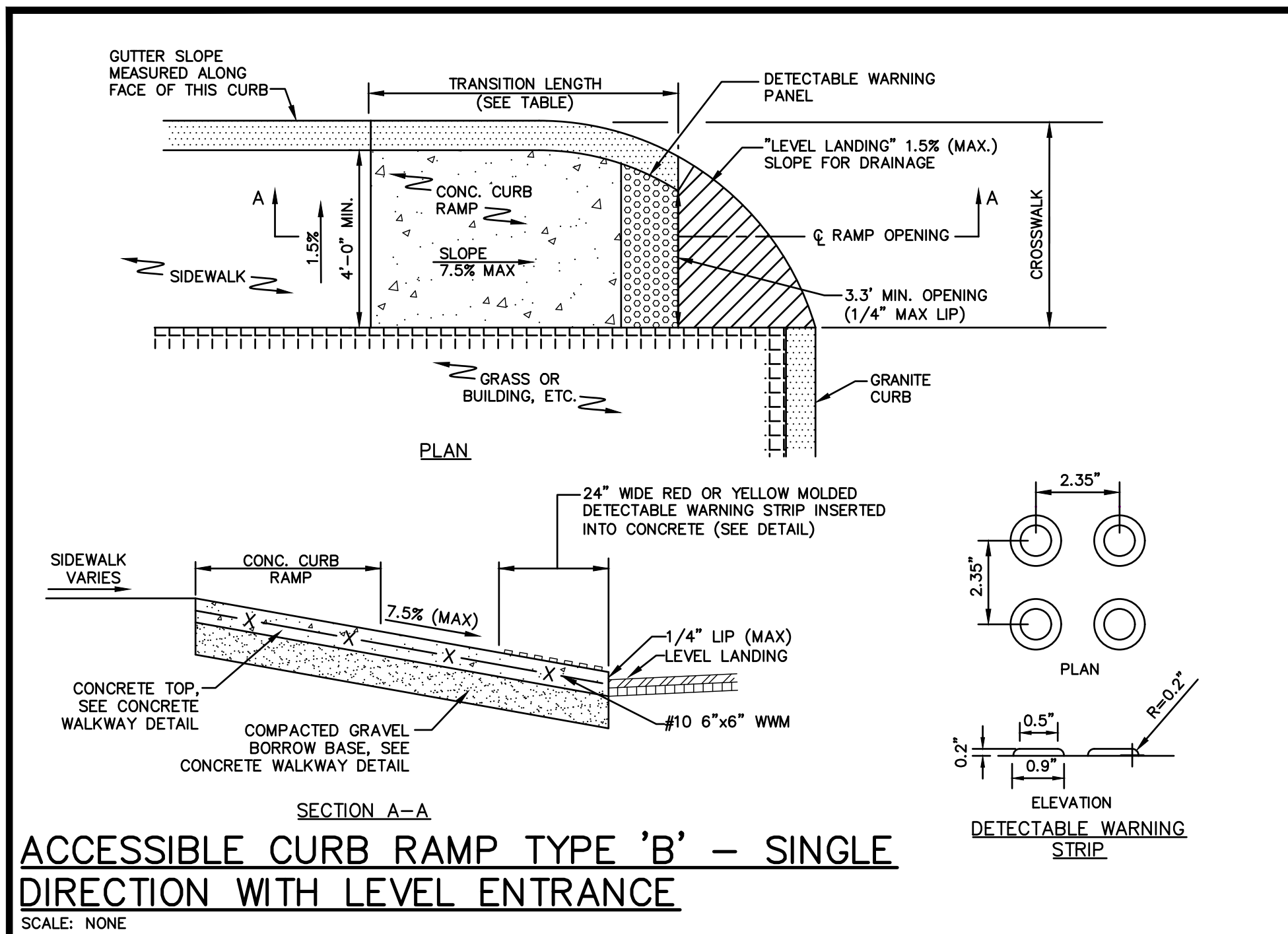
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SCALE: AS NOTED

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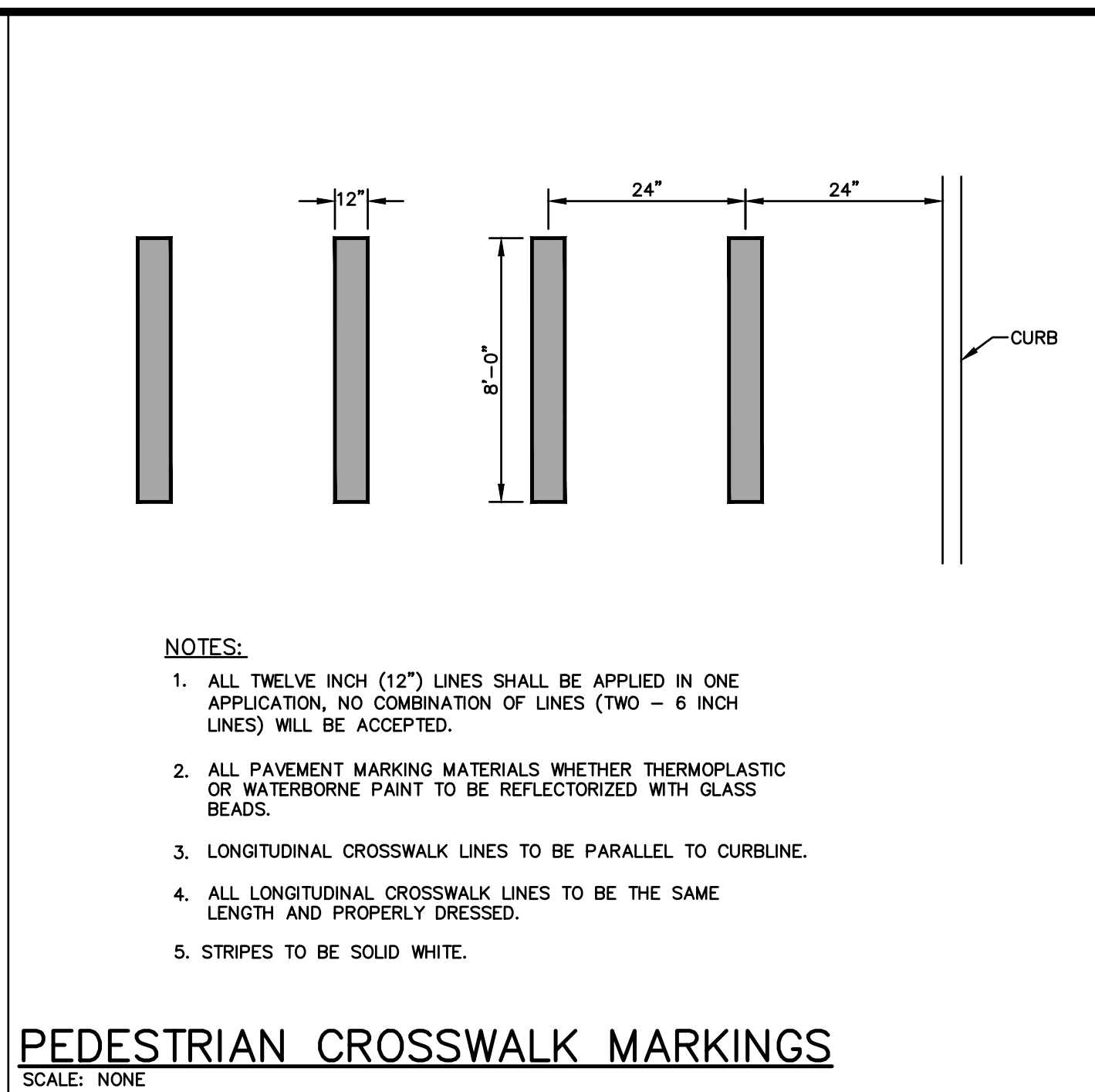
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ACCESSIBLE CURB RAMP TYPE 'B' - SINGLE DIRECTION WITH LEVEL ENTRANCE
SCALE: NONE

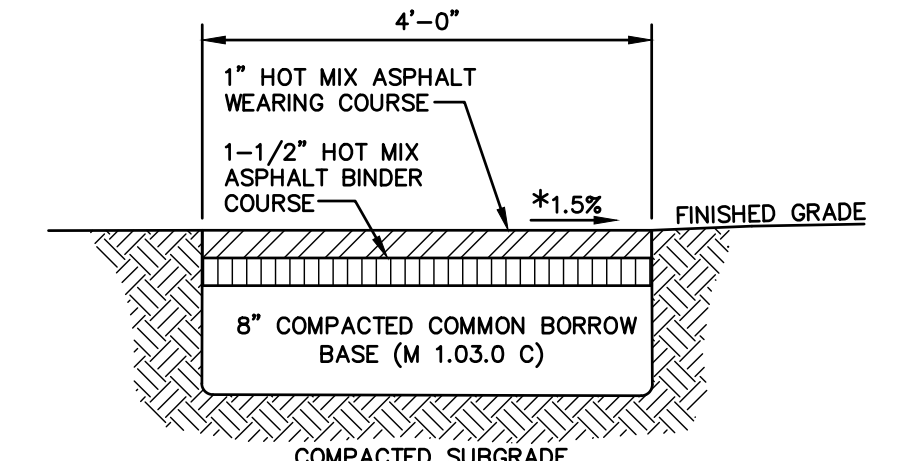
CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

- NOTES:**
1. SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = ± 0.50%
 2. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.



