

LOCUS MAP
NOT TO SCALE

SITE DEVELOPMENT PLAN SET

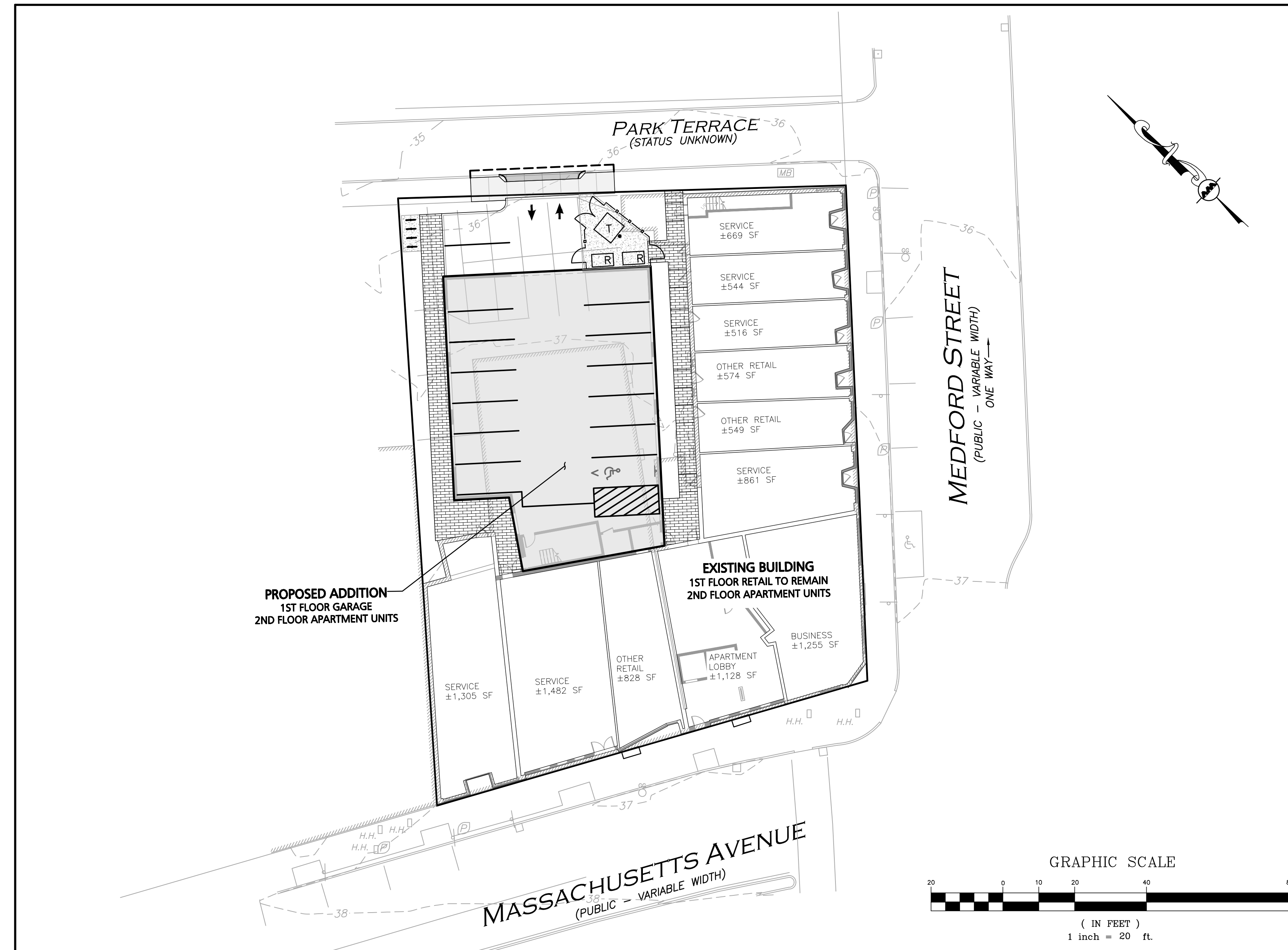
455-457 MASSACHUSETTS AVENUE

ARLINGTON, MA 02476

APPLICANT:
2-14 MEDFORD STREET, LLC
455 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

ARCHITECT:
MARKET SQUARE ARCHITECTS
104 CONGRESS STREET, STE 203
PORTSMOUTH, NH 03801
(603) 501-0202

**CIVIL ENGINEER, LANDSCAPE ARCHITECT &
LAND SURVEYOR:**
ALLEN & MAJOR ASSOCIATES, INC.
100 COMMERCE WAY, SUITE 5
WOBURN, MA 01801
(781) 985-6889



LIST OF DRAWINGS			
DRAWING TITLE	SHEET	ISSUED	REVISED
EXISTING CONDITIONS	I	8/19/2021	-
SITE PREPARATION PLAN	C-101	8/20/2021	-
LAYOUT & MATERIALS PLAN	C-102	8/20/2021	-
GRADING & DRAINAGE PLAN	C-103	8/20/2021	-
DETAILS	C-501	8/20/2021	-
DETAILS	C-502	8/20/2021	-
LANDSCAPE PLAN	L-101	8/20/2021	-
LANDSCAPE DETAILS	L-501	8/20/2021	-



Brian D. Jones 08.20.21

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

PREPARED BY:

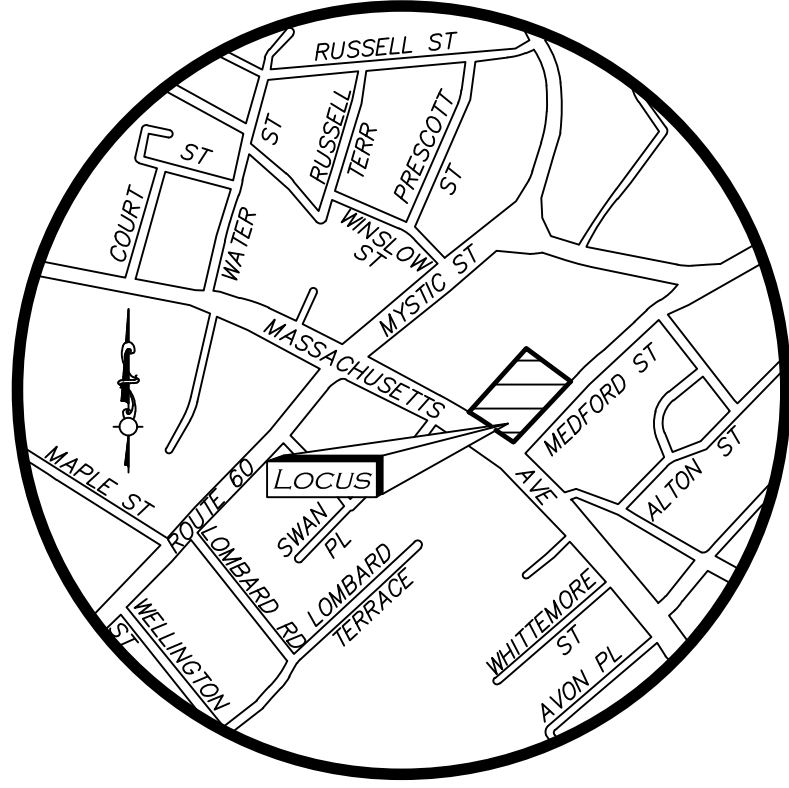


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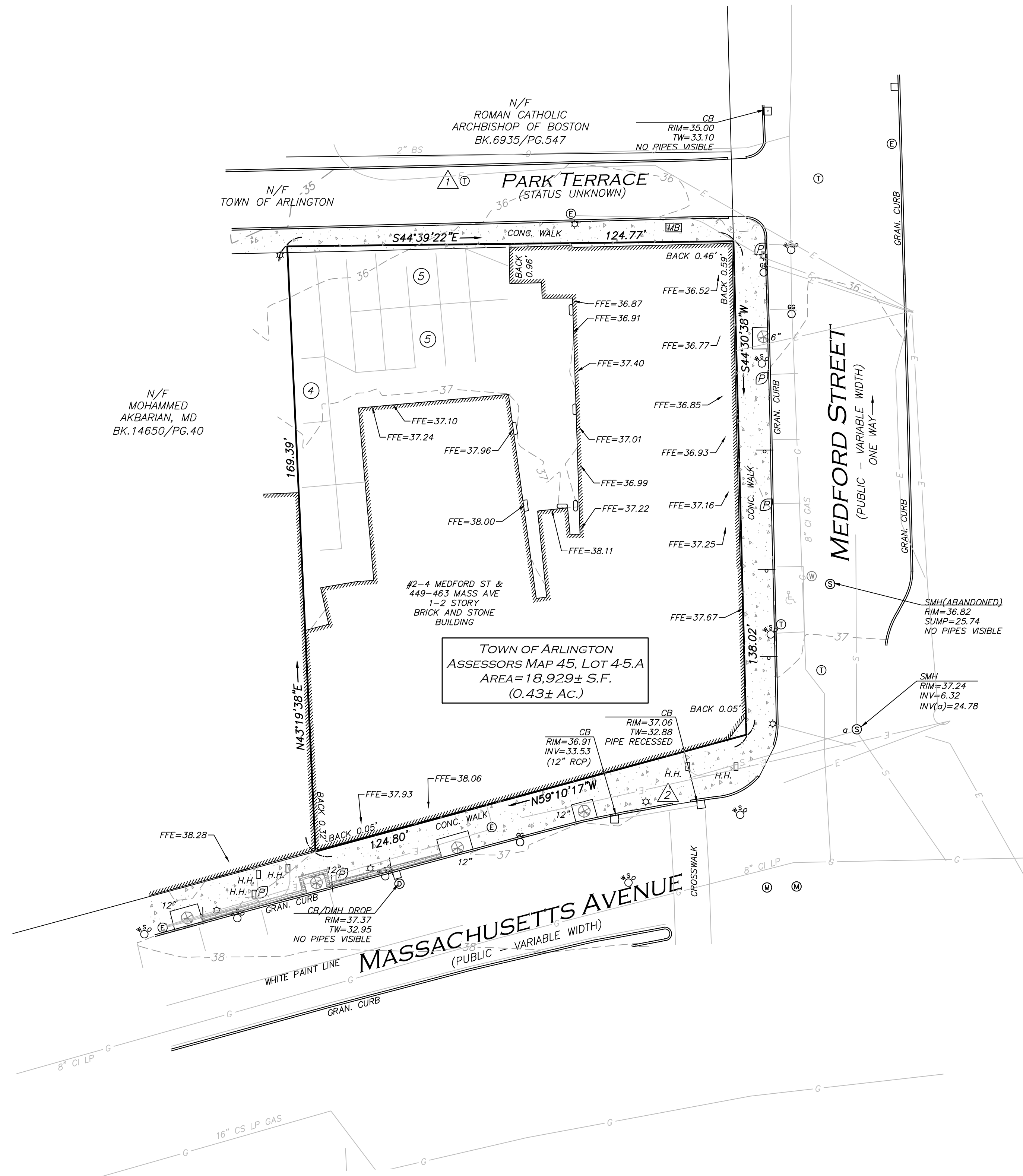
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ISSUED FOR ARB REVIEW: 8/20/2021

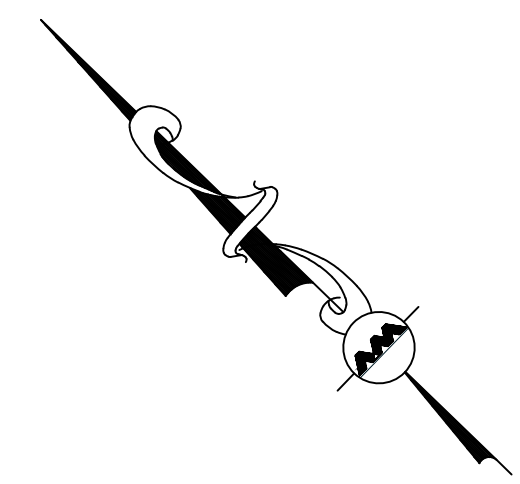


LOCUS MAP
(NOT TO SCALE)

N/F
MOHAMMED
AKBARIAN, MD
BK. 14650/PG.40

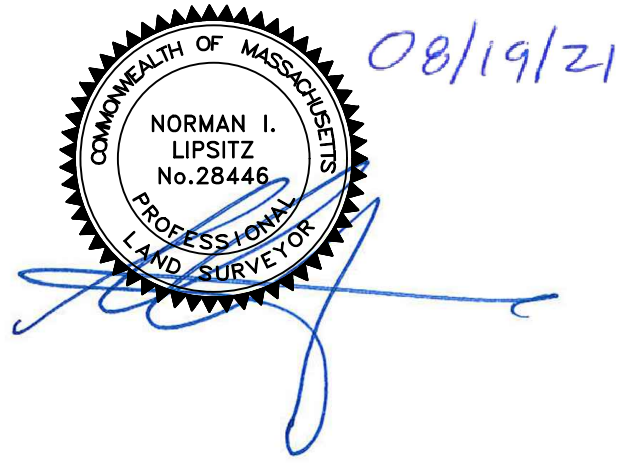


LEGEND	
DRAIN MANHOLE (DMH)	⊕
SEWER MANHOLE (SMH)	⊙
ELECTRIC MANHOLE (EMH)	⊕
MISC. MANHOLE (MH)	⊕
TELEPHONE MANHOLE (TMH)	⊕
CATCH BASIN (CB)	⊕
FIRE HYDRANT	⊕
WATER GATE	⊕
GAS GATE	⊕
TREE	⊕
SIGN	⊕
DOWNSPOUT	⊕
PARKING METER	⊕
HAND HOLE	⊕
LIGHT	⊕
HANDICAPPED PARKING SPACE	⊕
PARKING SPACE COUNT	⊕
CONCRETE	—
BRICK	—
1' CONTOUR	—
5' CONTOUR	—
PROPERTY LINE	—
ABUTTERS LINE	—
BUILDING	—
CURB	—
WATER LINE	—
SEWER LINE	—
DRAIN LINE	—
GAS LINE	—
ELECTRIC LINE	—
TELEPHONE LINE	—
FINISHED FLOOR ELEVATION	FFE
CONCRETE	CONC.
GRANITE	GRAN.
BOTTOM CENTER	(BC)
TOP OF WATER	TW
INVERT	INV.
NOW OR FORMERLY	N/F
BOOK	BK.
PAGE	PG.



WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN NOVEMBER 16, 2020 AND NOVEMBER 18, 2020.

Aug 19, 2021
PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.