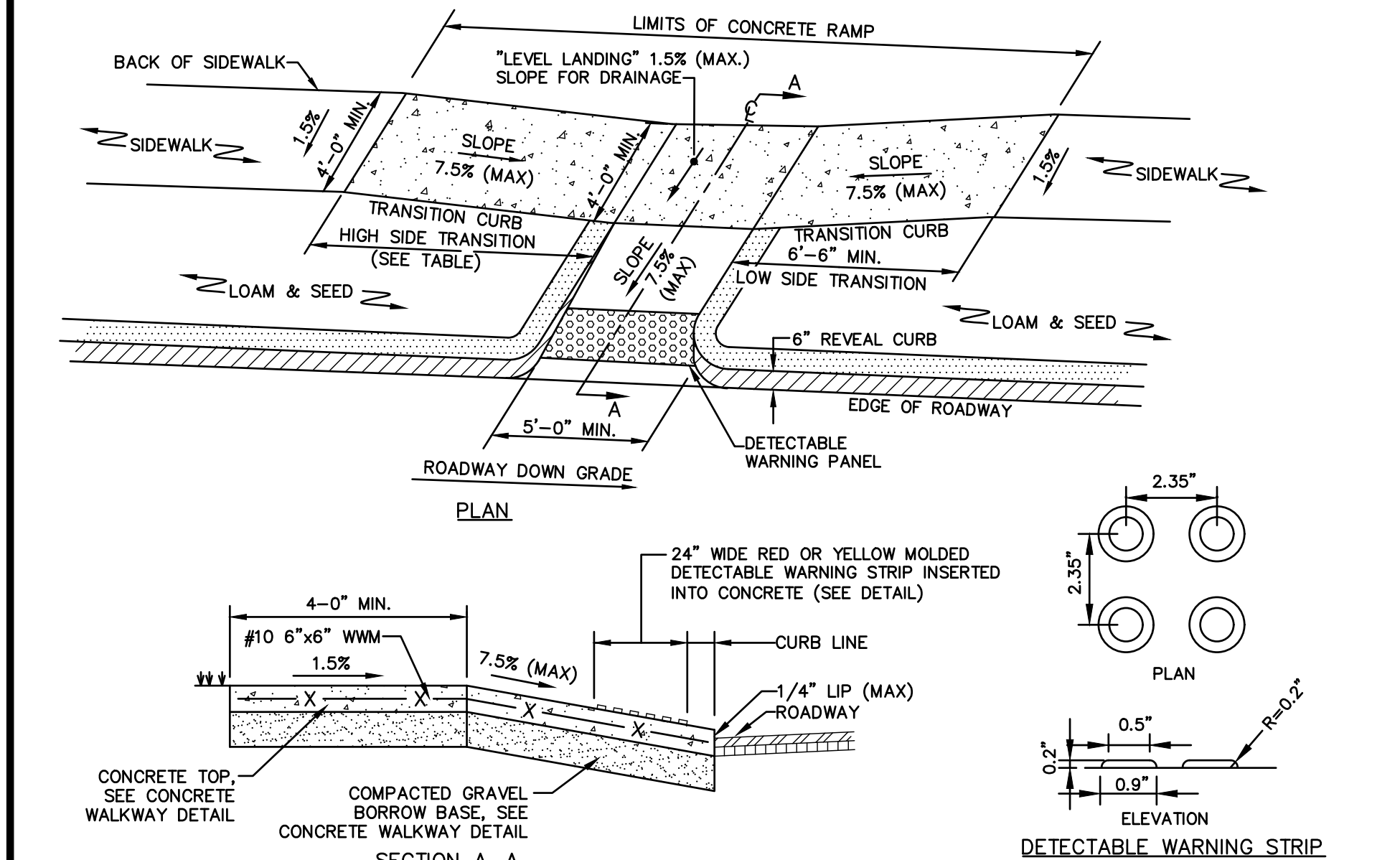
PEDESTRIAN CROSSWALK MARKINGS
SCALE: NONE

- NOTES:**
1. ALL TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION. NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
 2. ALL PAVEMENT MARKING MATERIALS WHETHER THERMOPLASTIC OR WATERBORNE PAINT TO BE REFLECTORIZED WITH GLASS BEADS.
 3. LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURBLINE.
 4. ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY DRESSED.
 5. STRIPES TO BE SOLID WHITE.



HOT MIX ASPHALT WALKWAY
SCALE: NONE

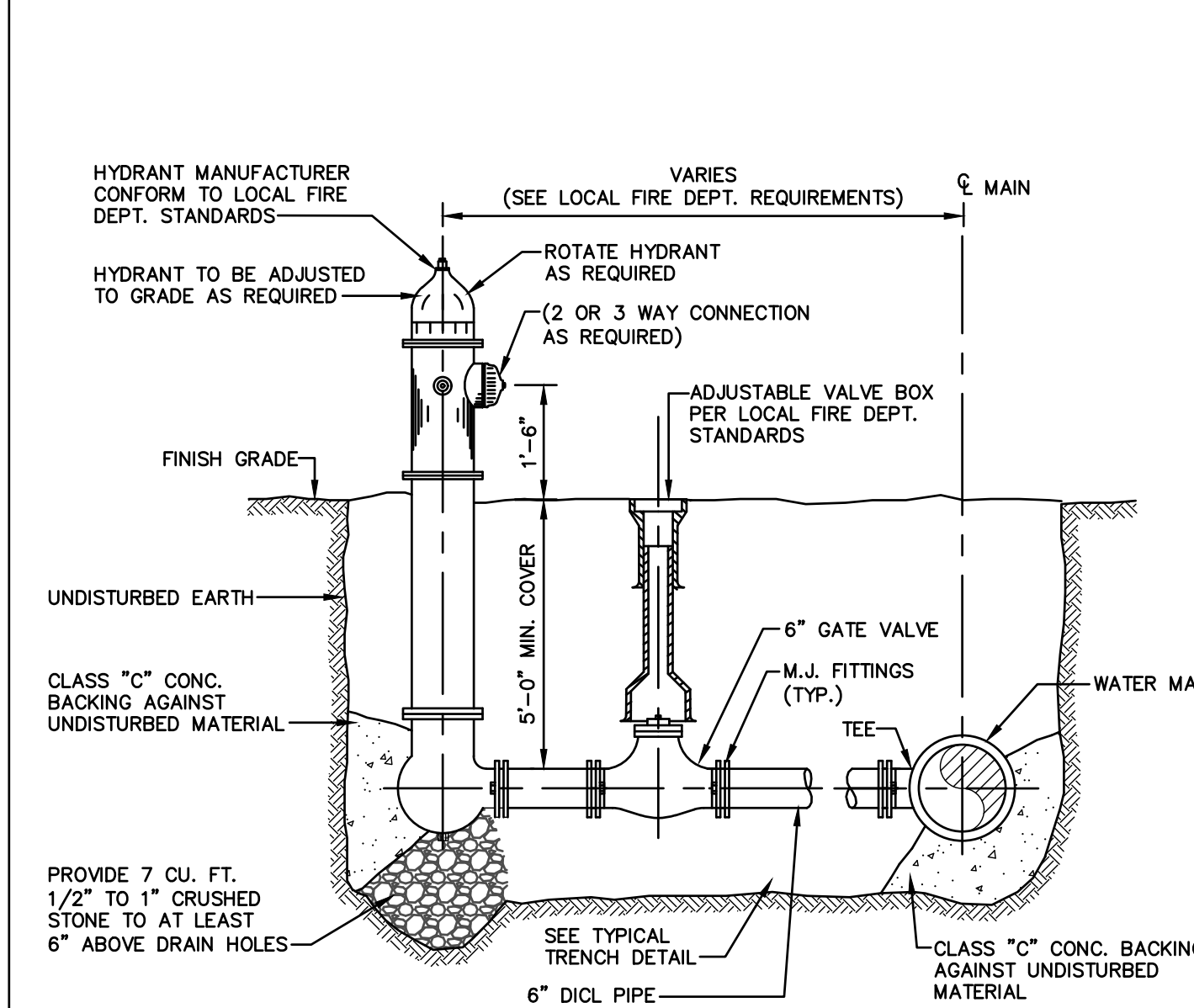
*CONSTRUCTION TOLERANCE = 0.5%



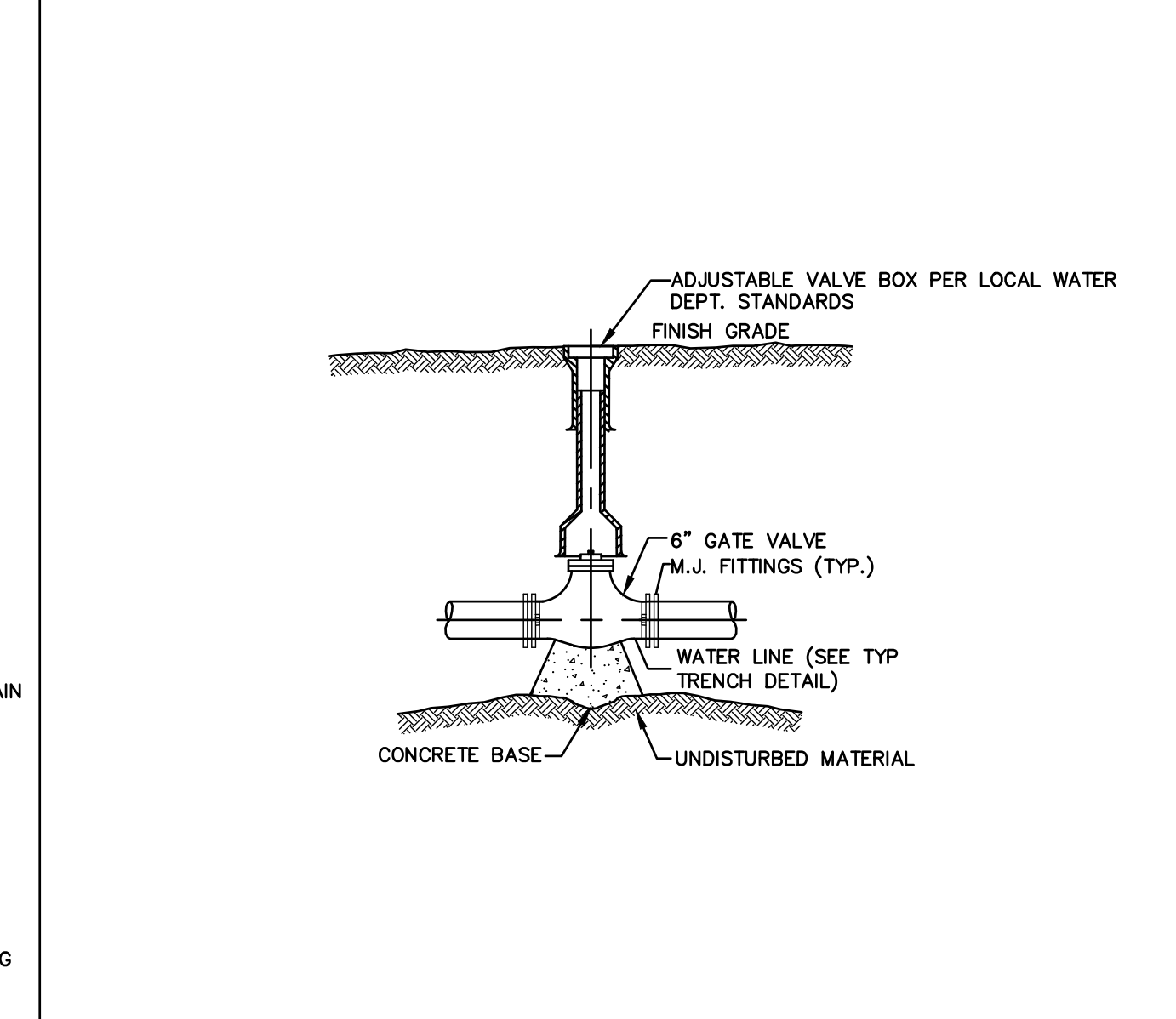
ACCESSIBLE CURB RAMP TYPE 'E' - PARALLEL PERPENDICULAR WITH LANDSCAPING STRIP
SCALE: NONE

CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS	
ROADWAY PROFILE GRADE (%)	HIGH SIDE TRANSITION LENGTH ROUNDED TO THE NEAREST 4"
0 OR LOW SIDE	6'-6"
>0 - 1	7'-8"
>1 - 2	9'-0"
>2 - 3	11'-0"
>3 - 4	14'-0"
>4	15'-0" (MAX)