REV	DATE	DESCRIPTION

APPLICANT/OWNER:
2-14 MEDFORD STREET, LLC
455 MASSACHUSETTS AVENUE, SUITE 1
ARLINGTON, MA 02474

PROJECT:
455-457 MASSACHUSETTS AVENUE ARLINGTON, MA

PROJECT NO. 2729-03 DATE: 08/19/21
SCALE: 1" = 20' DWG. NAME: S-2729-03-EC
DRAFTED BY: AJR CHECKED BY: NIL
PREPARED BY:



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DRAWING TITLE: **EXISTING CONDITIONS** SHEET No. **1**

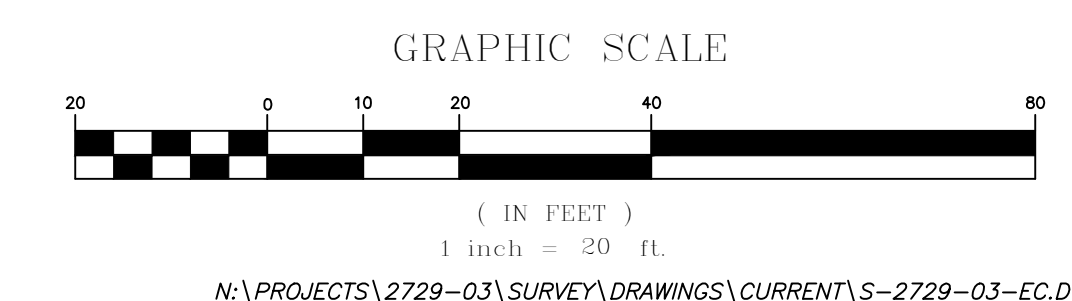
BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
1	X-CUT ON RIM OF TELEPHONE MANHOLE	35.76
2	X-CUT ON LIGHT POLE BASE BY #449	37.58

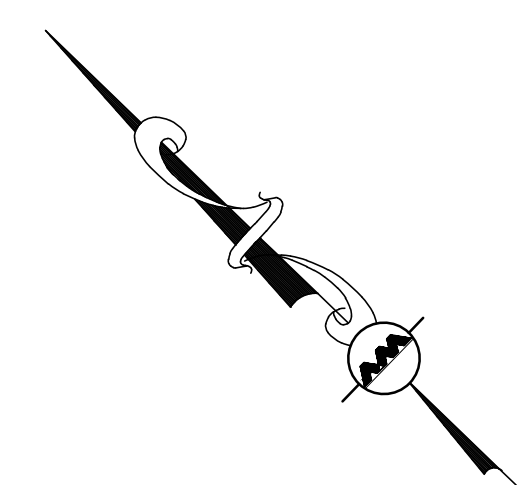
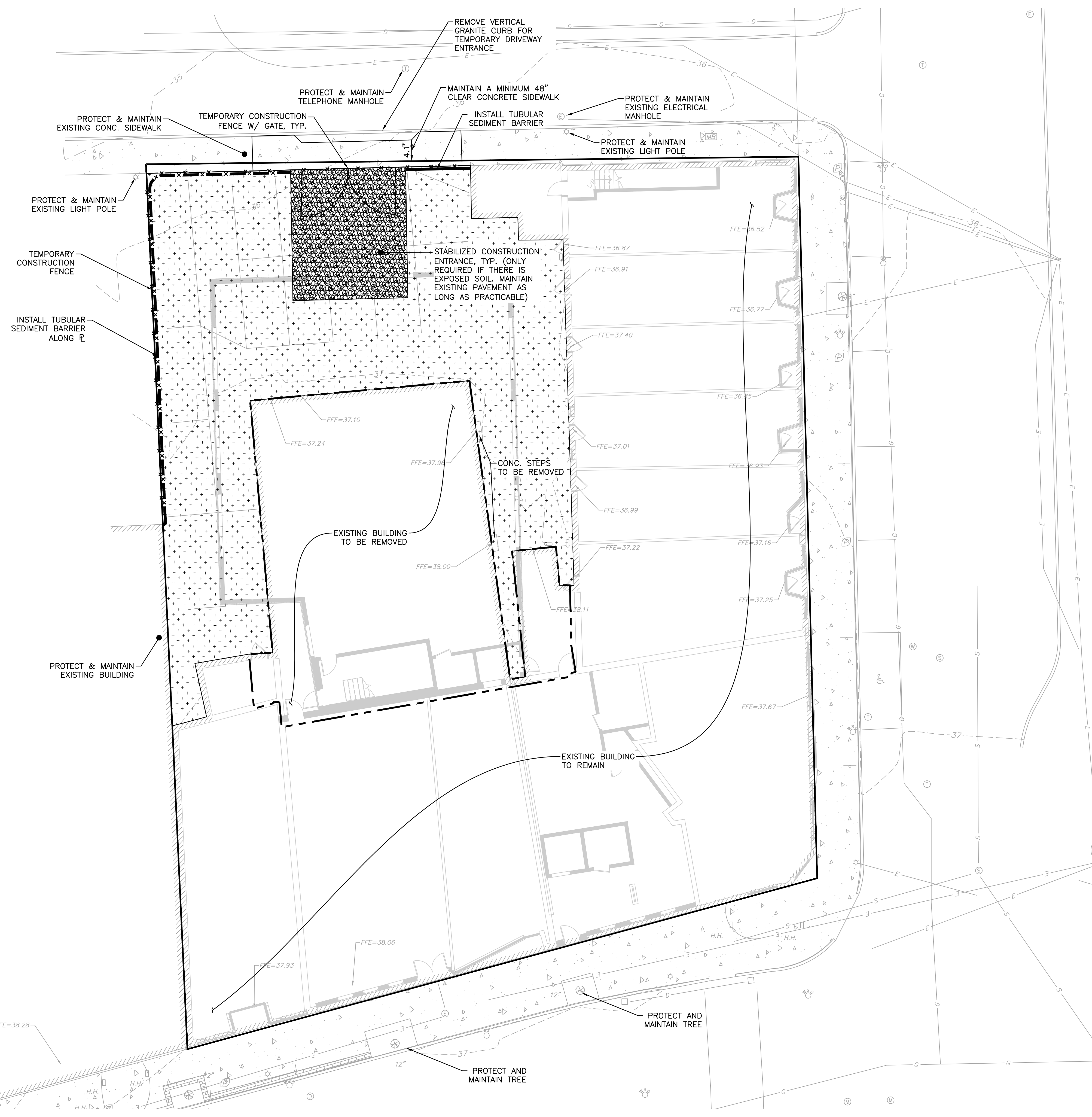
PARKING SUMMARY	
STANDARD STALLS	14
HANDICAPPED STALLS	0
TOTAL STALLS	14

UTILITY STATEMENT
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

- LOCUS REFERENCES**
-TOWN OF ARLINGTON ASSESSORS MAP 45, LOT 4-5.A
-RECORD OWNER: 2-14 MEDFORD STREET, LLC
-REGISTERED LAND BOOK 1523, PAGE 99
-L.C.C. NO. 7802C
- PLAN REFERENCE**
-PLAN 563 OF 1962

- NOTES**
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (NAD 83).
 - BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
 - VERTICAL DATUM IS NAVD 88.
 - CONTOUR INTERVAL IS ONE FOOT (1').





LEGEND	
TUBULAR BARRIER	
STABILIZED ENTRANCE	
BUILDING TO BE REMOVED	
PAVEMENT TO BE REMOVED	
TEMPORARY FENCE	

SITE PREPARATION NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
2. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALTHOUGH CERTAIN ITEMS HAVE BEEN NOTED ON THIS DRAWING FOR DEMOLITION, NO ATTEMPT HAS BEEN MADE TO DELINEATE EACH AND EVERY ITEM THAT REQUIRES DEMOLITION FOR THE COMPLETION OF THE PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL NECESSARY DEMOLITION WORK TO COMPLETE THE PROJECT. ALLEN & MAJOR ASSOCIATES, INC. IS NOT RESPONSIBLE FOR SITE DEMOLITION ITEMS NOT SHOWN ON THE SURVEY, OR SPECIFICALLY NOTED. THE DEMOLITION NOTES AND ARROWS ON THIS PLAN ARE TYPICAL AND DO NOT REFLECT QUANTITY.
4. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



Brian D. Jones
08.20.21

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

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PROJECT:
455-457
MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-03 DATE: 8/20/2021

SCALE: 1" = 10' DWG. NAME: C2729-03

DESIGNED BY: JG/ARM CHECKED BY: ARM/BDJ

PREPARED BY:



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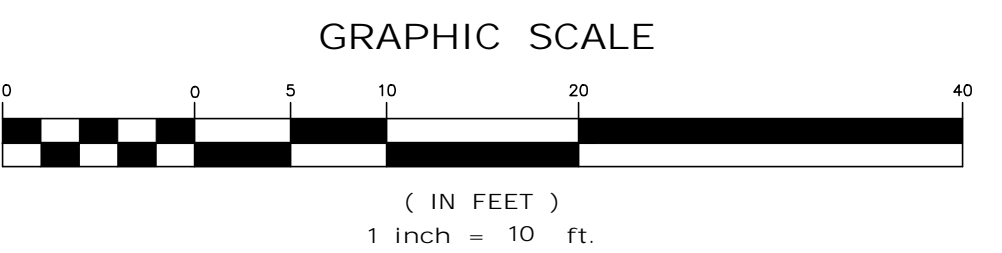
DRAWING TITLE: SHEET No.

SITE PREPARATION PLAN C-101

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R:\PROJECTS\2729-03\CIVIL\DRAWINGS\CURRENT\C-2729-03_SITE-PREP.DWG

SHARED PARKING SUMMARY TABLE

"MIXED-USE" SHALL BE THE SUM OF USES COMPUTED SEPARATELY	REQUIRED PARKING
*FOR MIXED-USE DEVELOPMENT, THE FIRST 3,000 SQUARE FEET OF NON-RESIDENTIAL SPACE IS EXEMPT FROM THE PARKING REQUIREMENTS OF SECTION 6.1 IN THE ARLINGTON ZONING BYLAW SERVICE: 5,377 S.F.	-
1 PER 300 S.F. → 1 x (5,377-3,000)/300 = 7.9	7.9
BUSINESS: 1,255 S.F.	2.5
1 PER 500 S.F. → 1 x 1,255/500 = 2.5	
OTHER RETAIL: 1,951 S.F.	6.5
1 PER 300 S.F. → 1 x 1,951/300 = 6.5	
ONE-BEDROOM APARTMENT UNIT (APARTMENT: 13 UNITS)	15.0
1.15 PER UNIT → 1.15 x 13 = 15.0	
TOTAL REQUIRED PARKING BASED ON INDIVIDUAL USES:	31.9
TOTAL PARKING PROVIDED:	16*

ADA SPACES REQUIRED:
(1-25) TOTAL PARKING SPACES PROVIDED, 1 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 1 SPACES BEING VAN ACCESSIBLE.

PROVIDED 1 SPACES, 1 BEING VAN ACCESSIBLE.

PARKING TABLE NOTES:
1. SECTION 6.1.10, C. FOR A MIXED-USE DEVELOPMENT THE FIRST 3,000 SF OF NON-RESIDENTIAL SPACE IS EXEMPT FROM THE PARKING REQUIREMENTS OF THIS SECTION 6.1.

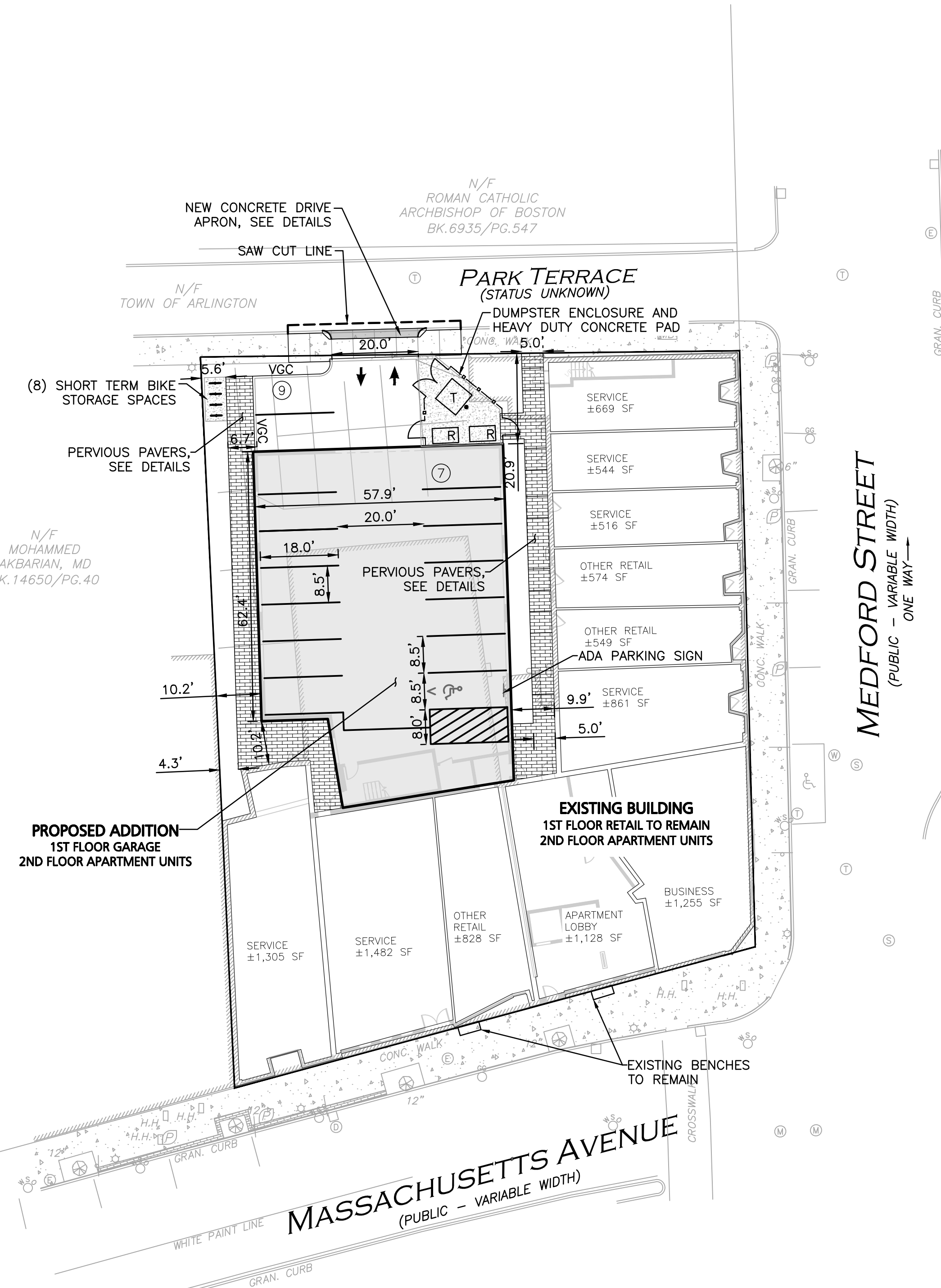
2. SECTION 6.1.11, STANDARD PARKING STALLS SHALL BE 8.5'X18', AND DRIVE AISLE WIDTH SHALL BE 24' FOR TWO-WAY TRAFFIC.

* RELIEF REQUESTED FROM THE ARB FOR THE REQUIRED NUMBER OF PARKING STALLS AND THE DRIVE AISLE REDUCED FROM 24' TO 20'.

BICYCLE PARKING SUMMARY TABLE

SHORT TERM BICYCLE PARKING (EXTERIOR)				LONG TERM BICYCLE PARKING (INTERIOR)			
USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED	USE	CALCULATION	MIN. REQUIRED	TOTAL PROPOSED
APARTMENT BUILDING	0.1 PER UNIT	1.3	2	APARTMENT BUILDING	1.5 PER UNIT	19.5	20
	13 X 0.1 = 1.3 REQUIRED				13 X 1.5 = 19.5 REQUIRED		
OTHER RETAIL OR SERVICE	0.6 PER 1,000 SF	4.4	5	OTHER RETAIL OR SERVICE	0.1 PER 1,000 SF	0.7	3
	(1951/1000) X 0.6 = 4.4 REQUIRED				(1951/1000) X 0.1 = 0.7 REQUIRED		
BUSINESS	0.5 PER 1,000 SF	0.6	1	BUSINESS	0.3 PER 1,000 SF	0.4	3
	(1255/1000) X 0.5 = 0.6 REQUIRED				(1255/1000) X 0.3 = 0.4 REQUIRED		
TOTAL		6.3	8	TOTAL		20.6	26

BICYCLE PARKING TABLE NOTES:
1. REQUIRED NUMBER OF SPACES ARE FROM BICYCLE PARKING GUIDELINES, APPENDIX A BIKE PARKING BY-LAW.



LEGEND

PROP. PROPERTY LINE	---
SIGN	—
BOLLARD	•
BUILDING	[Solid Grey Box]
BUILDING ARCHITECTURE	[Line Drawing]
BUILDING INTERIOR WALLS	[Dashed Line]
CURB	—
PARKING STRIPING	[Zebra Stripes]
HEAVY DUTY CONCRETE	[Hatched Pattern]
SIDEWALK	[Dotted Pattern]
ADA ACCESSIBLE RAMP	[Ramp Symbol]
PERMEABLE PAVERS	[Brick Pattern]
SAW-CUT LINE	---
PARKING COUNT	⓪
COMPACT PARKING STALL	Ⓢ

ZONING SUMMARY TABLE
B3-VILLAGE BUSINESS (MIXED-USE <=20,000SF)

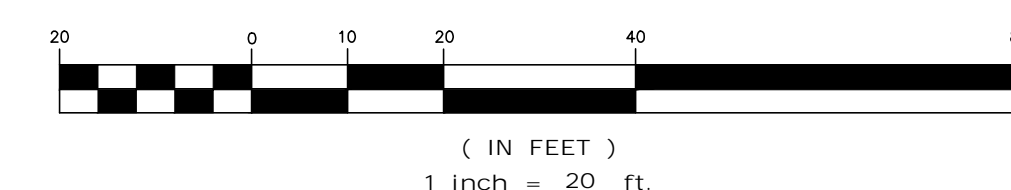
ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
MINIMUM LOT AREA	N/A	18,929± SF	18,929± SF
MINIMUM LOT AREA PER UNIT	N/A	N/A	N/A
MINIMUM FRONTAGE	50 FT	124.8± FT MASS. AVE	124.8± FT MASS. AVE
MINIMUM FRONT YARD SETBACK	0 FT	0 FT	0 FT
MINIMUM SIDE YARD SETBACK	0 FT	0 FT	0 FT
MINIMUM REAR YARD SETBACK	(H+L)/6 (1)	0.6 FT	0.6 FT
LANDSCAPED OPEN SPACE	10% (2)	0%	24.1%
USABLE OPEN SPACE	20% (2)	0%	0%
MAXIMUM HEIGHT	60 FT	<35 FT	<35 FT
MAXIMUM HEIGHT STORIES	5	2	2
FLOOR AREA RATIO	1.50	0.98	1.50(3)

ZONING TABLE NOTES:
1. THE REAR SETBACK (H+L)/6, FOR THE NEW ADDITION IS APPROXIMATELY 15.5 FT. (36+57)/6 = 15.5 FT. THE PROPOSED ADDITION HAS BEEN SITUATED OUTSIDE OF THIS SETBACK. THE EXISTING FOUNDATION IS SITUATED 0.6 FT FROM THE REAR PROPERTY LINE. THIS FOUNDATION IS TO BE MAINTAINED.
2. SECTION 5.3.21, SUPPLEMENTAL REQUIREMENTS IN THE BUSINESS AND INDUSTRIAL DISTRICTS, D. FOR MIXED USES AND ANY PERMITTED RESIDENTIAL USE NOT SPECIFICALLY IDENTIFIED IN THE TABLES IN SECTION 5.5.2, THE MINIMUM OPEN SPACE REQUIREMENTS (COMPUTED FROM THE RESIDENTIAL FLOOR AREA ONLY) SHALL BE 10% LANDSCAPED AND 20% USABLE IN THE B1, B2, B2A, B3, AND B4 DISTRICTS, AND 15 PERCENT USABLE IN THE B5 DISTRICT.
3. PROPOSED BUILDING GROSS SQUARE FEET = 28,373 GSF. THE EXISTING LOT AREA IS 18,929 SQUARE FEET. THE FAR = 28,373 GSF / 18,929 SF = 1.50

NOTES

- WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
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GRAPHIC SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REVISIONS

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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102

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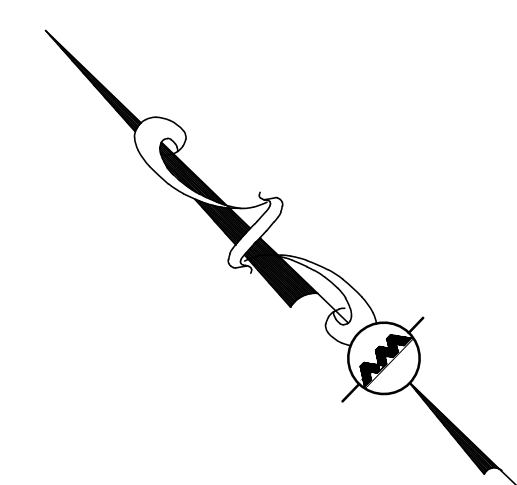


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LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- DRAIN LINE
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM



PLAN NOTES:

1. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
2. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITY CONNECTIONS SHOULD BE COORDINATED WITH THE MEP PRIOR TO CONSTRUCTION.
3. EXISTING SEWER AND WATER SERVICES SHALL BE MAINTAINED AND SERVICE TO ADDITION AND ADDITIONAL UNITS SHALL BE DETERMINED BY MEP. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE LOCATION AND CAPACITY OF EXISTING SERVICE IS ADEQUATE.
4. EXISTING DRAINAGE STRUCTURES TO REMAIN ARE TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
5. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
6. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
7. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
8. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT FOR THE FINAL LOCATIONS OF PROPOSED ROOF DRAINS. LOCATIONS ARE SHOWN HEREON FOR COORDINATION PURPOSES ONLY.
9. WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
10. ANY DAMAGE TO PRIVATE OR PUBLIC PROPERTIES DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED AND RESTORED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
11. ALL PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED AND RESTORED BY A LAND SURVEYOR LICENSED IN THE COMMONWEALTH OF MASSACHUSETTS AT THE CONTRACTOR'S EXPENSE.
12. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ADDITIONAL BENCHMARK INFORMATION IF REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING BENCHMARKS. IF IT IS NECESSARY TO RELOCATE A BENCHMARK, IT SHALL BE RELOCATED BY A MASSACHUSETTS LAND SURVEYOR AND DONE SO AT THE CONTRACTOR'S EXPENSE.
13. ALL PERMITS AND APPROVALS NECESSARY FROM AGENCIES GOVERNING THE WORK SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.
14. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE TOWN OF ARLINGTON, MADOT, MADEP, MWRA, MUTCD, AND AASHTO.
16. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY ALLEN & MAJOR ASSOCIATES DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK, OR THE OWNER'S EMPLOYEES, CUSTOMERS, OR THE GENERAL PUBLIC. THE SEAL OF THE ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PROVIDE THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), STATE, AND LOCAL REGULATIONS.
17. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



Brian D. Jones
08.20.21

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
2-14 MEDFORD STREET, LLC
455 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
455-457
MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO.	2729-03	DATE:	8/20/2021
SCALE:	1" = 10'	DWG. NAME:	C2729-03
DESIGNED BY:	JG/ARM	CHECKED BY:	ARM/BDJ

PREPARED BY:

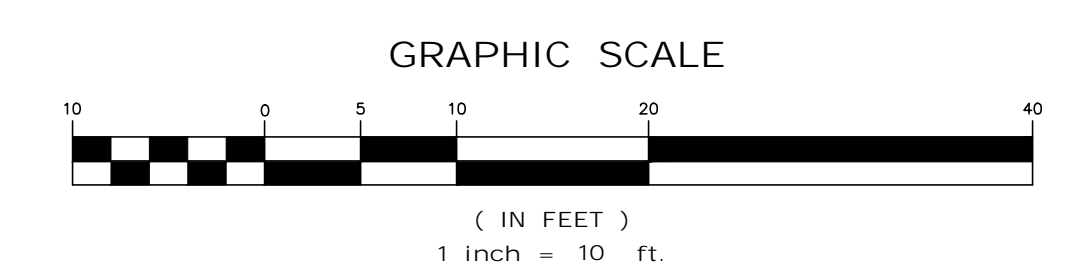
ALLEN & MAJOR ASSOCIATES, INC.
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environmental consulting • landscape architecture
www.allenmajor.com
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DRAWING TITLE: GRADING & DRAINAGE PLAN
SHEET No. C-103

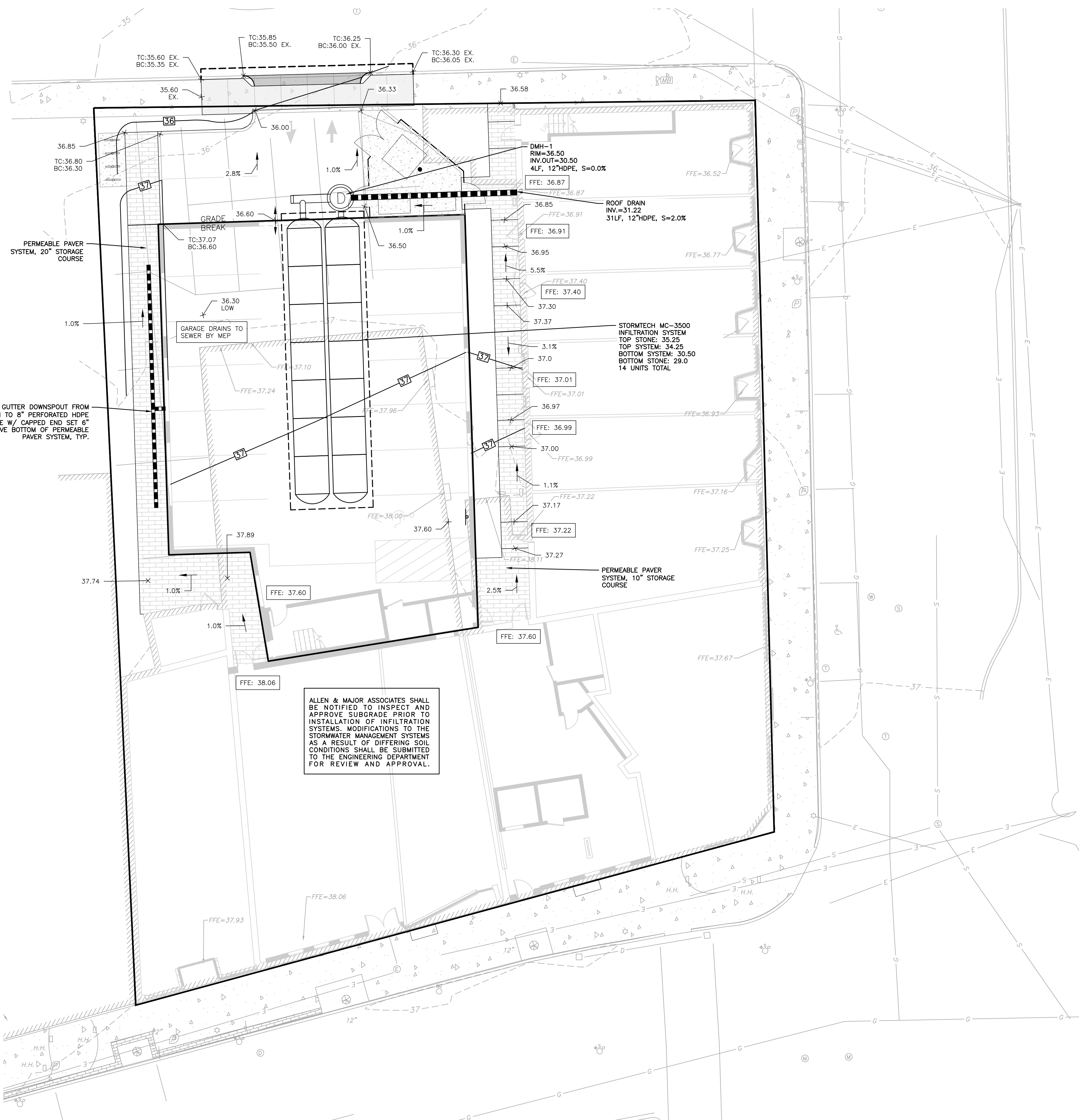
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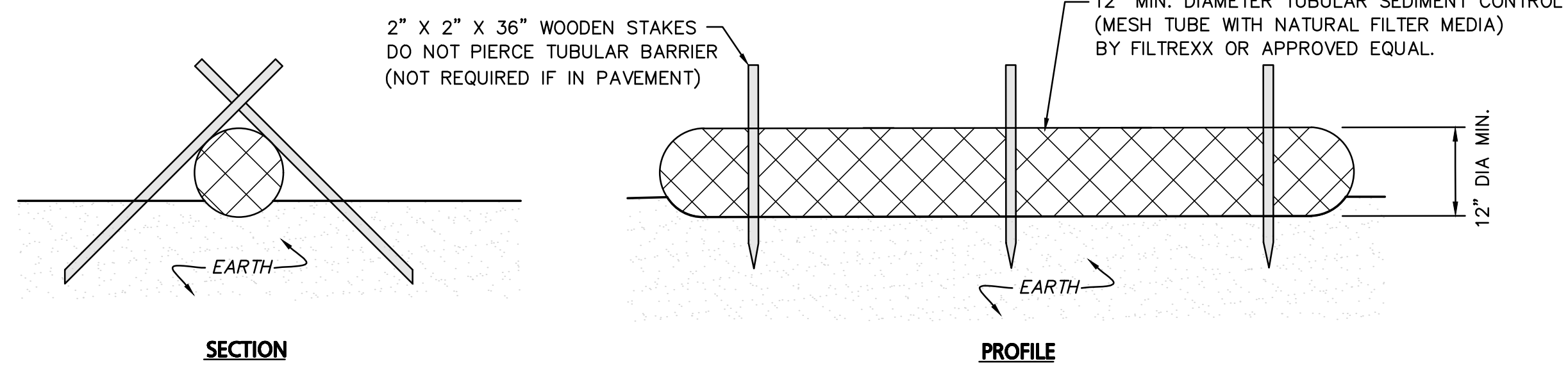


ALLEN & MAJOR ASSOCIATES SHALL BE NOTIFIED TO INSPECT AND APPROVE SUBGRADE PRIOR TO INSTALLATION OF INFILTRATION SYSTEMS. MODIFICATIONS TO THE STORMWATER MANAGEMENT SYSTEMS AS A RESULT OF DIFFERING SOIL CONDITIONS SHALL BE SUBMITTED TO THE ENGINEERING DEPARTMENT FOR REVIEW AND APPROVAL.