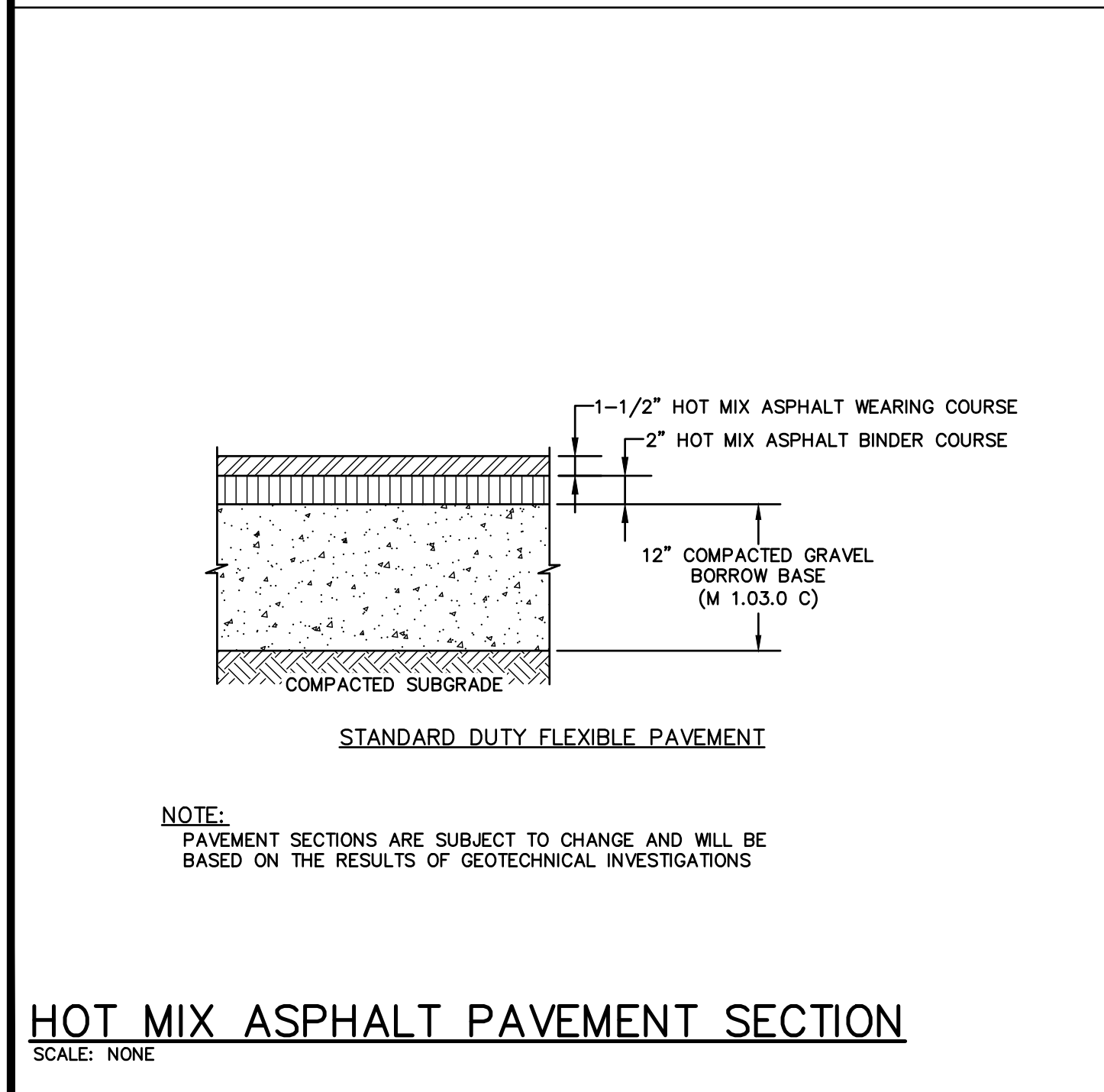
- NOTES:**
1. SLOPE TOLERANCE FOR RAMP AND SIDEWALK CONSTRUCTION = ± 0.50%
 2. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAX. ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.



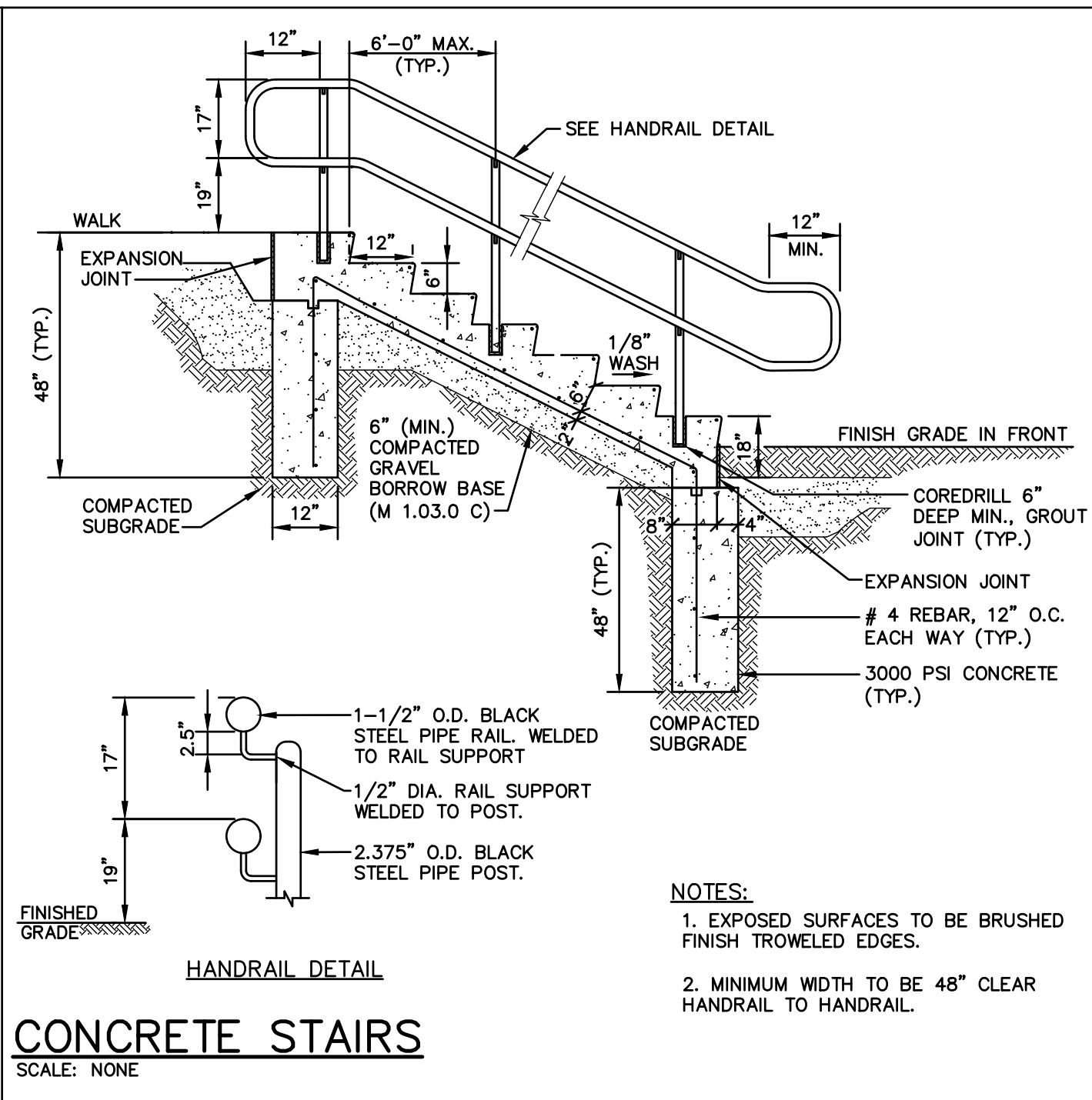
FIRE HYDRANT & VALVE
SCALE: NONE



GATE VALVE
SCALE: NONE

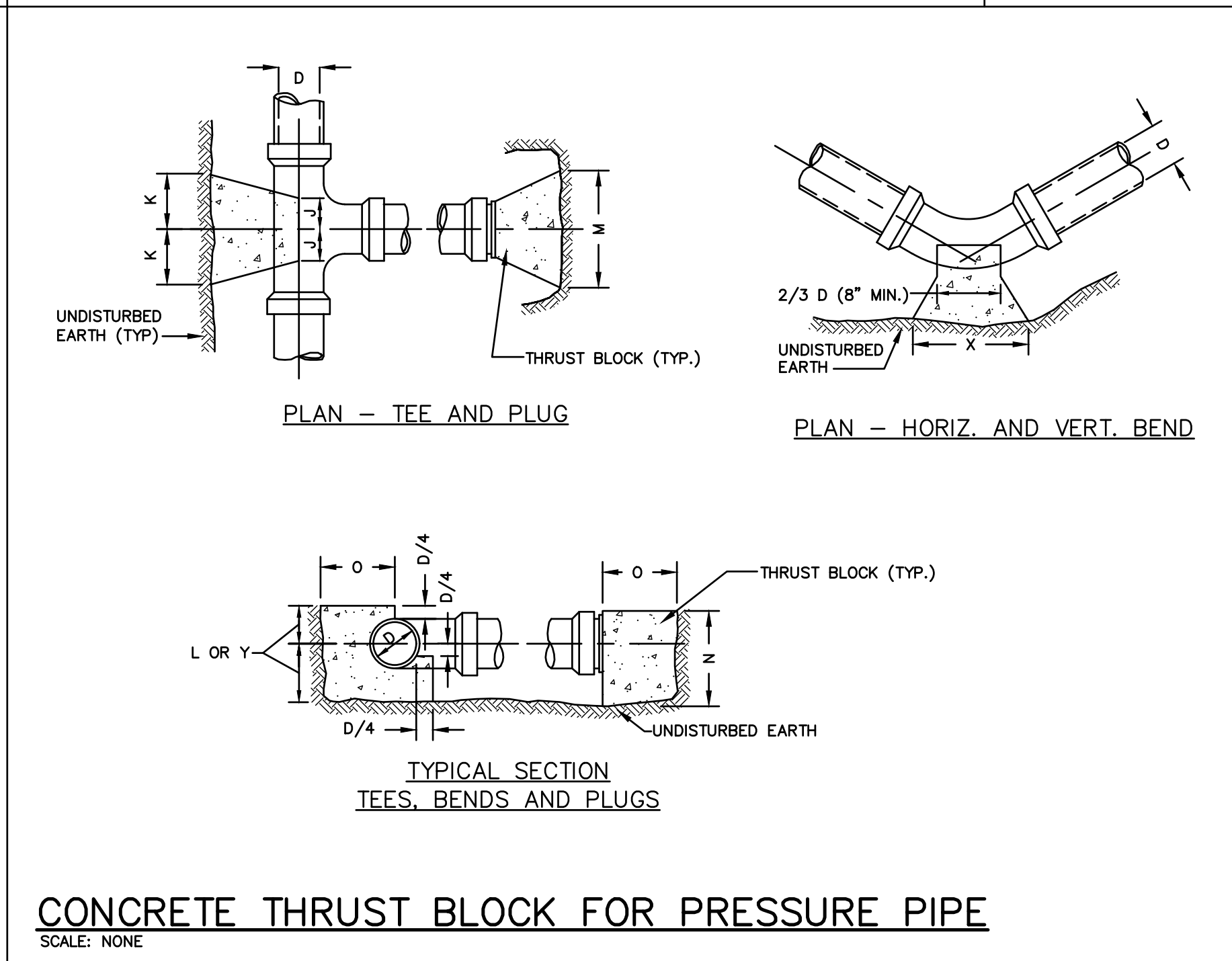


HOT MIX ASPHALT PAVEMENT SECTION
SCALE: NONE



CONCRETE STAIRS
SCALE: NONE

- NOTES:**
1. EXPOSED SURFACES TO BE BRUSHED FINISH TROWELED EDGES.
 2. MINIMUM WIDTH TO BE 48" CLEAR HANDRAIL TO HANDRAIL.



CONCRETE THRUST BLOCK FOR PRESSURE PIPE
SCALE: NONE

SIZE OF BRANCH	J	K	L	M	N	O
4" THRU 8"	10"	10"	1'-0"	2'-0"	1'-6"	10"
10" THRU 16"	1'-0"	1'-6"	1'-8"	3'-10"	2'-10"	1'-8"
24"	1'-4"	2'-0"	2'-6"	5'-0"	3'-6"	1'-8"

TEES AND PLUGS

	90 & 45 BENDS	22 1/2 & 11 1/4
D	4"10"8"10"10"16"	24"4" TO 8"10"10"16" 24"
X	1'-8" 3'-4" 3'-6" 1'-4" 2'-0" 3'-6"	
Y	1'-2" 1'-8" 2'-4" 1'-0" 1'-2" 2'-4"	

BENDS

- NOTES:**
1. PROVIDE 3000 PSI CONCRETE THRUST BLOCKS AT ALL BENDS, DEAD ENDS, & TEES UNLESS OTHERWISE DIRECTED. CONCRETE FOR ALL THRUST BLOCKS TO BE PLACED AGAINST FIRM, UNDISTURBED SOIL. PROVIDE APPROVED ANCHOR HARNESS RODS & SOCKET CLAMPS AS SPECIFIED & IN ACCORDANCE WITH PIPE MANUFACTURERS RECOMMENDATIONS WHERE SOIL HAS BEEN DISTURBED OR THRUST BLOCKS CANNOT BE USED, AS DIRECTED BY THE ENGINEER.
 2. ALL SOCKET CLAMP METAL SHALL BE COATED WITH BLACK ASPHALTUM OR OTHER WATER DEPARTMENT APPROVED COATINGS.
 3. CONCRETE THRUST BLOCKS POURED BEHIND 3-WAY TEE & HYDRANT SHOE TO BE USED WITH SOCKET CLAMPS.
 4. NO CONCRETE SHALL COVER PIPE JOINTS, FITTING JOINTS, BOLTS OR HYDRANT DRAINS.

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PROFESSIONAL ENGINEER

THORNDIKE PLACE

DOROTHY ROAD
IN
ARLINGTON
MASSACHUSETTS
(MIDDLESEX COUNTY)

CIVIL & LANDSCAPE
DETAILS

MARCH 13, 2020

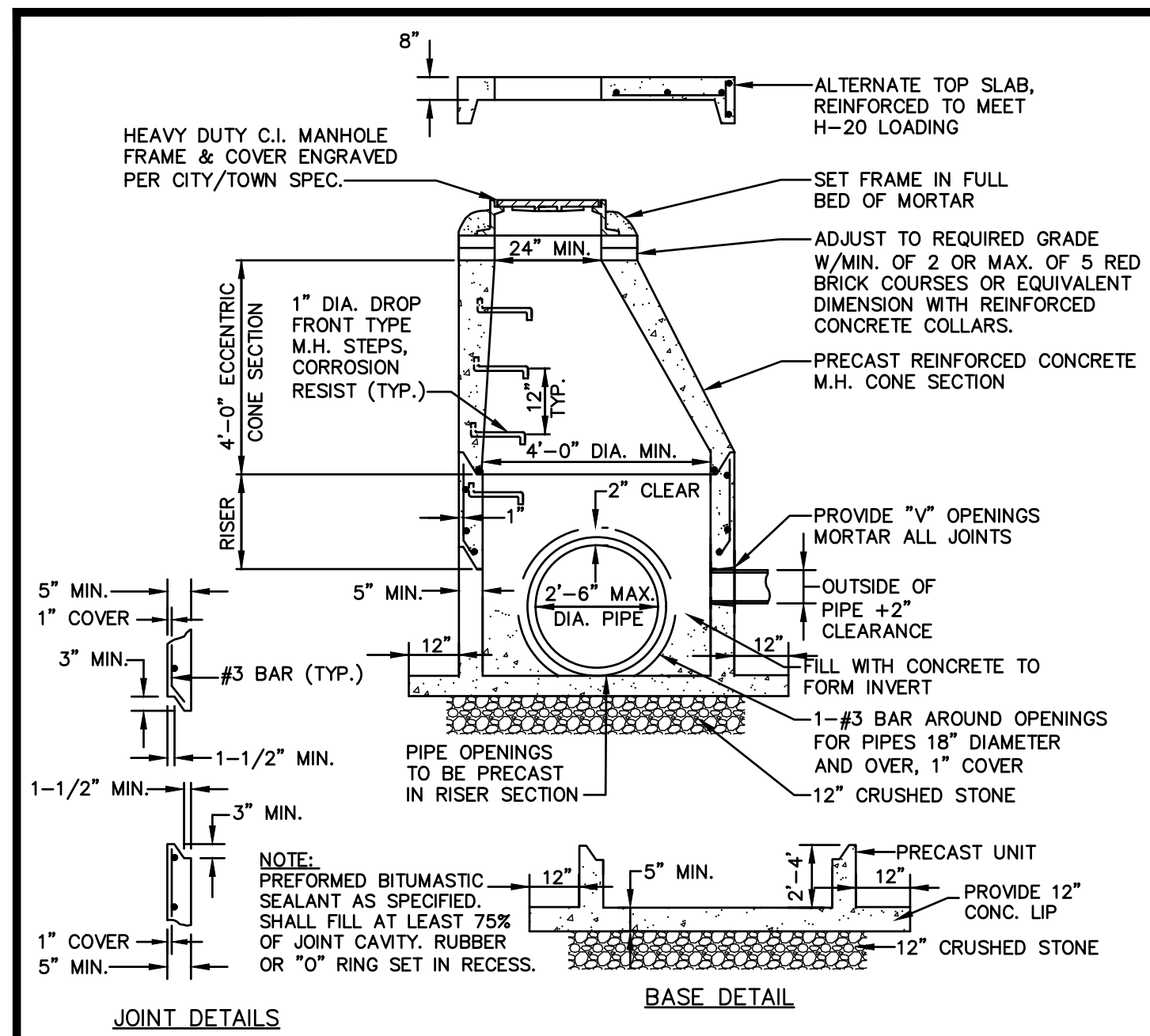
REVISIONS:

NO.	DATE	DESC.
1	9/18/20	NEW BUILDING FOOTPRINT
2	11/03/20	REVISED BUILDING
3	1/21/21	RESPONSE TO PEER REVIEW
4	3/11/21	LAYOUT REVISIONS
5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
8	8/27/21	FULL PLAN SET