DIG SAFE

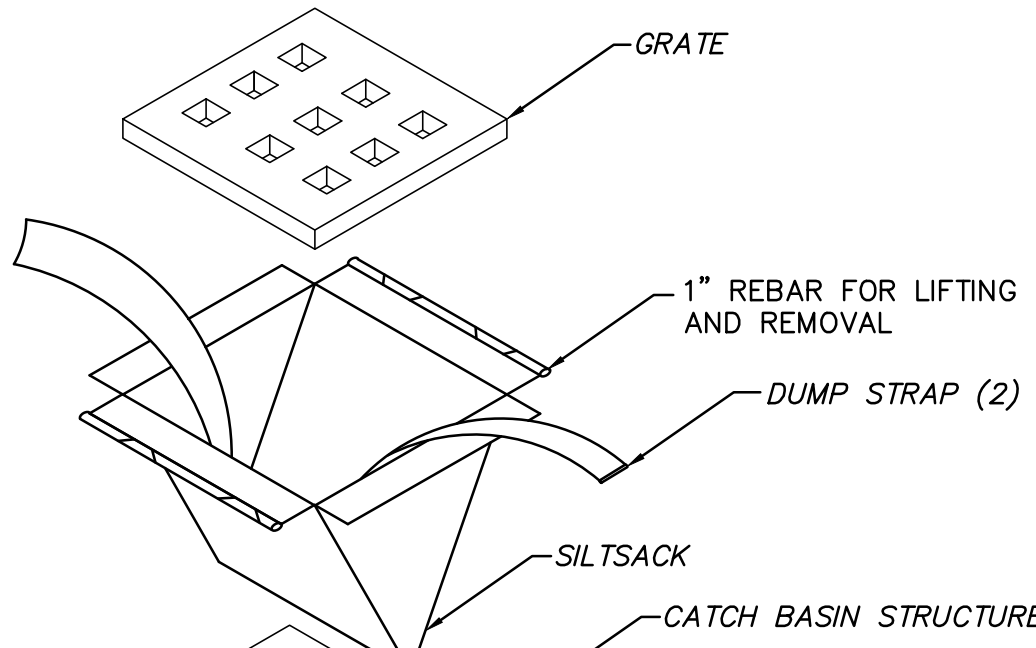
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1-888-DIG-SAFE
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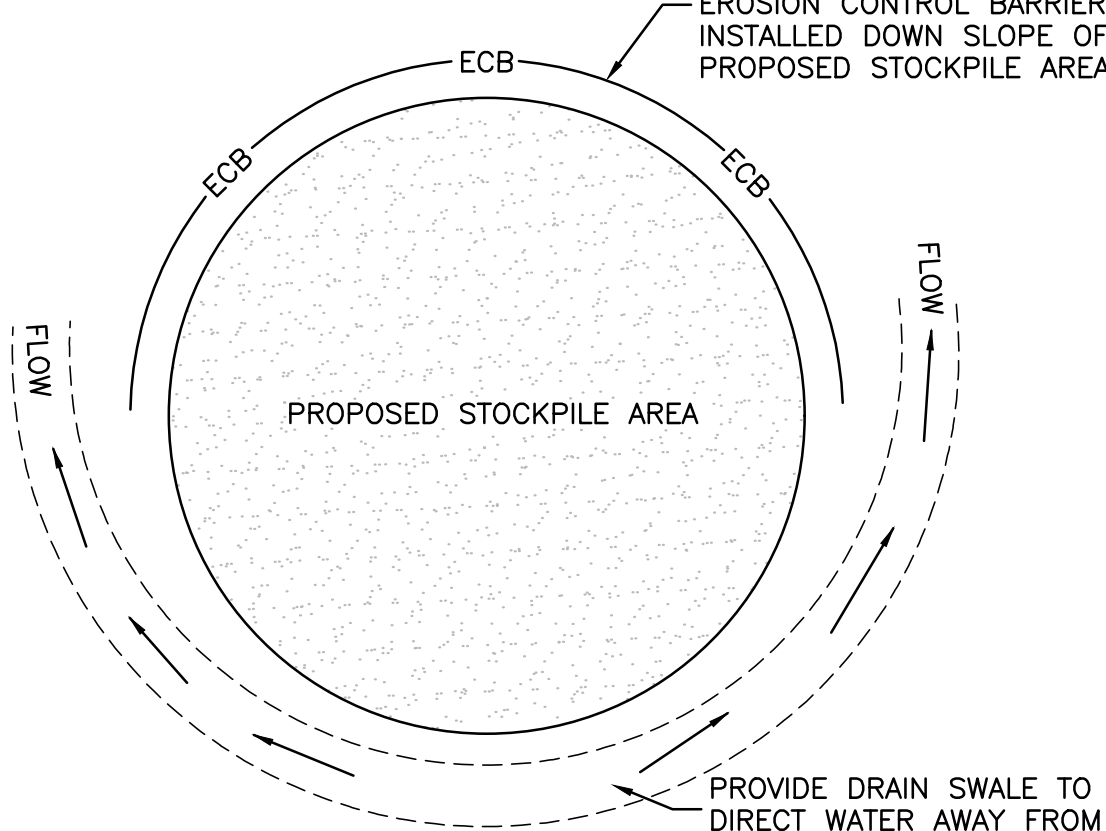
- NOTES:
1. ALL MATERIALS TO MEET MANUFACTURERS SPECIFICATIONS.
 2. INSTALL WOODEN STAKES IN A CRISS-CROSS PATTERN EVERY 8' ON CENTER.
 3. OVERLAP TUBULAR BARRIER SEGMENTS A MINIMUM OF 12".
 4. THE CONTRACTOR SHALL MAINTAIN THE TUBULAR BARRIERS IN A FUNCTIONAL CONDITION AT ALL TIMES. THE CONTROLS SHALL BE ROUTINELY INSPECTED BY THE CONTRACTOR.
 5. WHERE THE TUBULAR BARRIERS REQUIRE REPAIR OR SEDIMENT REMOVAL, IT WILL BE COMPLETED BY THE CONTRACTOR AT NO ADDITIONAL COST.
 6. AT A MINIMUM, THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE WHEN THEY REACH 1/3 THE EXPOSED HEIGHT OF THE BARRIER.

TUBULAR SEDIMENT BARRIER
NOT TO SCALE



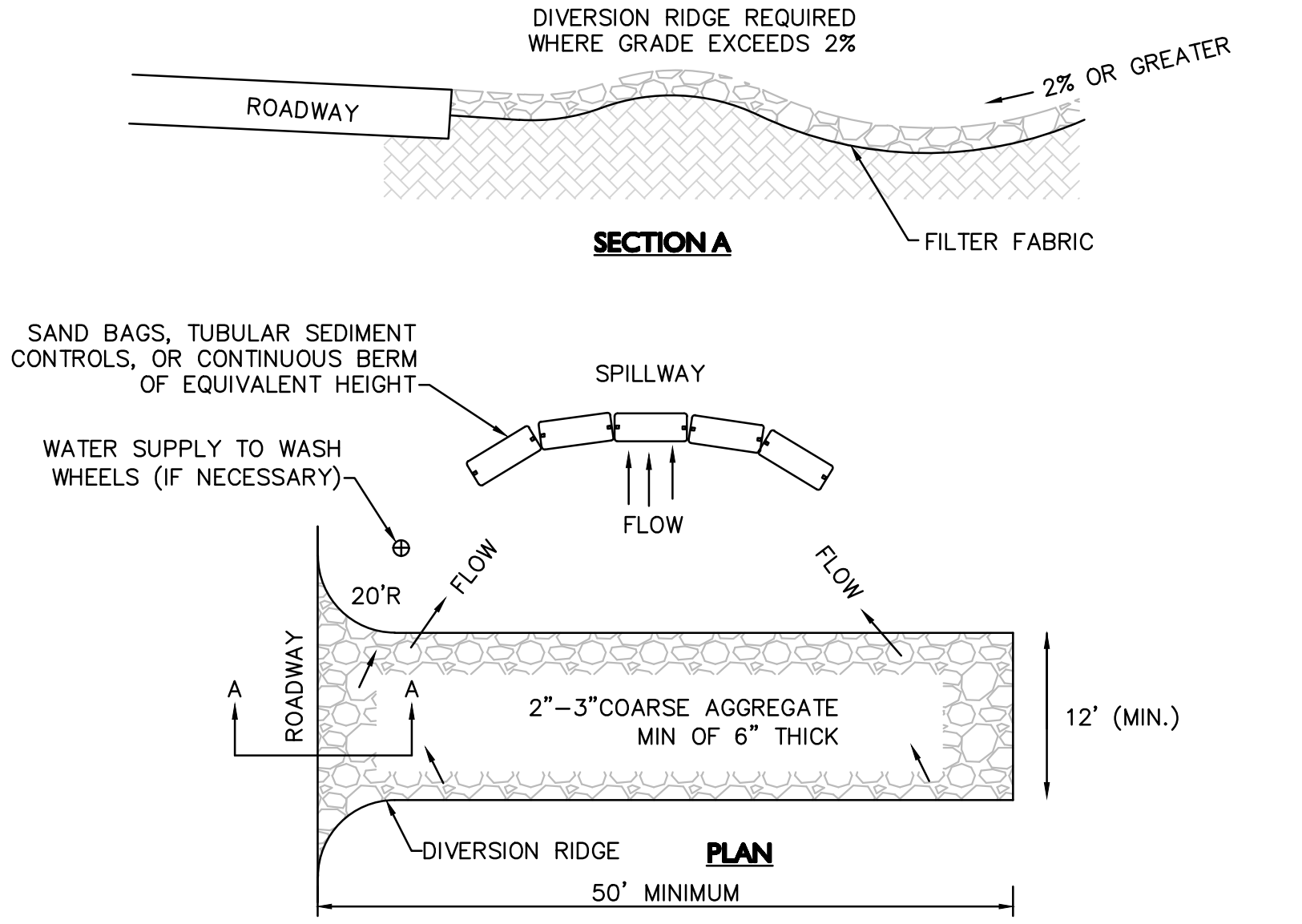
- NOTE:
1. INSTALL SILTSACK PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. EMPTY OR REMOVE SEDIMENT FROM SILTSACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE, AND REPLACE AS NEEDED.
 2. SILT SACKS TO BE INSTALLED DURING CONSTRUCTION OPERATIONS WHEN THE POTENTIAL FOR SEDIMENT TO ENTER EXISTING & PROPOSED BASINS EXISTS.

SILTSACK INLET DETAIL
NOT TO SCALE



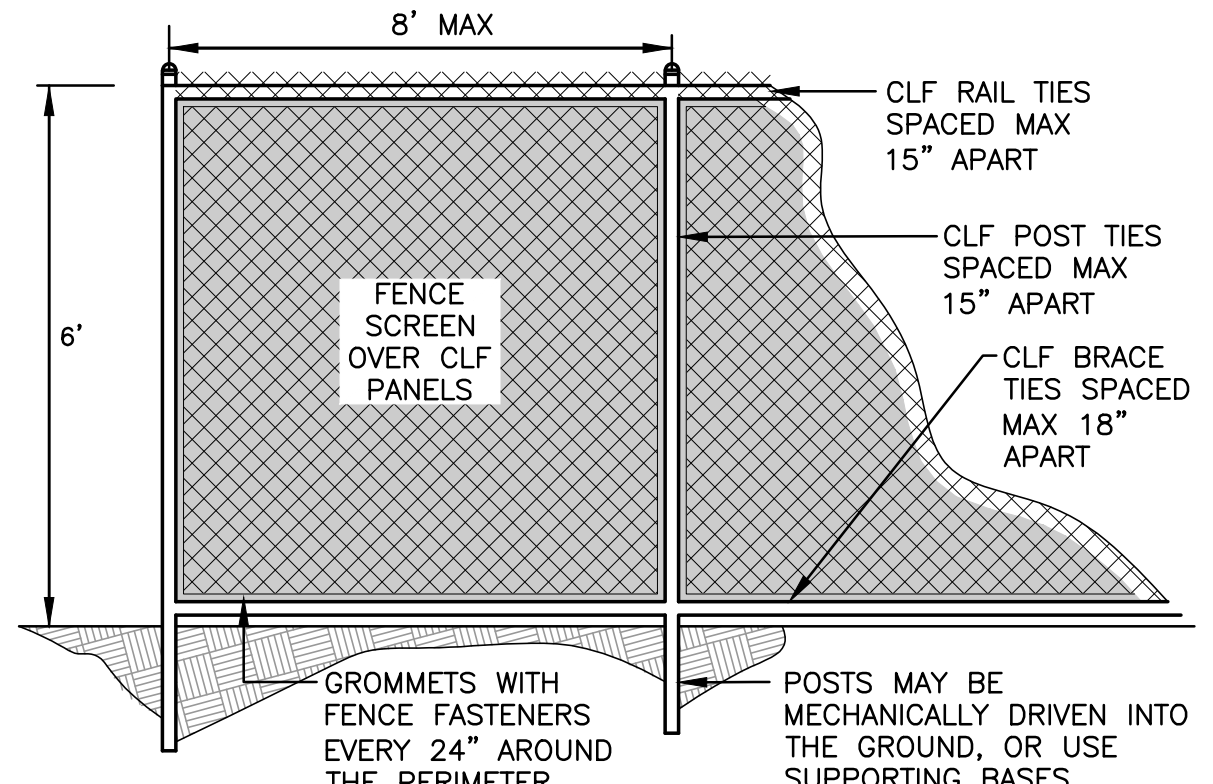
- NOTES:
1. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR LESS THAN 90 DAYS SHALL BE COVERED WITH STRAW AND MULCH (AT 100LBS/1,000 SF), OR WITH AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.
 2. SOIL AND FILL STOCKPILES EXPECTED TO REMAIN IN PLACE FOR 90 DAYS OR MORE SHALL BE SEEDED WITH WINTER RYE (FOR FALL SEEDING AT 1LB/1,000 SF) OR OATS (FOR SUMMER SEEDING AT 2LB/1,000 SF) AND THEN COVERED WITH STRAW MULCH (AT 100LB/1,000 SF) OR AN ANCHORED TARP WITHIN 7 DAYS OR PRIOR TO ANY RAINFALL.

STOCKPILE PROTECTION DETAIL
NOT TO SCALE



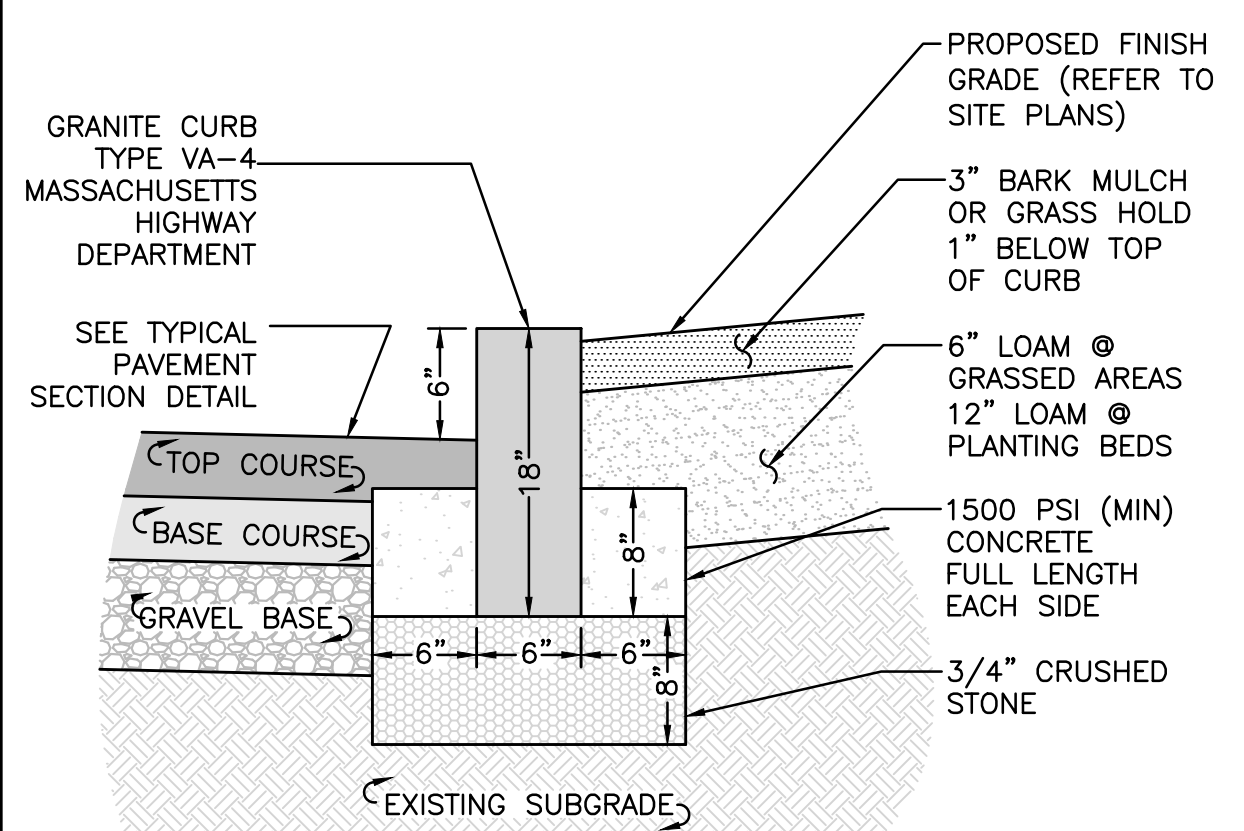
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTERING THE PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. USE SANDBAGS, TUBULAR SEDIMENT CONTROLS, OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

TEMPORARY CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE



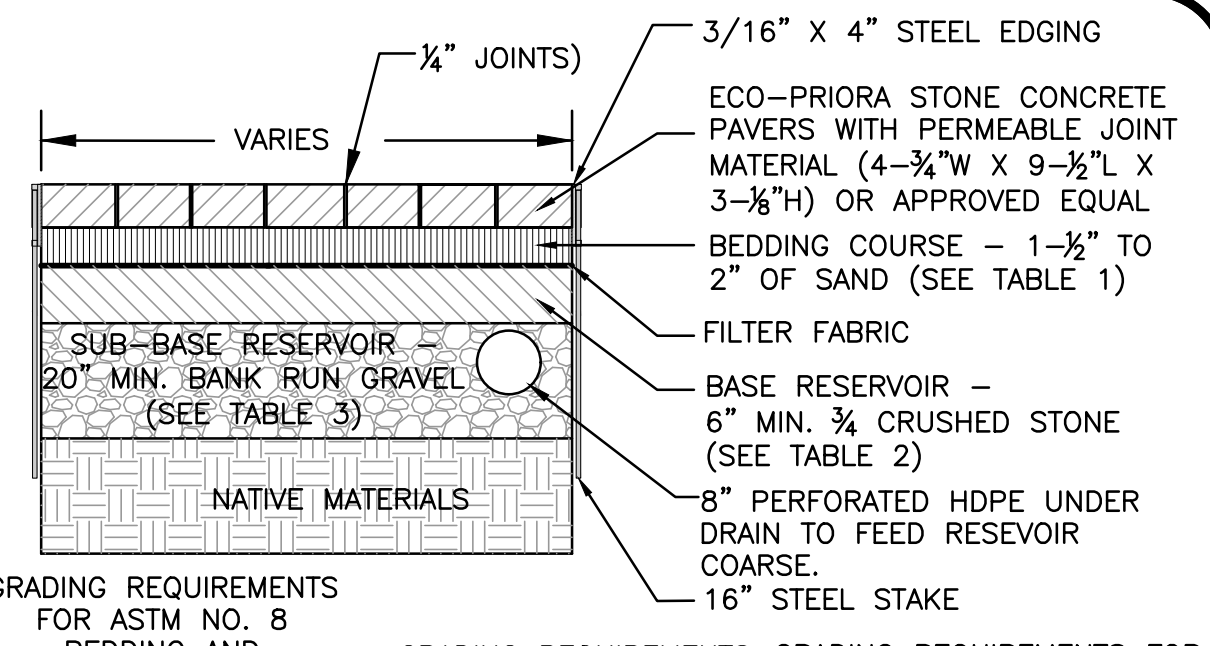
- NOTES:
1. SCREEN MATERIAL SHALL BE MADE FROM KNITTED HIGH DENSITY POLYETHYLENE WITH UV ADDITIVES.
 2. SCREEN FILAMENT STRENGTH SHALL BE A MINIMUM OF 50LBS/FT.
 3. SCREEN MATERIAL BREAK STRENGTH SHALL BE A MINIMUM OF 500 LBS/FT.
 4. SCREEN SHADE / WIND BLOCKAGE SHALL BE A MINIMUM OF 85%.
 5. SCREEN COLOR SHALL BE GREEN OR BLACK.

TEMPORARY CONSTRUCTION FENCE w/ SCREEN
NOT TO SCALE



- SEE TYPICAL PAVEMENT SECTION DETAIL

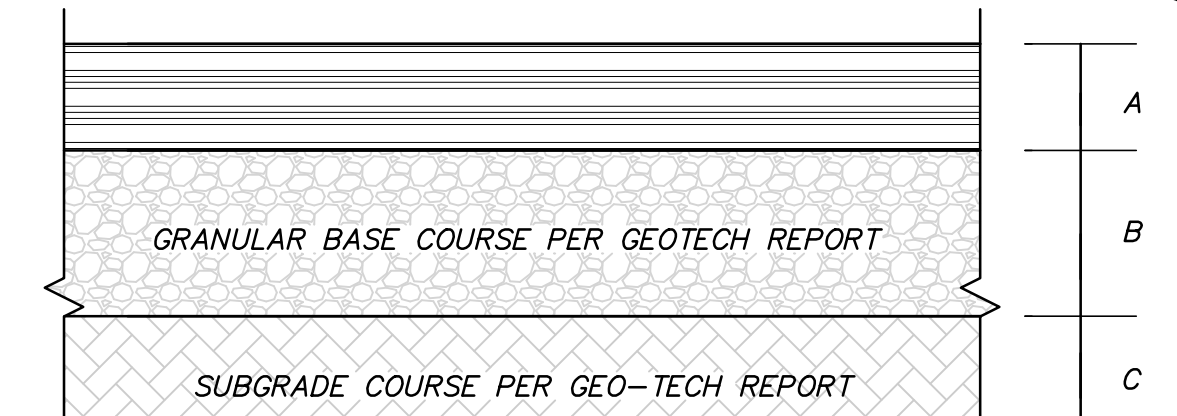
VERTICAL GRANITE CURB
NOT TO SCALE



GRADING REQUIREMENTS FOR ASTM NO. 8 BEDDING AND JOINT/OPENING FILLER

Table 1 - Bedding/joint		Table 2 - Base		Table 3 - Sub-Base	
SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING	SIEVE SIZE	% PASSING
12.5mm (1/2 in)	100	25mm (1 in)	95 to 100	75mm (3 in)	100
9.5mm (3/8 in)	85 to 100	12.5mm (1/2 in)	25 to 60	63mm (2 1/2 in)	90 to 100
4.75mm (No. 4)	10 to 30	4.75mm (No. 4)	0 to 10	50mm (2 in)	35 to 75
2.36mm (No. 8)	0 to 10	2.36mm (No. 8)	0 to 5	37.5mm (1 1/2 in)	0 to 15
1.16mm (No. 16)	0 to 5			19mm (3/4 in)	0 to 5

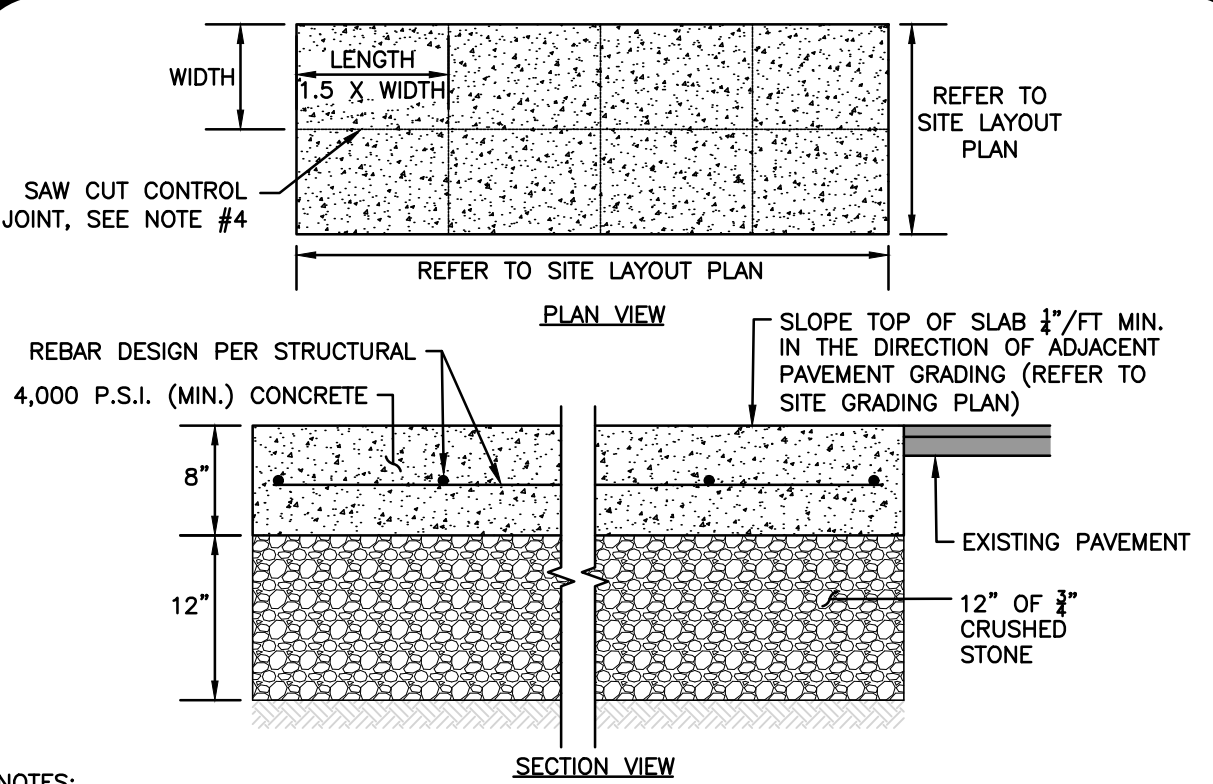
PRECAST CONCRETE PAVER (PERVIOUS)
NOT TO SCALE



- NOTES:
1. SURFACE COURSE, BASE, AND SUBGRADE SHALL BE PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS FOR LOCAL SOILS OR DRAINAGE CONDITIONS AND/OR METHODS.
 2. THIS DETAIL IS APPLICABLE TO ON-SITE PAVING.
 3. SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (AS DETERMINED BY ASTM D1557).
 4. COORDINATE PAVEMENT DETAIL WITH GEOTECHNICAL ENGINEER.

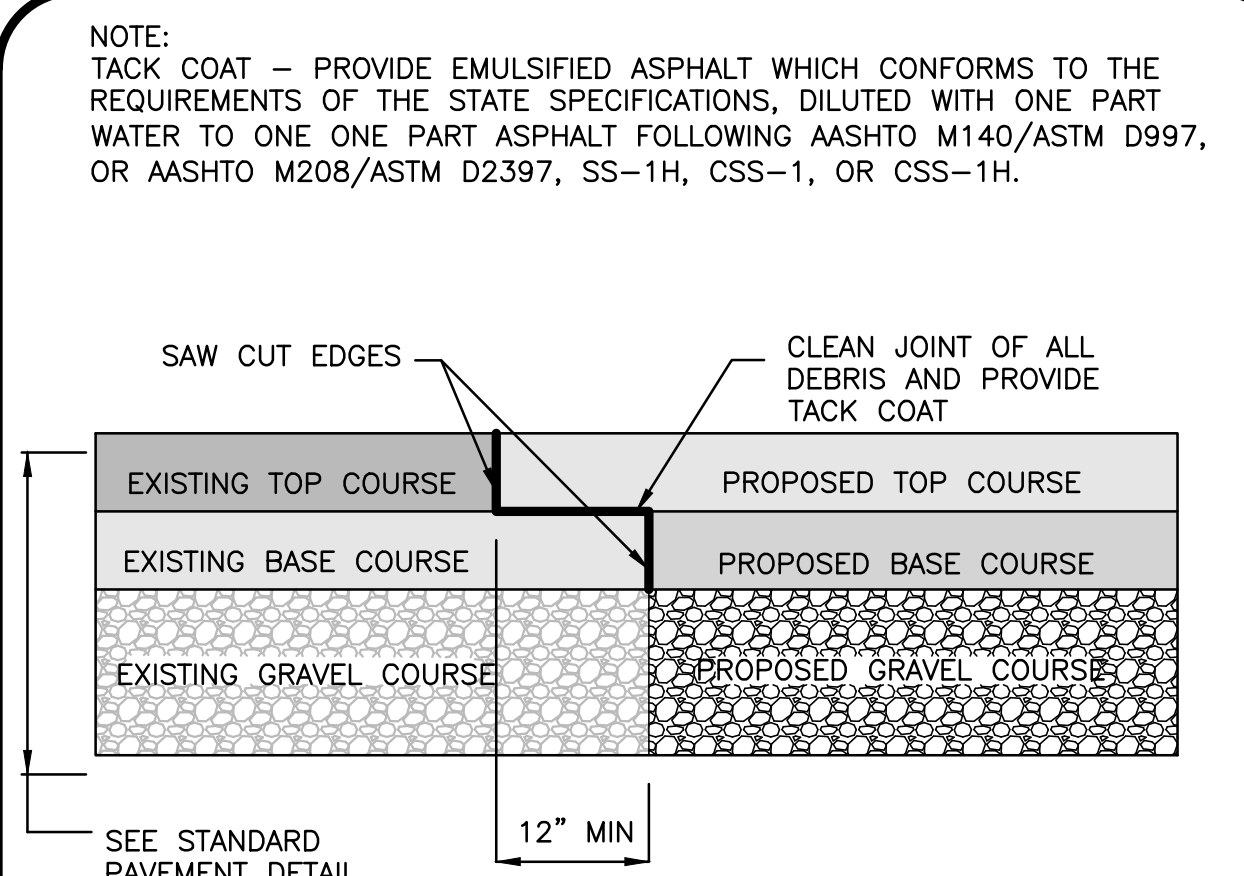
STANDARD DUTY PAVING
 A= 1.5" ASPHALT CONCRETE - SURFACE COURSE (M.3.11.0, TABLE A, TOP COURSE)
 1.5" ASPHALT CONCRETE - BINDER COURSE (M.3.11.0, TABLE A, BINDER COURSE)
 B= 4" BASE COURSE (MHD 2.01.7)
 C= 12" SUBBASE COURSE (MHD 1.03.0, TYPE B)

STANDARD DUTY BITUMINOUS PAVEMENT
NOT TO SCALE



- NOTES:
1. PROVIDE NON-SLIP BROOM FINISH TO TOP SURFACE.
 2. ALL CONCRETE SHALL BE PROPORTIONED, MIXED AND PLACED CONFORMING TO CURRENT AMERICAN CONCRETE INSTITUTE (ACI) 301, 304, AND 308 STANDARDS. THE FOLLOWING MIX DESIGNS SHALL BE SUBMITTED FOR REVIEW:
 EXTERIOR CONCRETE
 28-DAY STRENGTH (MIN): 4,000 PSI
 COARSE AGGREGATE (MAX): 3/4"
 WATER CEMENT RATIO (W/C): 0.45
 AIR ENTRAINMENT: 6% (±1%)
 SLUMP: 3.5" (±1")
 3. REINFORCING STEEL SHALL BE NEW BILLET STEEL IN ACCORDANCE WITH ASTM A615, GRADE 60. ALL DETAILS SHALL BE IN ACCORDANCE WITH ACI DETAIL STANDARD ACI 315.
 4. CONTROL JOINTS SHALL BE SAW CUT TO A DEPTH OF 1.0" AT A RATIO NOT TO EXCEED 1.5:1.0 LENGTH TO WIDTH, SEE PLAN VIEW ABOVE.

HEAVY DUTY CONCRETE PAD
NOT TO SCALE



- NOTE:
 TACK COAT - PROVIDE EMULSIFIED ASPHALT WHICH CONFORMS TO THE REQUIREMENTS OF THE STATE SPECIFICATIONS, DILUTED WITH ONE PART WATER TO ONE PART ASPHALT FOLLOWING AASHTO M140/ASTM D997, OR AASHTO M208/ASTM D2397, SS-1H, CSS-1, OR CSS-1H.