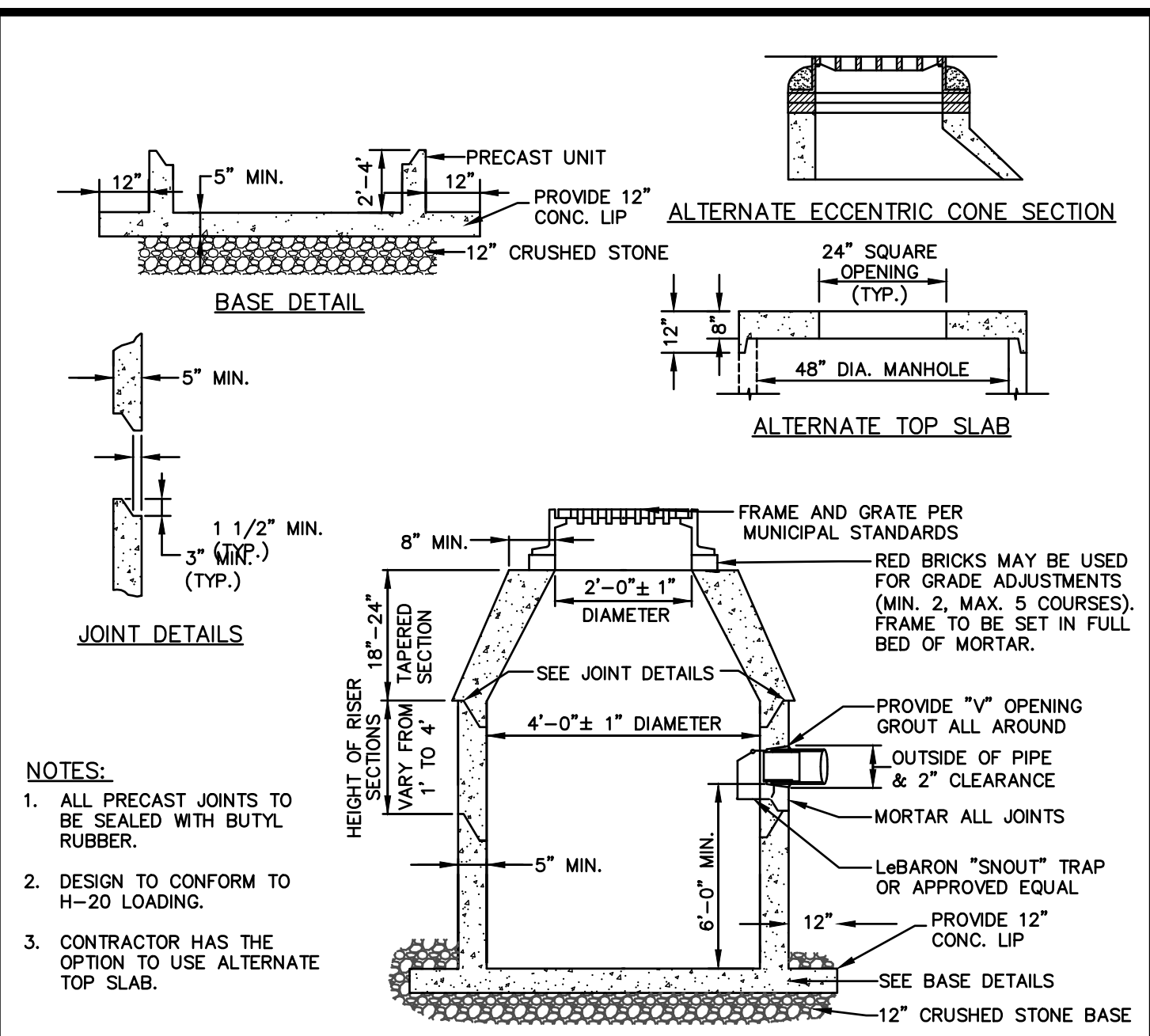
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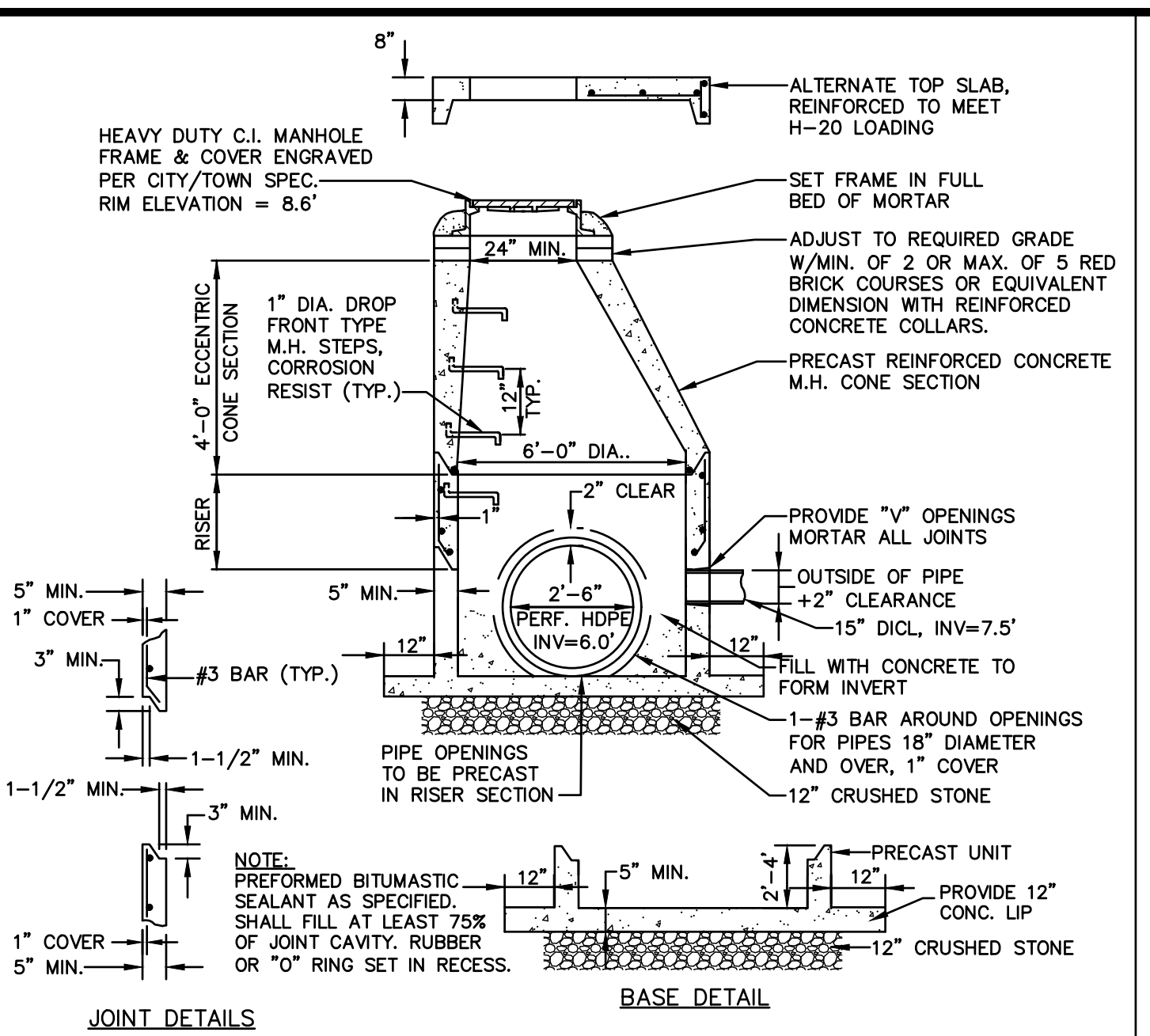
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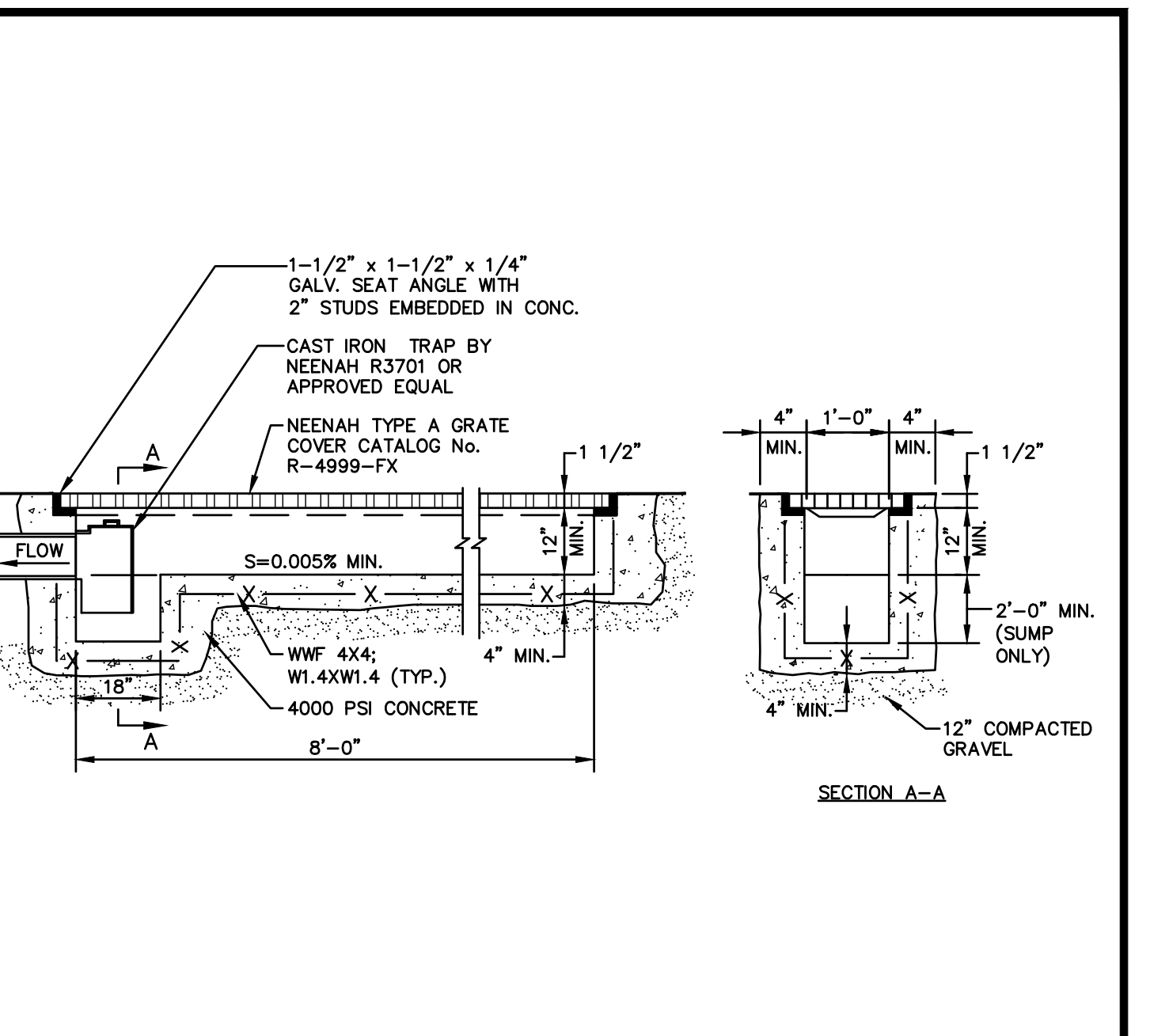
PRECAST CONCRETE DRAIN MANHOLE
SCALE: NONE



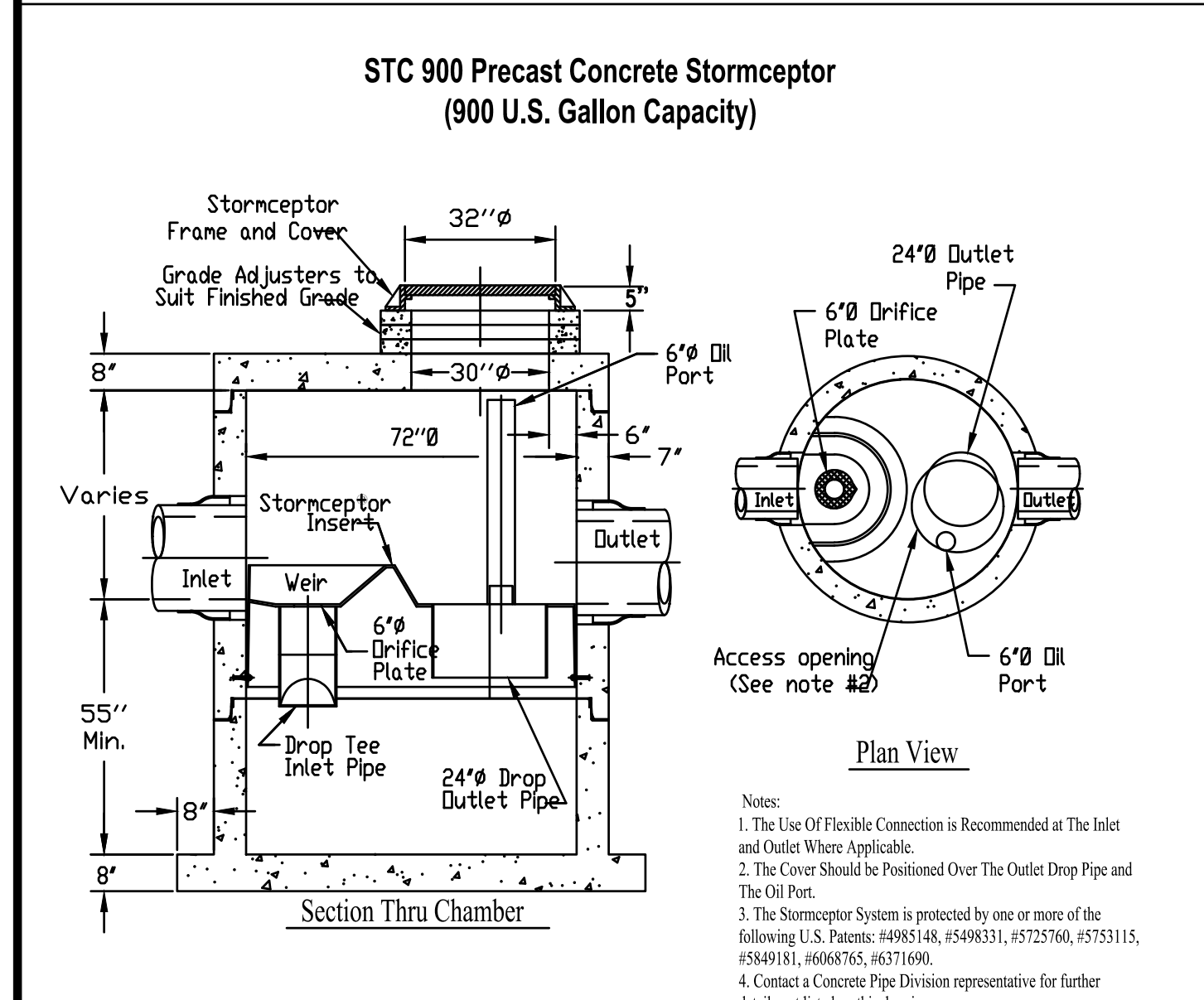
PRECAST CONCRETE CATCH BASIN
SCALE: NONE