PAVEMENT KEY CUT DETAIL
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

APPLICANT/OWNER:
 2-14 MEDFORD STREET, LLC
 455 MASSACHUSETTS AVE, STE 1
 ARLINGTON, MA 02474

PROJECT:
 455-457
 MASSACHUSETTS AVE
 ARLINGTON, MA 02476

PROJECT NO. 2729-03 DATE: 8/20/2021

SCALE: AS SHOWN DWG. NAME: C2729-03

DESIGNED BY: JG/ARM CHECKED BY: ARM/BDJ

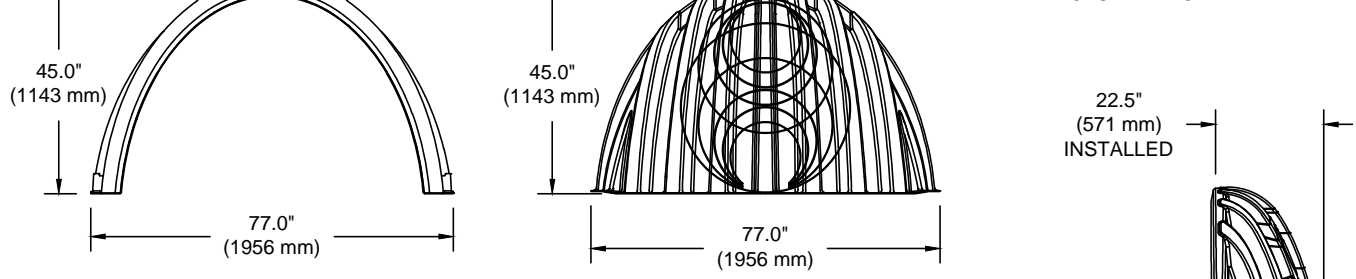
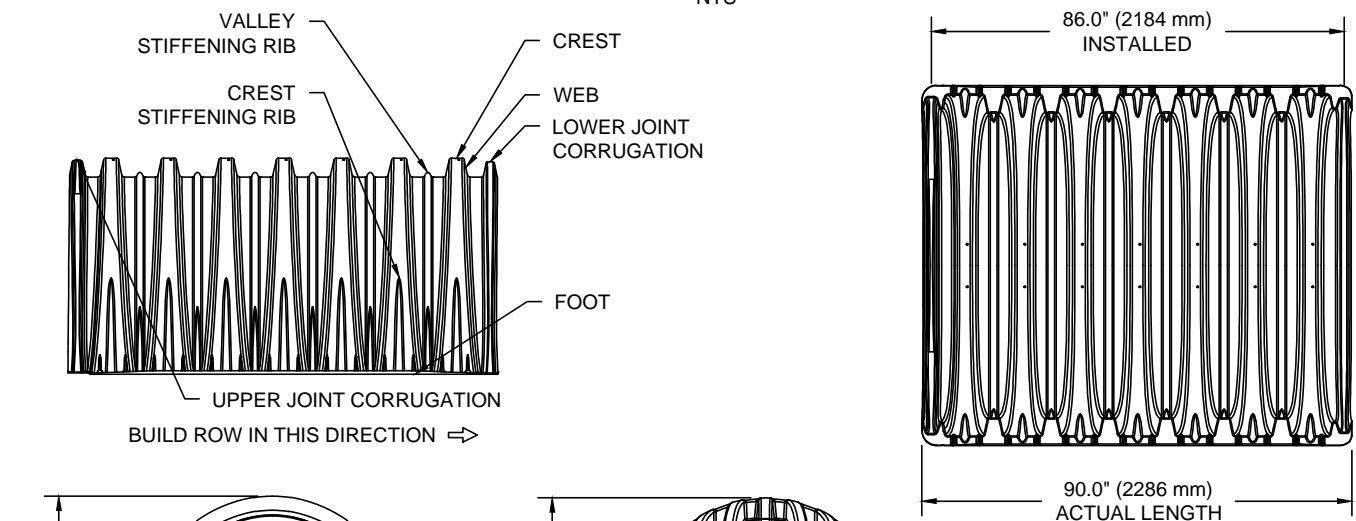
PREPARED BY:



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DRAWING TITLE: DETAILS SHEET No. C-501

MC-3500 TECHNICAL SPECIFICATION
NTS



NOMINAL CHAMBER SPECIFICATIONS
SIZE (W X H X INSTALLED LENGTH)
CHAMBER STORAGE
MINIMUM INSTALLED STORAGE*
WEIGHT

77.0" X 45.0" X 86.0"	(1956 mm X 1143 mm X 2184 mm)
109.9 CUBIC FEET	(3.11 m³)
178.9 CUBIC FEET	(5.06 m³)
135.0 lbs.	(61.2 kg)

NOMINAL END CAP SPECIFICATIONS
SIZE (W X H X INSTALLED LENGTH)
END CAP STORAGE
MINIMUM INSTALLED STORAGE*
WEIGHT

77.0" X 45.0" X 22.5"	(1956 mm X 1143 mm X 571 mm)
14.9 CUBIC FEET	(0.42 m³)
46.0 CUBIC FEET	(1.30 m³)
50.0 lbs.	(22.7 kg)

*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

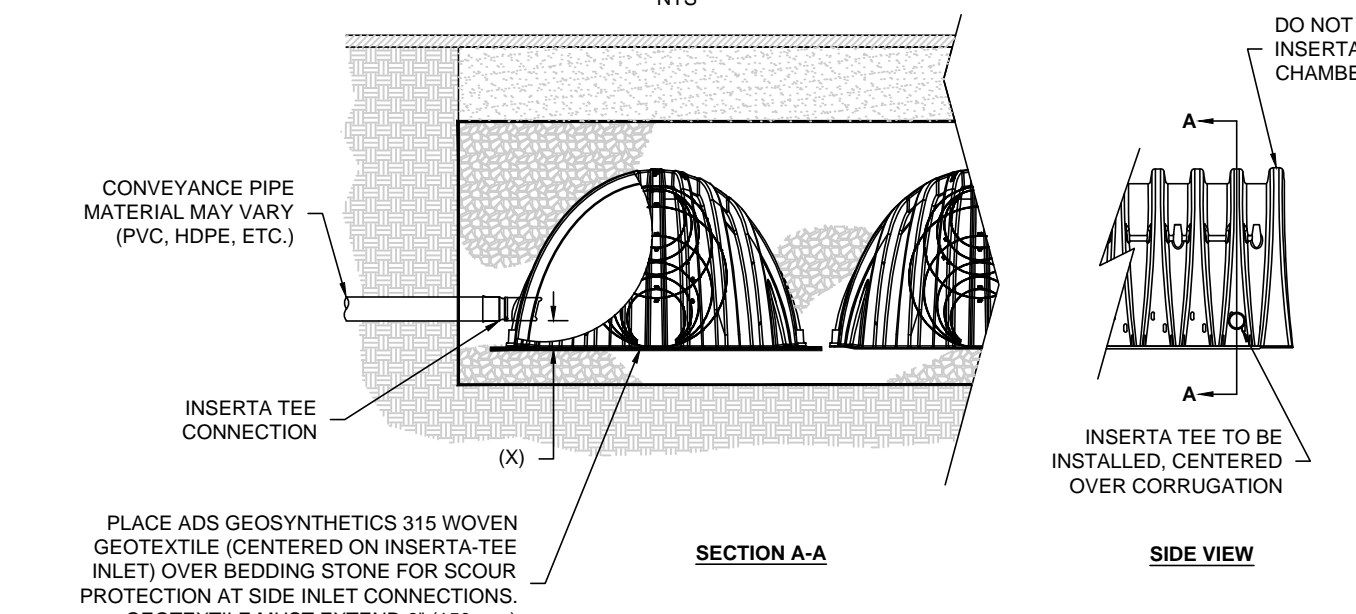
STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"

PART #	STUB	B	C
MC3500EPP08T	6" (150 mm)	33.21" (844 mm)	0.66" (17 mm)
MC3500EPP08B	8" (200 mm)	31.16" (791 mm)	---
MC3500EPP10T	10" (250 mm)	29.04" (738 mm)	0.81" (21 mm)
MC3500EPP10B	12" (300 mm)	26.36" (670 mm)	0.93" (24 mm)
MC3500EPP12T	12" (300 mm)	26.36" (670 mm)	1.35" (34 mm)
MC3500EPP12B	15" (375 mm)	23.39" (594 mm)	---
MC3500EPP15T	18" (450 mm)	20.03" (509 mm)	1.50" (38 mm)
MC3500EPP15B	18" (450 mm)	14.48" (368 mm)	---
MC3500EPP18T	24" (600 mm)	---	2.06" (52 mm)
MC3500EPP24T	30" (750 mm)	---	---
MC3500EPP24B	---	---	---
MC3500EPP30B	---	---	---

NOTE: ALL DIMENSIONS ARE NOMINAL.
CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS.
CUSTOM INVERT LOCATIONS ON THE MC-3500 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm).
THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

CHAMBER SYSTEM TECHNICAL SPECIFICATIONS
NOT TO SCALE

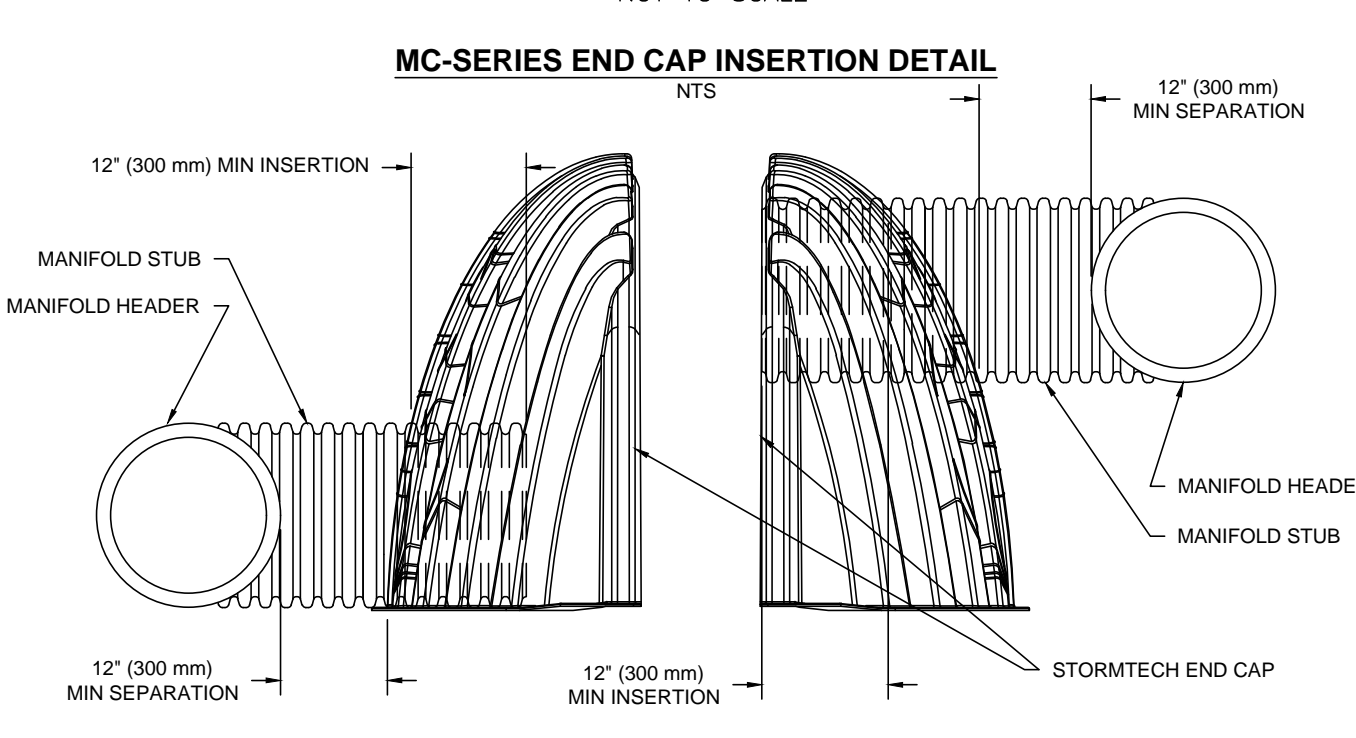
INSERTA TEE DETAIL
NTS



CHAMBER	MAX DIAMETER OF INSERTA TEE	HEIGHT FROM BASE OF CHAMBER (X)
SC-310	6" (150 mm)	4" (100 mm)
SC-740	10" (250 mm)	4" (100 mm)
DC-780	10" (250 mm)	4" (100 mm)
MC-3500	12" (300 mm)	6" (150 mm)
MC-4500	12" (300 mm)	8" (200 mm)

INSERTA TEE FITTINGS AVAILABLE FOR SDR 26, SDR 35, SCH 40 IPS GASKETED & SOLVENT WELD, N-12, HP STORM, C-300 OR DUCTILE IRON

INSERTA TEE CONNECTION DETAIL
NOT TO SCALE

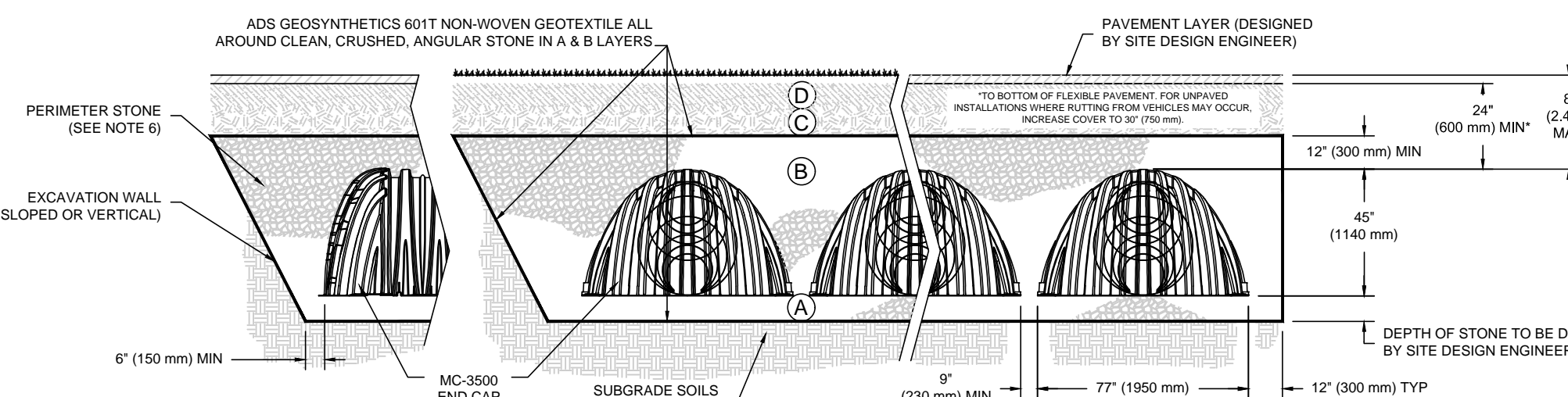


CHAMBER SYSTEM TYPICAL END CAP DETAIL
NOT TO SCALE

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

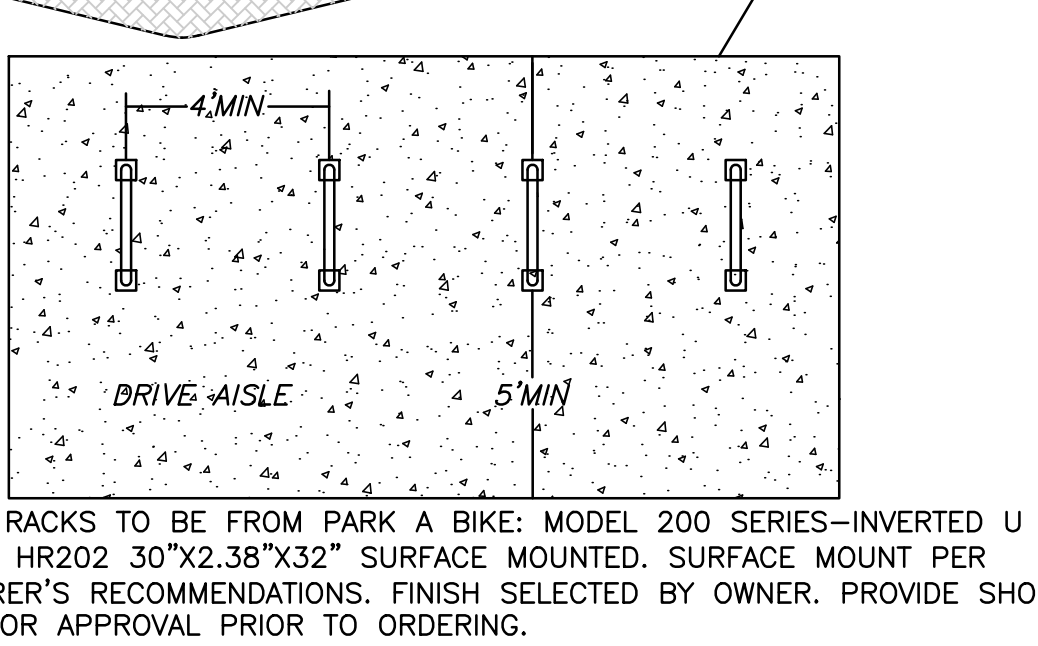
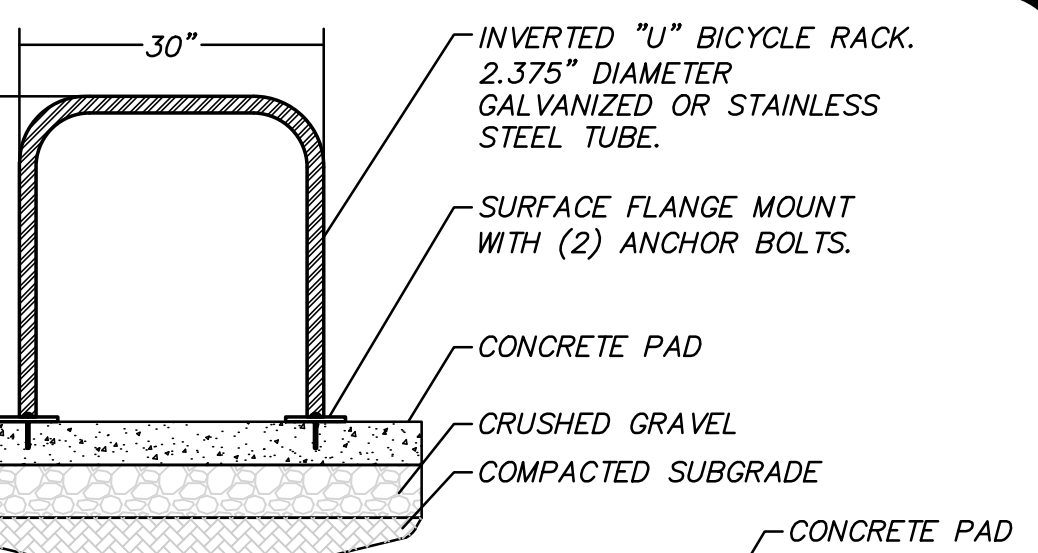
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 4" (100 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M140 ¹ A-1, A-2, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 ² 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹

PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTIONED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



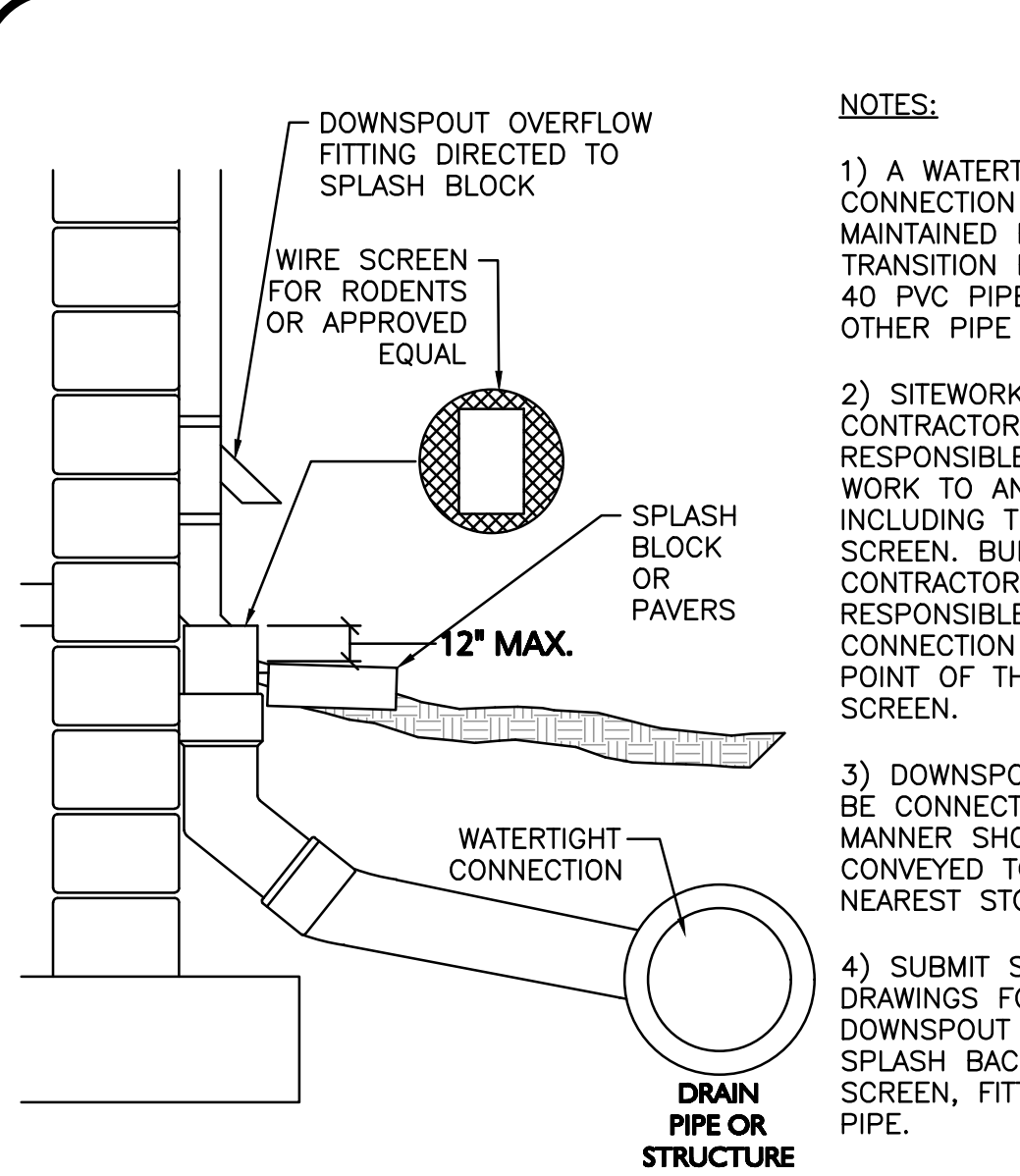
NOTES:
1. MC-3500 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
2. MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
3. "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
4. THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
5. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

CHAMBER SYSTEM TYPICAL CROSS SECTION DETAIL
NOT TO SCALE



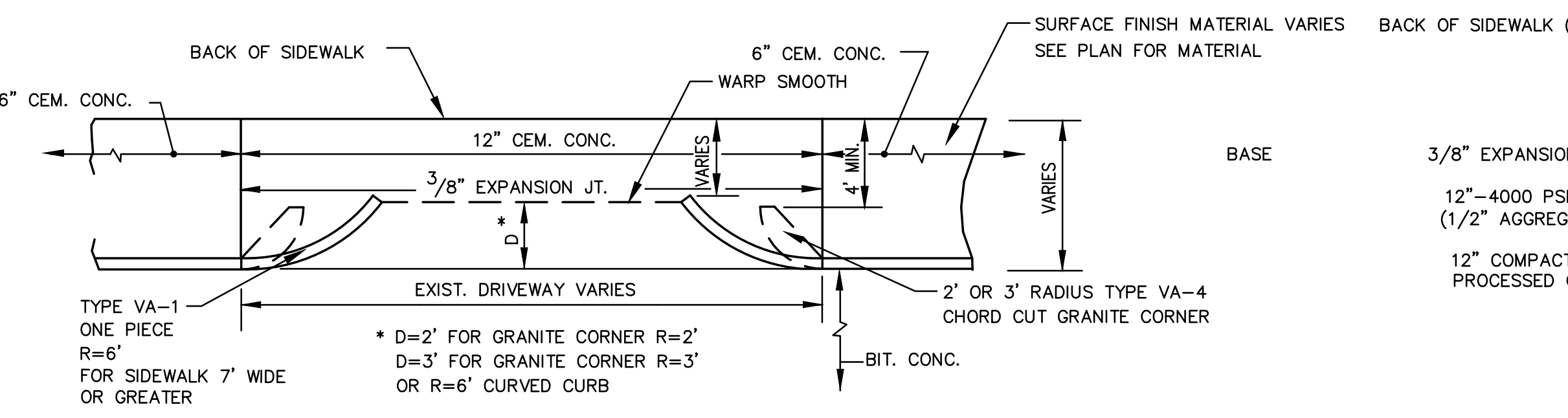
BICYCLE RACK DETAIL
NOT TO SCALE

NOTE: BIKE RACKS TO BE FROM PARK A BIKE: MODEL 200 SERIES-INVERTED U BIKE RACKS HR202 30"x2.38"x32" SURFACE MOUNTED. SURFACE MOUNT PER MANUFACTURER'S RECOMMENDATIONS. FINISH SELECTED BY OWNER. PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO ORDERING.



DOWNSPOUT
NOT TO SCALE

NOTES:
1) A WATERTIGHT CONNECTION SHALL BE MAINTAINED FROM ANY TRANSITION FROM SCH. 40 PVC PIPE TO ANY OTHER PIPE TYPE.
2) SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.
3) DOWNSPOUTS SHALL BE CONNECTED IN THE MANNER SHOWN AND CONVEYED TO THE NEAREST STORM DRAIN.
4) SUBMIT SHOP DRAWINGS FOR DOWNSPOUT OVERFLOW, SPLASH BACK, RODENT SCREEN, FITTINGS AND PIPE.



TYPICAL COMMERCIAL DRIVEWAY APRON
NOT TO SCALE

* D=2' FOR GRANITE CORNER R=2'
D=3' FOR GRANITE CORNER R=3'
OR R=6' CURVED CURB

STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500 OR APPROVED EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS TESTED USING ASTM STANDARDS.
- CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED.
- CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- ALL DESIGN SPECIFICATIONS FOR CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST DESIGN MANUAL.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.

DESC.	SIGN	SIZE	MOUNTING HEIGHT	DESCRIPTION	REFLEC-TORIZED
R7-8M (MODIFIED)		12" x 26"	7' - 0"	WHITE TEXT ON BLUE FIELD WITH WHITE BORDER	YES

- TRAFFIC AND SAFETY SIGNAGE SHALL COMPLY WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) STANDARDS.
- MOUNTING HEIGHT IS DEFINED AS THE DISTANCE FROM THE BOTTOM OF THE SIGN TO THE NEAR EDGE OF THE PAVEMENT.

SIGN TABLE
NOT TO SCALE



PROFESSIONAL ENGINEER FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
2-14 MEDFORD STREET, LLC
455 MASSACHUSETTS AVE, STE 1
ARLINGTON, MA 02474

PROJECT:
455-457
MASSACHUSETTS AVE
ARLINGTON, MA 02476

PROJECT NO. 2729-03 DATE: 8/20/2021

SCALE: AS SHOWN DWG. NAME: C2729-03

DESIGNED BY: JG/ARM CHECKED BY: ARM/BDJ

PREPARED BY:



ALLEN & MAJOR ASSOCIATES, INC.
civil engineering • land surveying
environmental consulting • landscape architecture
www.allenmajor.com
100 COMMERCE WAY, SUITE 5
WOBURN MA 01801
TEL: (781) 935-6889
FAX: (781) 935-2896

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DRAWING TITLE: SHEET No.

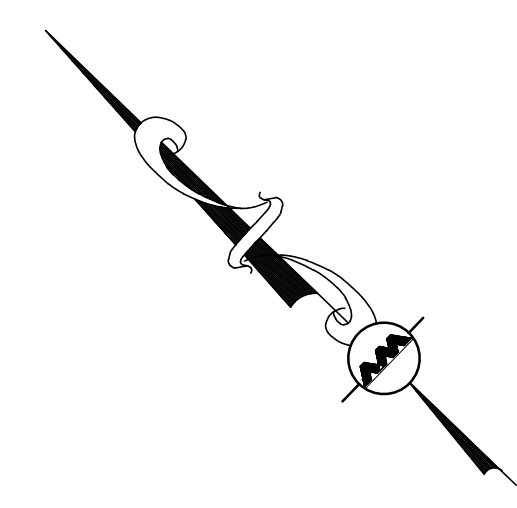
DETAILS C-502

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N/F
ROMAN CATHOLIC
ARCHBISHOP OF BOSTON
BK.6935/PG.547

N/F
TOWN OF ARLINGTON

PARK TERRACE
(STATUS UNKNOWN)



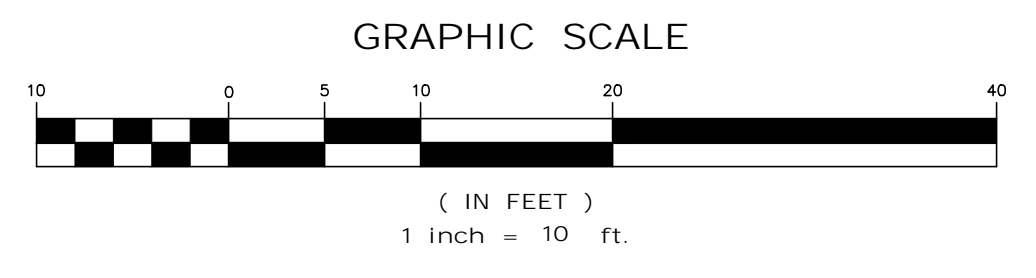
LEGEND	
DECIDUOUS TREE	
EVERGREEN TREE	
FLOWERING TREE	
SHRUBS	
MULCH BED	
PERENNIALS/GROUNDCOVER	

PLANTING SCHEDULE-TREES, SHRUBS, GROUNDCOVERS & PERENNIALS

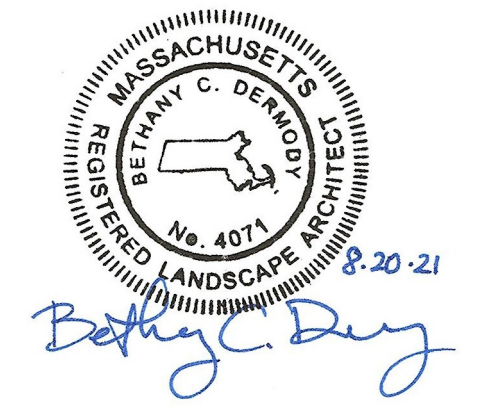
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	COMMENTS
EVERGREEN TREES						
TO	11	THUJA O. 'WINTERGREEN'	WINTERGREEN ARBORVITAE	6-7' HT	AS SHOWN	B&B
FLOWERING TREES						
AC	1	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY	2.5-3" CAL.	AS SHOWN	B&B
SHRUBS/PERENNIALS						
CA	13	CORNUS ALBA 'IVORY HALO'	IVORY HALO DOGWOOD	#3	AS SHOWN	POT
BG	27	BUXUS 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	#2	AS SHOWN	POT
HY	4	HYDRANGEA ARBORESCENS INCREDIBALL	INCREDIBALL HYDRANGEA	#5	AS SHOWN	POT
HO	46	HOSTA 'JUNE'	JUNE HOSTA	#1	24" O.C	STAGGERED
HH	7	HEMEROCALLIS 'BIG TIME HAPPY'	BIG TIME HAPPY DAYLILLY	#1	24" O.C	STAGGERED

NOTES:

- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- ALL LANDSCAPED AREAS WITH SHRUBS, TREES, AND PERENNIALS TO HAVE 18" MINIMUM DEPTH OF TOPSOIL. EIGHTEEN INCHES OF TOPSOIL AROUND TREES AND SHRUBS DOES NOT INCLUDE AMENDED PLANTING SOIL WITHIN TREE / SHRUB PIT FOR FULL DEPTH OF ROOTBALLS. SEE PLANTING DETAILS FOR PLANTING DEPTH AT SHRUBS AND TREES. ALL AREAS OF LOAM AND SEED OR LOAM & SOD TO HAVE 6" MINIMUM DEPTH OF TOPSOIL. TOPSOIL TO BE TESTED BY CONTRACTOR, AND APPROVED BY A&M PRIOR TO PURCHASE AND OR PLACEMENT. GENERAL CONTRACTOR, DEMOLITION CONTRACTOR, AND LANDSCAPE CONTRACTOR TO COORDINATE PROPER DEPTH OF EXISTING MATERIAL REMOVAL ACROSS SITE SO THAT 18" MINIMUM AND 6" MINIMUM DEPTHS OF PROPOSED TOPSOIL NOTED ABOVE ARE MET AT NO ADDITIONAL COST TO OWNER. SEE TOPSOIL DETAIL.