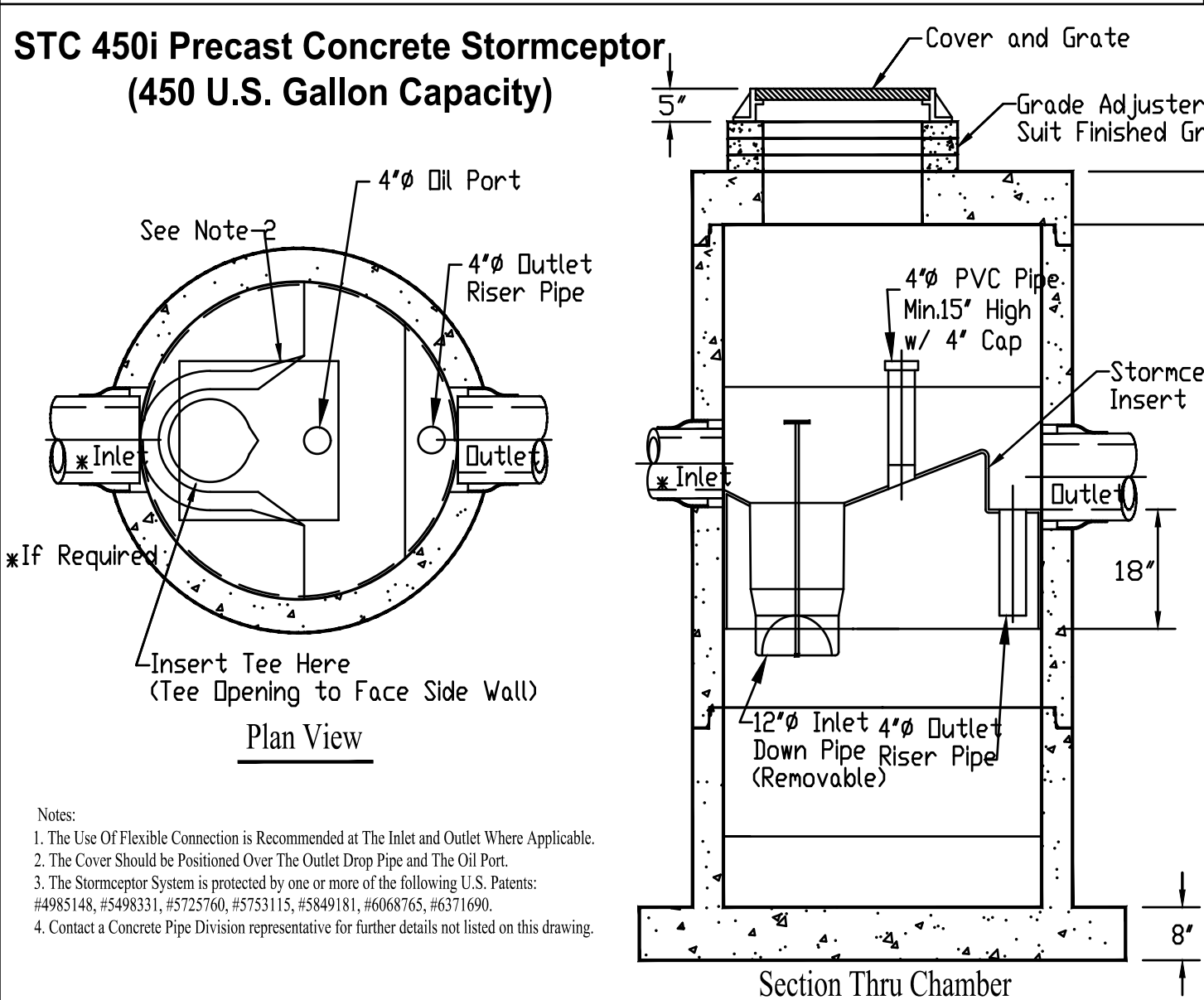
OUTLET CONTROL STRUCTURE (OCS)
SCALE: NONE



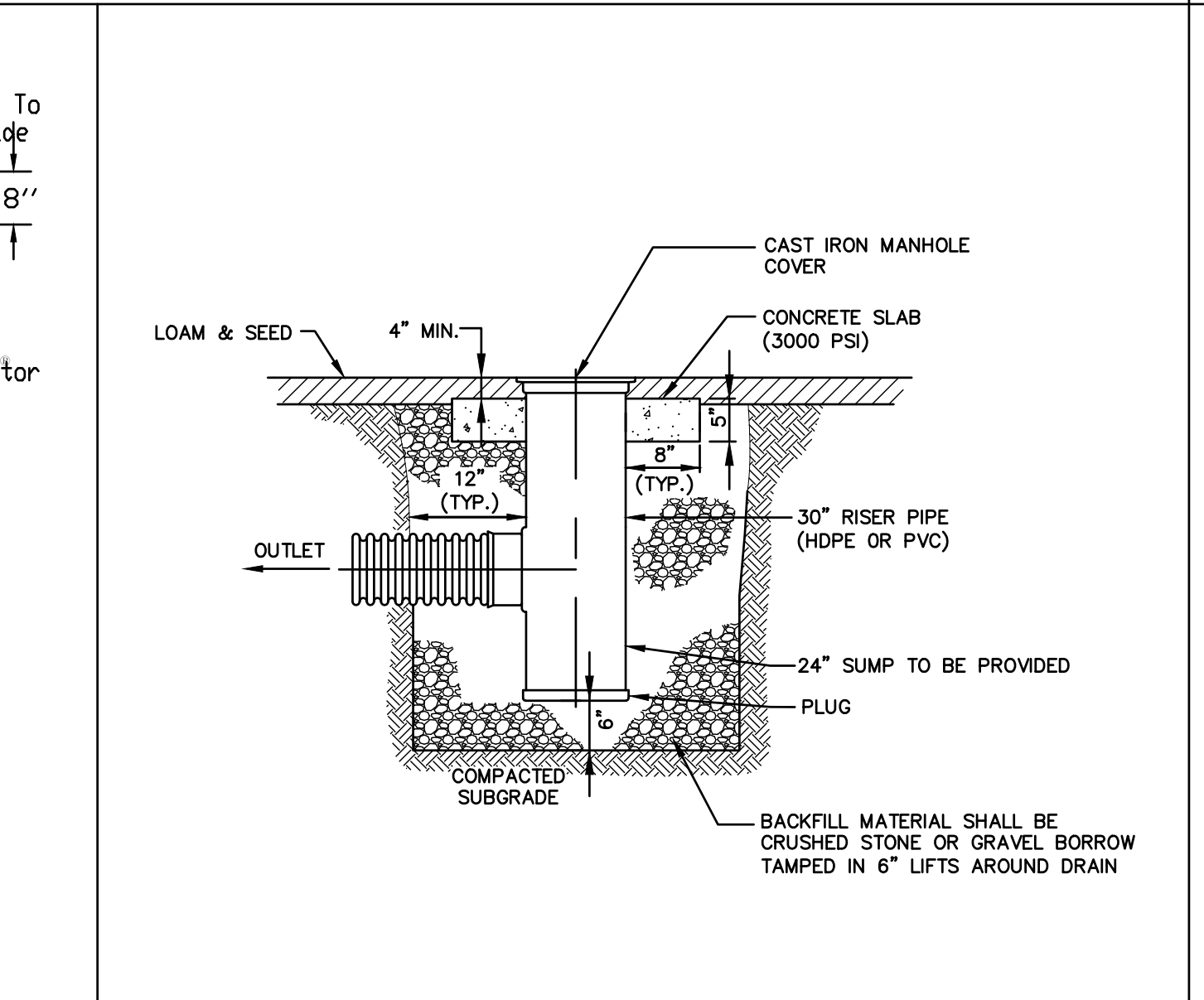
CAST IN PLACE CONCRETE TRENCH DRAIN
SCALE: NONE



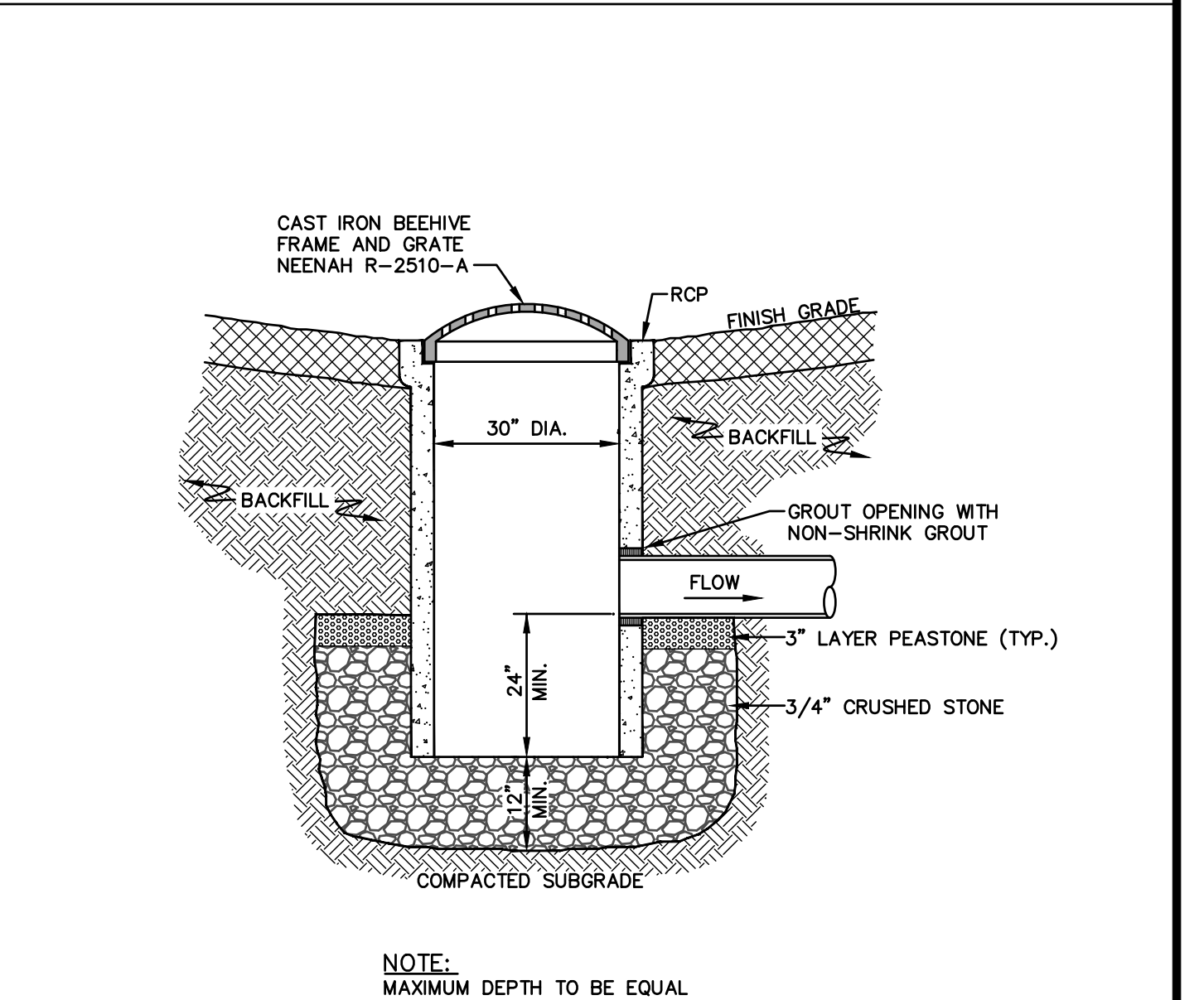
WATER QUALITY UNIT (STORMCEPTOR OR APPROVED EQUAL)
SCALE: NONE



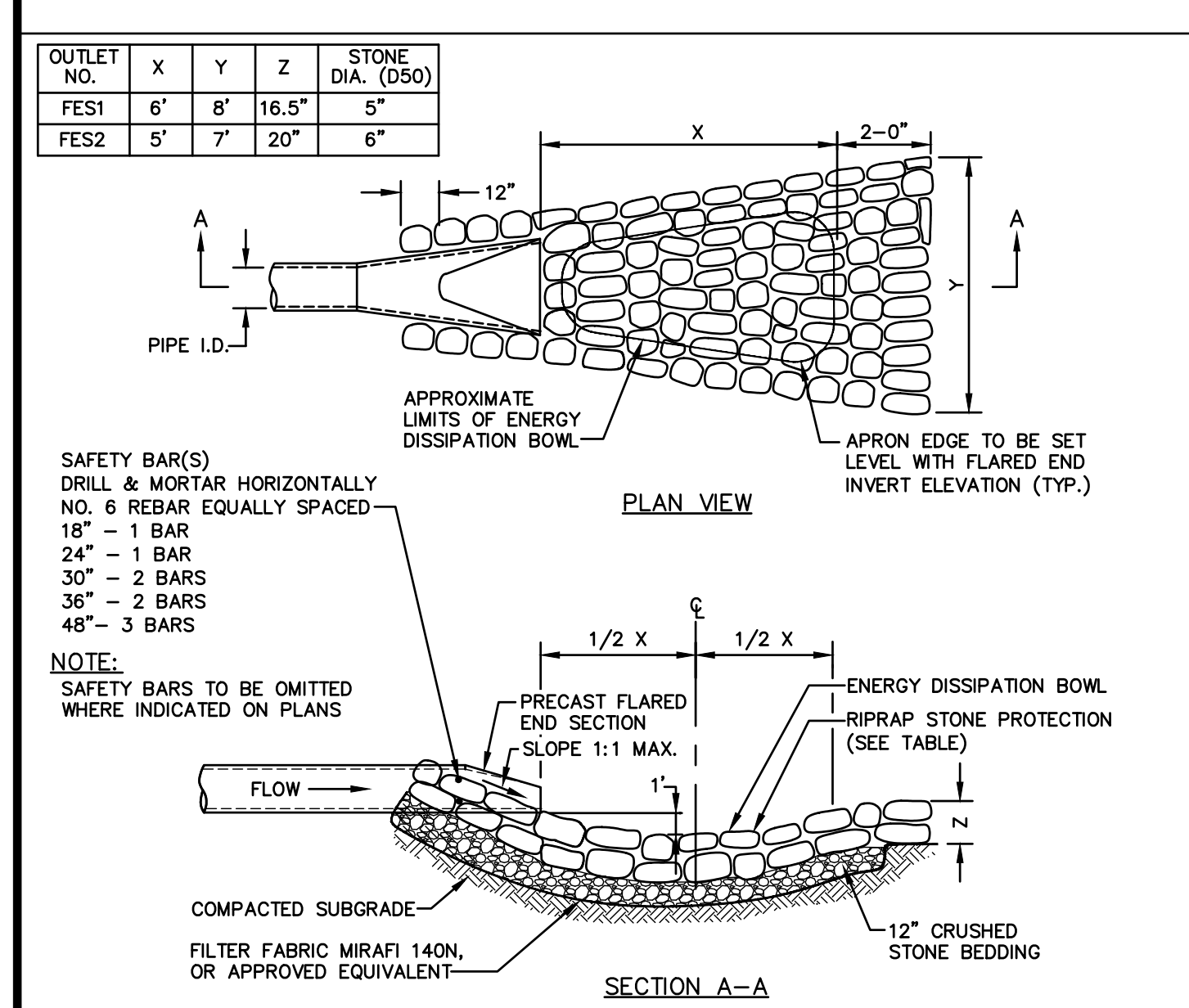
WATER QUALITY CATCH BASIN (STORMCEPTOR 450i OR APPROVED EQUAL)
SCALE: NONE



SUMP MANHOLE FROM TRENCH DRAINS
SCALE: NONE



AREA DRAIN
SCALE: NONE



FLARED END SECTION W/ STONE PROTECTION (DISSIPATION BOWL)
SCALE: NONE

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PREPARED FOR:
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BSC GROUP

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02127

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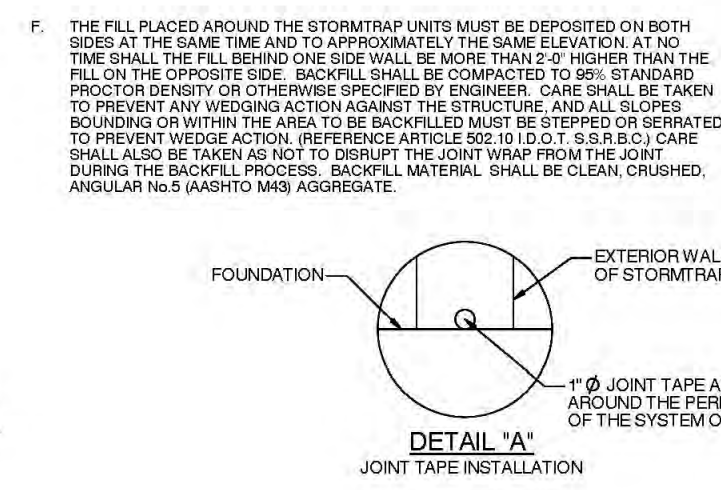
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JOB. NO: 23407.00 SHEET C-202

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STORMTRAP INSTALLATION SPECIFICATION

- STORMTRAP MODULES SHALL BE MANUFACTURED ACCORDING TO SHOP DRAWINGS APPROVED BY THE INSTALLING CONTRACTOR AND ENGINEER. THE SHOP DRAWINGS SHALL INDICATE SIZE AND LOCATION OF ROOF OPENINGS AND INLET/OUTLET PIPE OPENINGS.
- STORMTRAP SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C894-09 STANDARD PRACTICE FOR INSTALLATION OF UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES. THE FOLLOWING ADDITIONAL REQUIREMENTS SHALL APPLY:
 - SPECIFICATIONS ON THE ENGINEER'S DRAWINGS SHALL TAKE PRECEDENCE.
 - STORMTRAP MODULES SHALL BE PLACED ON LEVEL FOUNDATION (SEE SHEET 3.1) WITH A 1" OVERHANG ON ALL SIDES THAT SHALL BE FOUND IN PLACE BY INSTALLING CONTRACTOR.
 - THE STORMTRAP MODULES SHALL BE PLACED SUCH THAT THE MAXIMUM SPACE BETWEEN ADJACENT MODULES DOES NOT EXCEED 3/4". IF THE SPACE EXCEEDS 3/4", THE MODULES SHALL BE RESET WITH APPROPRIATE ADJUSTMENT MADE TO LINE AND GRADE TO BRING THE SPACE INTO SPECIFICATION.
 - THE PERIMETER HORIZONTAL JOINT OF THE STORMTRAP MODULES SHALL BE SEALED TO THE FOUNDATION WITH PERFORMED MASTIC JOINT SEALER ACCORDING TO ASTM C810-18 AND 12. SEE DETAIL "A".
 - ALL EXTERIOR JOINTS BETWEEN ADJACENT STORMTRAP MODULES SHALL BE SEALED WITH PERFORMED, COLLOID-APPLIED, SELF-ADHESIVE ELASTOMERIC RESIN BONDED TO A WOVEN HIGHLY PUNCTURE RESISTANT POLYMER WRAP CONFORMING TO ASTM C894-09 AND SHALL BE 2" EXTENDED PAST THE PERIMETER OF THE STORMTRAP. THE ADHESIVE EXTERIOR JOINT WRAP SHALL BE INSTALLED ACCORDING TO THE FOLLOWING INSTALLATION INSTRUCTIONS:
 - USE A BRUSH OR WET CLOTH TO THOROUGHLY CLEAN THE OUTSIDE SURFACE AT THE JOINT (WHERE THE JOINT WRAP IS TO BE APPLIED).
 - A RELEASE PAPER PROTECTS THE ADHESIVE SIDE OF THE JOINT WRAP. PLACE THE ADHESIVE TAPE, BUTYL SIDE DOWN AROUND THE STRUCTURE. REMOVING THE RELEASE PAPER AS YOU GO. PRESS THE JOINT WRAP FIRMLY AGAINST THE STORMTRAP MODULE SURFACE WHEN APPLYING.

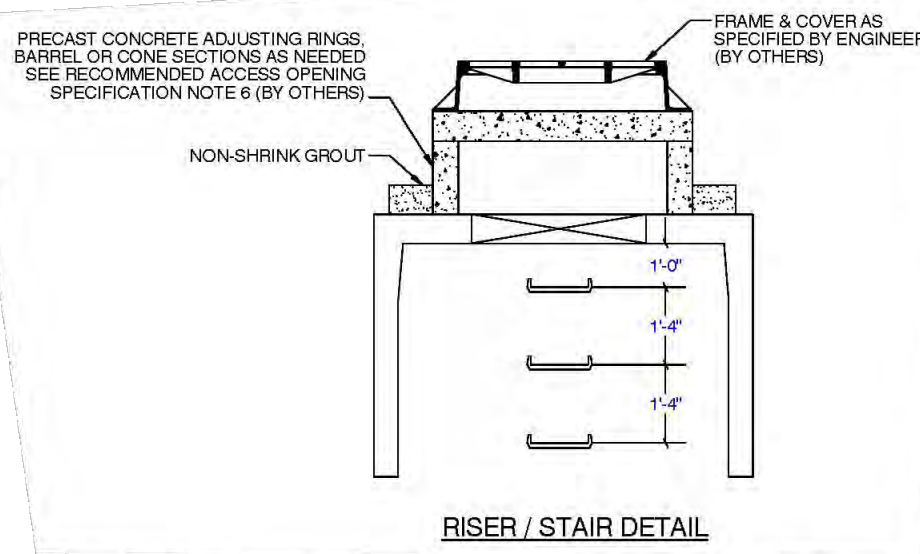
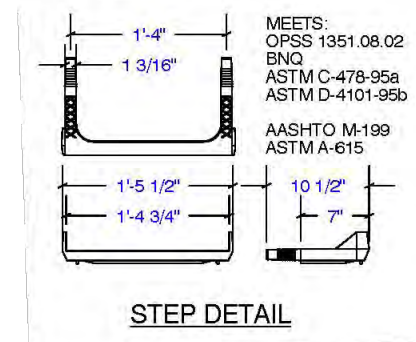


RECOMMENDED PIPE OPENING SPECIFICATION

- PIPE OPENINGS SHALL MAINTAIN A MINIMUM 1'-0" OF CLEARANCE FROM A VERTICAL EDGE OF THE STORMTRAP UNIT.
- MAXIMUM OPENING SIZE TO BE DETERMINED BY UNIT HEIGHT. PREFERRED OPENING SIZE 24" OR LESS. ANY OPENING NEEDED THAT DOES NOT FIT THIS CRITERIA SHALL BE BROUGHT TO THE ATTENTION OF STORMTRAP FOR REVIEW.
- CONNECTING PIPES SHALL BE INSTALLED WITH A 1'-0" CONCRETE COLLAR AND AN AGGREGATE CIRCLE FOR AT LEAST ONE FEET BELOW. A STRUCTURAL GRADE CONCRETE OR GROUT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI SHALL BE USED.
- THE ANNUAL SPACE BETWEEN THE PIPE AND THE HOLE SHALL BE FILLED WITH NON-SHRINK GROUT.

RECOMMENDED PIPE INSTALLATION INSTRUCTIONS

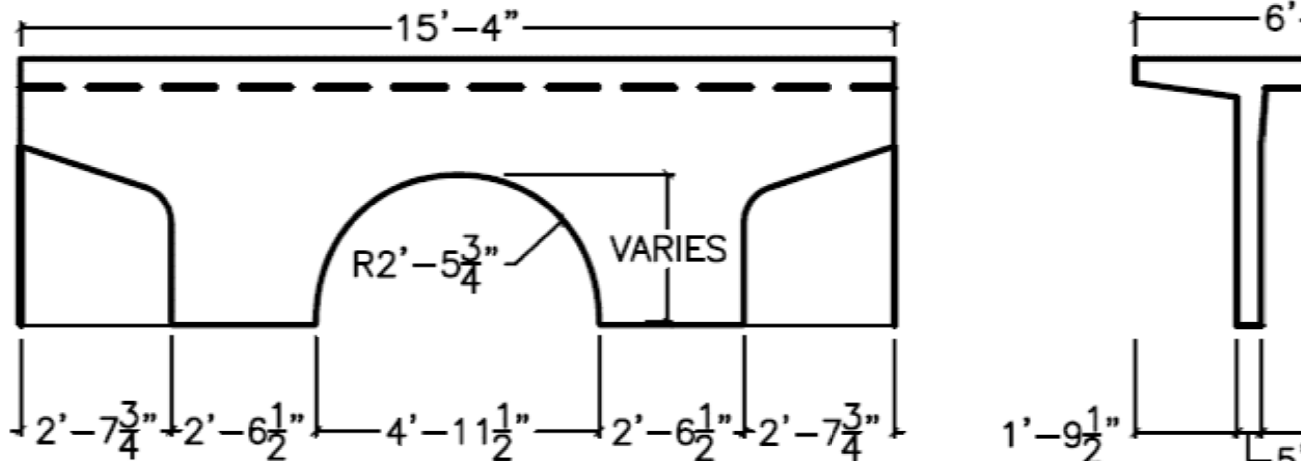
- CLEAN AND LIGHTLY LUBRICATE ALL OF PIPE TO BE INSERTED INTO STORMTRAP.
- IF PIPE IS CUT, CARE SHOULD BE TAKEN TO ALLOW NO SHARP EDGES. BEVEL AND LUBRICATE LEAD END OF PIPE.
- ALIGN CENTER OF PIPE TO CORRECT ELEVATION AND INSERT INTO OPENING.



RECOMMENDED ACCESS OPENING SPECIFICATION

- TYPICAL ACCESS OPENINGS FOR THE STORMTRAP SYSTEM ARE 2'-0" IN DIAMETER. ACCESS OPENINGS LARGER THAN 2'-0" IN DIAMETER NEED TO BE APPROVED BY STORMTRAP. ALL OPENINGS MUST REMAIN AT LEAST 1'-0" OF CLEARANCE IN ALL DIRECTIONS FROM THE EDGE OF THE STORMTRAP UNITS.
- PLASTIC COATED STEEL STEPS PRODUCED BY IMA INDUSTRIES PART #RSP-100 (SEE DETAIL TO THE RIGHT) ARE PROVIDED INSIDE ANY UNIT WHERE NECESSARY. THE HIGHER STEP IN THE UNIT IS TO BE PLACED AT A MINIMUM OF 1'-0" FROM THE EDGE OF THE STORMTRAP UNITS. ALL ENLARGING STEPS SHALL BE PLACED WITH A MAXIMUM DISTANCE OF 4" BETWEEN THEM. STEPS MAY BE MOVED OR ALTERED TO AVOID OPENINGS OR OTHER IRREGULARITIES IN THE UNIT.
- STORMTRAP LIFTING INSERTS MAY BE RELOCATED TO COINCIDE WITH THE ACCESS OPENING OR THE CENTER OF GRAVITY OF THE UNIT AS NEEDED.
- STORMTRAP ACCESS OPENINGS MAY BE RELOCATED TO AVOID INTERFERENCE WITH INLET AND/OR OUTLET PIPE OPENINGS SO PLACEMENT OF STEPS IS ATTAINABLE.
- ACCESS OPENINGS SHOULD BE LOCATED IN ORDER MEET THE APPROPRIATE MUNICIPAL REQUIREMENTS. STORMTRAP RECOMMENDS AT LEAST ONE ACCESS OPENING PER SYSTEM FOR ACCESS AND INSPECTION.
- USE PRECAST ADJUSTING RINGS AS NEEDED TO MEET GRADE. STORMTRAP RECOMMENDS FOR COVER COVER 2" TO USE PRECAST BARREL OR CONE SECTIONS. (BY OTHERS)

NOTE: ONE ACCESS TO BE PROVIDED ON EACH DUPLEX INFILTRATION SYSTEM. 7 TOTAL ACCESS RISERS TO BE PROVIDED ON MAIN INFILTRATION SYSTEM - ONE ON EACH UNIT WITH AN INLET OR OUTLET PIPE.



STORMTRAP SINGLE TRAP (SECTION VIEW)

UNDERGROUND INFILTRATION (STORMTRAP SINGLE TRAP OR APPROVED EQUAL)

SCALE: NONE

NOTES:

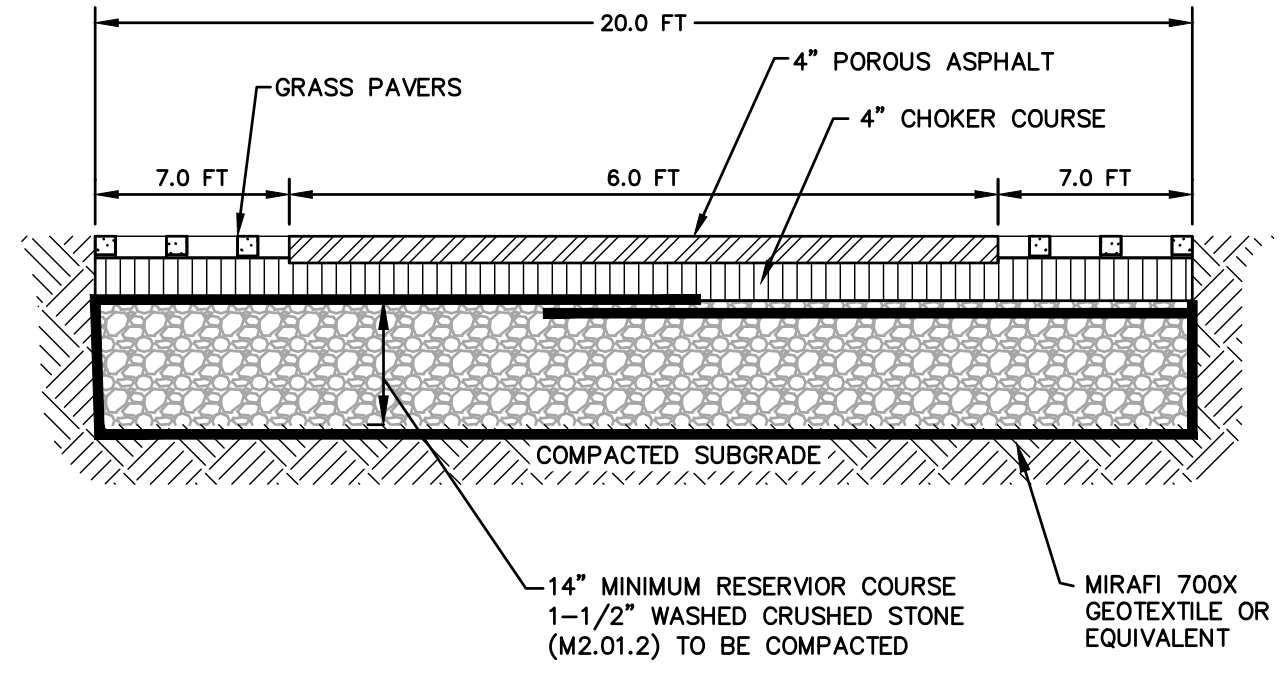
- POROUS ASPHALT AND CHOKER COURSES SHALL MEET THE FOLLOWING REQUIREMENTS:

4" POROUS ASPHALT - SHALL BE POST-BLENDED PG 64-28 SBR WITH 5 POUNDS OF FIBER PER TON OF ASPHALT MIX

- 3/4" = 100%
- 1/2" = 85-100%
- 3/8" = 55-75%
- #4 = 10-25%
- #8 = 5-10%
- #200 = 2-4%
- AIR VOID CONTENT = 16-22%

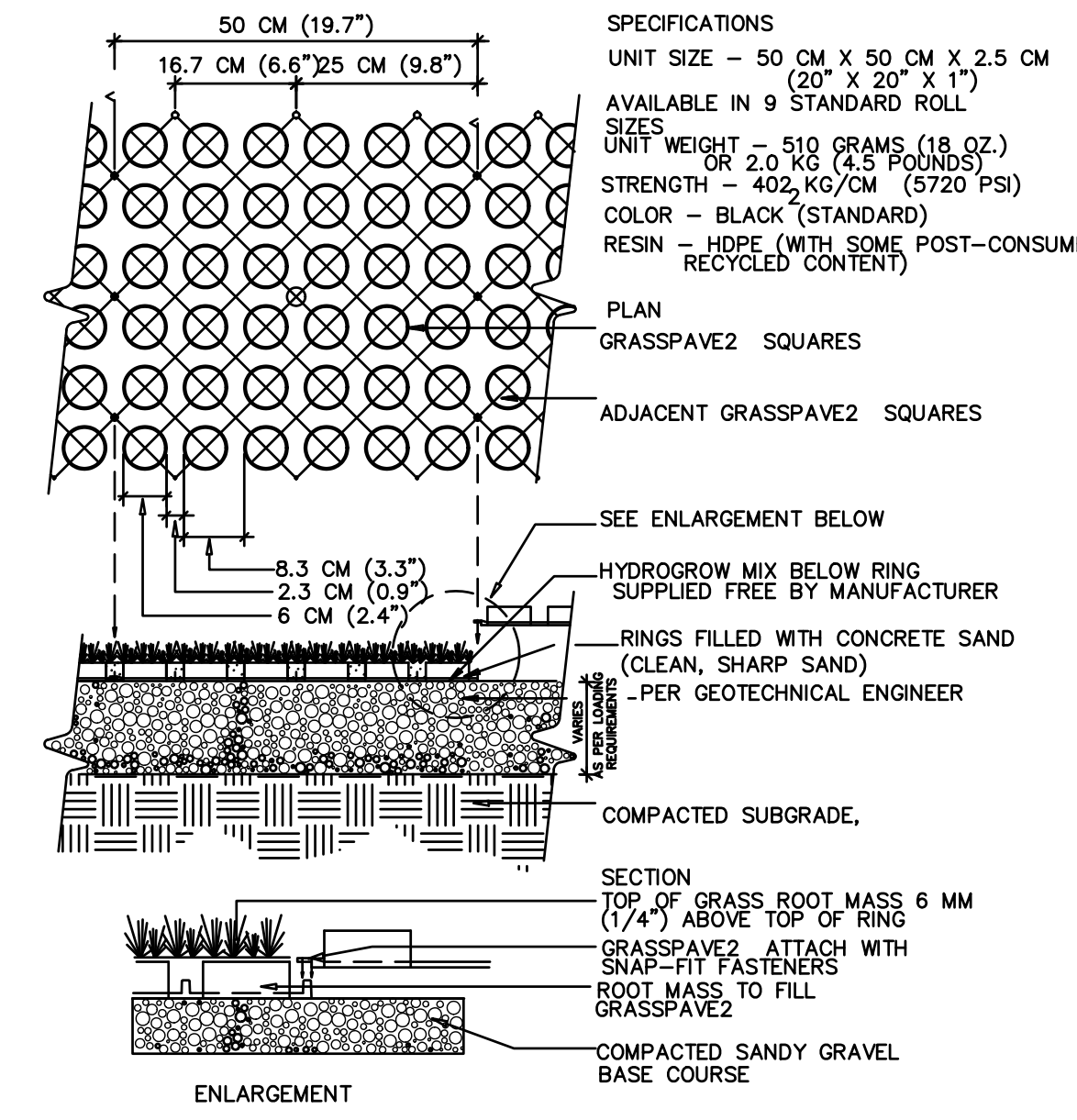
4" CHOKER COURSE SHALL MEET THE FOLLOWING GRADUATION REQUIREMENTS:

- 1-1/2" = 100%
- 1" = 95-100%
- 1/2" = 25-60%
- #4 = 0-10%
- #8 = 0-5%
- 95% COMPACTION



EMERGENCY ACCESS ROAD

SCALE: NONE



GRASSPAVE (OR APPROVED EQUAL)

SCALE: NONE



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3	01/21/21	ADD OCS-1 DETAIL
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5	5/10/21	NEW BUILDING FOOTPRINT
6	6/3/21	NEW BUILDING GRADING
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