TD
MD
PG.40



REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

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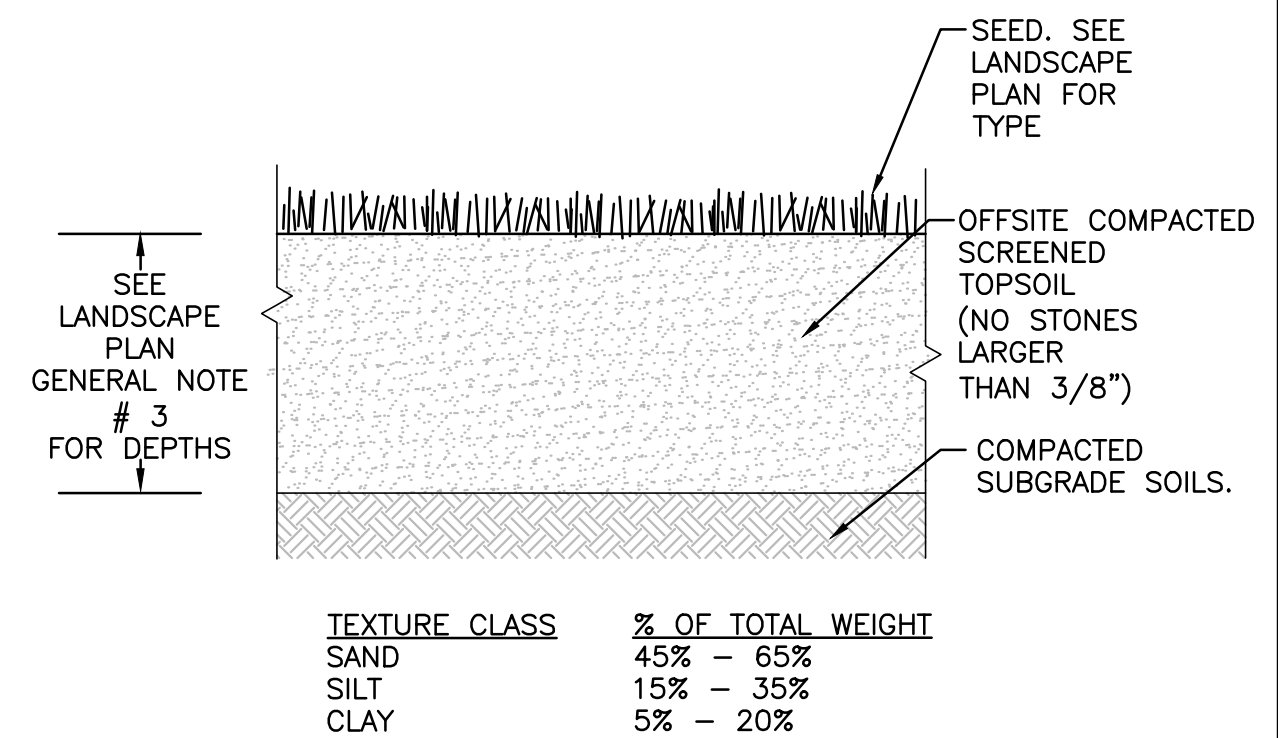
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DRAWING TITLE: LANDSCAPE PLAN SHEET No. L-101

R:\PROJECTS\2729-03\CIVIL\DRAWINGS\CURRENT\C-2729-03_LANDSCAPING.DWG

LANDSCAPE NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN OF ARLINGTON, MA.
- PLANTING PLAN IS DIAGRAMMATIC IN NATURE. FINAL PLACEMENT OF PLANTS TO BE APPROVED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES, ANY PERMITTING AGENCIES, AND "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS IN ADVANCE OF ANY WORK THAT WILL REQUIRE EXCAVATION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS IN WRITING.
- NO PLANT MATERIAL SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA, ANY TREES NOTED AS "SEAL OR SELECTED SPECIMEN" SHALL BE TAGGED AND SEALED BY THE LANDSCAPE ARCHITECT.
- ALL TREES SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT LIST. QUANTITIES SHOWN ON PLANS SHALL GOVERN OVER PLANT LIST.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE GUIDELINES ESTABLISHED BY THE STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF ACCEPTANCE.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED SHALL RECEIVE 6" OF SUITABLE LOAM & SEED LAWNS WITH 3:1 OR GREATER SLOPES SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
- ANY FALL TRANSPLANTING HAZARD PLANTS SHALL BE DUG IN THE SPRING AND STORED FOR FALL PLANTING.
- TREES SHALL HAVE A MINIMUM CALIPER AS INDICATED ON THE PLANTING SCHEDULE TAKEN ONE FOOT ABOVE THE ROOT CROWN.
- ALL PLANT BEDS AND TREE SAUCERS TO RECEIVE 3" OF PINE BARK MULCH. GROUND COVER AREAS SHALL RECEIVE 1" OF PINE BARK MULCH
- ALL DECIDUOUS TREES ADJACENT TO WALKWAYS AND ROADWAYS SHALL HAVE A BRANCHING PATTERN TO ALLOW FOR A MINIMUM OF 7' OF CLEARANCE BETWEEN THE GROUND AND THE LOWEST BRANCH.
- ALL TREE STAKES SHALL BE STAINED DARK BROWN.
- CONTRACTOR RESPONSIBLE FOR WATERING, AND RESEEDING OF BARE SPOTS UNTIL A UNIFORM STAND OF VEGETATION IS ESTABLISHED AND ACCEPTED.
- ALL PARKING ISLANDS PLANTED WITH SHRUBS SHALL HAVE 24" OF TOP SOIL. FINISH GRADE SHALL BE EQUAL TO THE TOP OF CURB.
- SOIL SAMPLES, TESTS, AND SHOP DRAWINGS SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT OR THE OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- AN MINIMUM 18" WIDE BARRIER OF 1" GRAY OR TAN PEASTONE SHALL BE INSTALLED IN ALL PLANT BEDS WHICH ADJUT THE BUILDINGS WITH FLAMMABLE EXTERIOR MATERIAL. NO MULCH IS ALLOWED WITHIN 18" OF THIS BUILDING MATERIAL PER THE LATEST EXECUTIVE OFFICE OF PUBLIC SAFETY AND SECURITY DEPARTMENT OF FIRE SERVICES REGULATION (527 CMR 17.00). INSTALL 6" DEEP OF PEASTONE WITH MIRAFI WEED FABRIC BENEATH AND STEEL EDGING BETWEEN THE PEASTONE AND ADJACENT MULCH BED.
- ALL PROPOSED LANDSCAPE AREAS INCLUDING MOWED LAWNS, TREES, SHRUB BEDS, AND PERENNIALS SHALL BE PROVIDED WITH WATER EFFICIENT UNDERGROUND IRRIGATION. DESIGN AND INSTALLATION OF IRRIGATION SYSTEM TO BE PERFORMED BY AN APPROVED IRRIGATION DESIGN BUILD CONTRACTOR OR BY AN APPROVED EQUAL, TO BE DETERMINED BY THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT. IRRIGATION SYSTEM IS TO BE DESIGNED FOR EFFICIENT WATER USAGE INCLUDING: USE OF DRIP IRRIGATION FOR SHRUBS AND PERENNIALS, IRRIGATION SYSTEM WITH HEAD-TO-HEAD COVERAGE, A CENTRAL SHUT-OFF VALVE, AND A RAIN SENSOR TO SHUT OFF IRRIGATION DURING RAIN EVENTS.

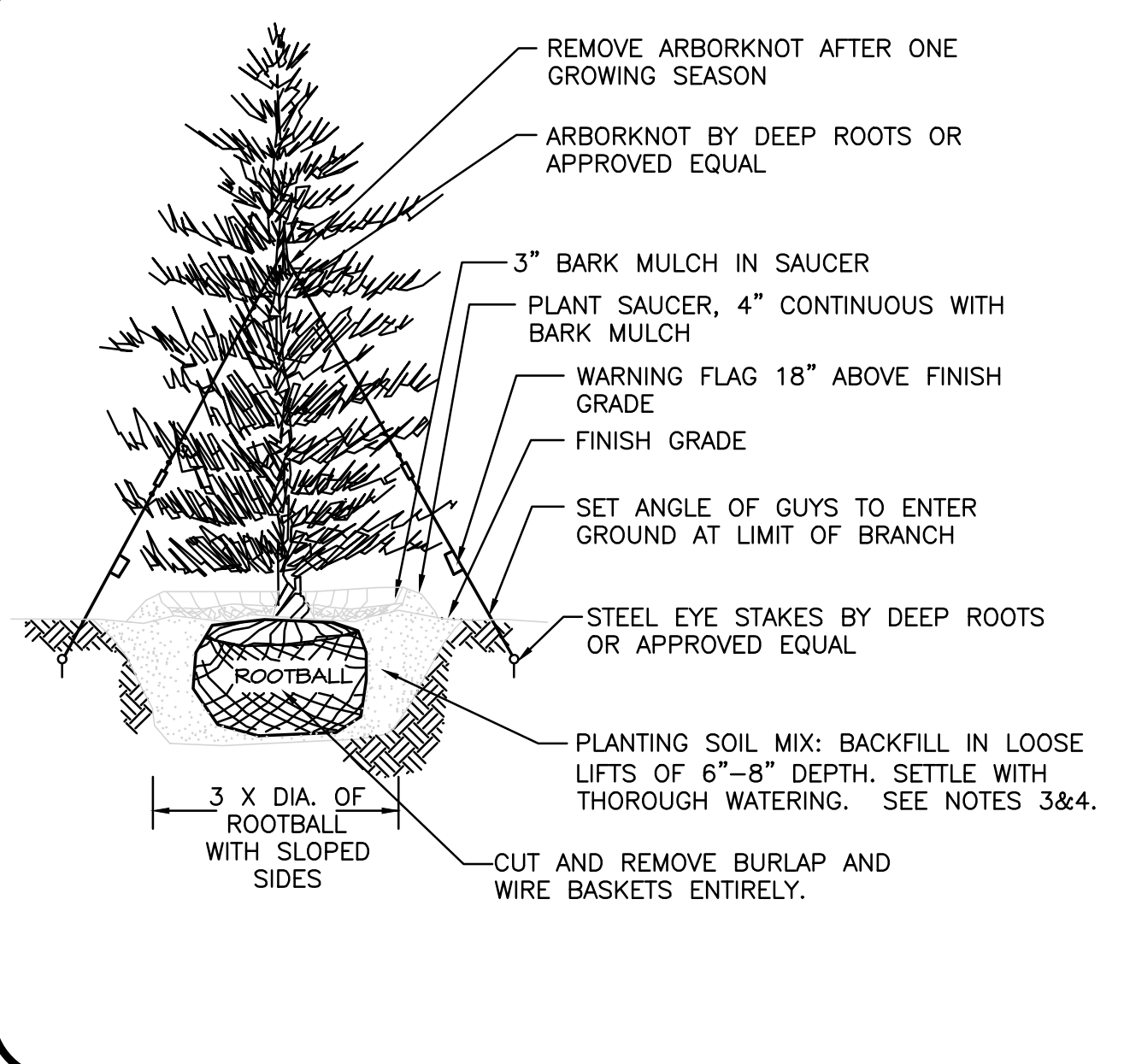


TEXTURE CLASS	% OF TOTAL WEIGHT
SAND	45% - 65%
SILT	15% - 35%
CLAY	5% - 20%

SIEVE	% PASSING
3/8"	100
NO. 4	85-100
NO. 40	60-85
NO. 100	38-60
NO. 200	10-35
20 um	LESS THAN 5%

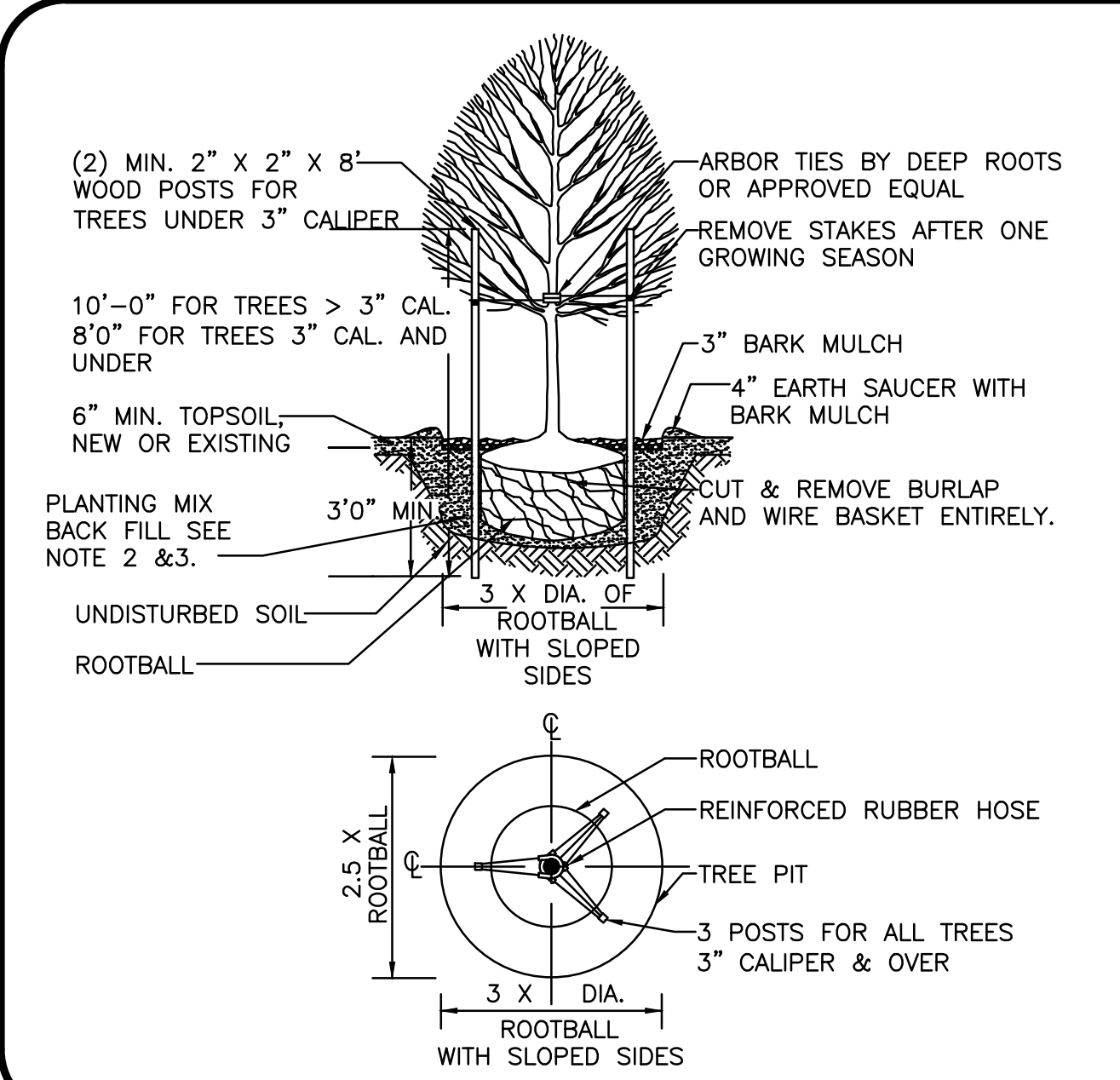
- NOTES:**
- TOP OF LOAM (TOPSOIL) IS FINISH GRADE.
 - ALL TOPSOIL (BOTH ONSITE AND OFFSITE SOURCES) SHALL BE COMPOSED OF A NATURAL, FERTILE, FRIABLE SOIL TYPICAL OF CULTIVATED TOPSOILS OF THE LOCALITY. OFFSITE SOIL SHALL BE SUITABLE FOR THE GERMINATION OF SEEDS AND SUPPORT OF VEGETATIVE GROWTH, WITH ADDITIVES, IF REQUIRED, TO ACHIEVE PARTICLE DISTRIBUTION AND ORGANIC CONTENT BELOW. TOPSOIL SHALL BE TAKEN FROM A WELL-DRAINED, ARIABLE SITE, FREE OF SUBSOIL, LARGE STONES, EARTH CLOUDS, STICKS, STUMPS, CLAY LUMPS, ROOTS, OTHER OBJECTIONABLE, EXTRANEOUS MATTER OR DEBRIS NOR CONTAIN TOXIC SUBSTANCES.
 - THE CONTRACTOR SHALL PROVIDE THE OWNER / LANDSCAPE ARCHITECT WITH TOPSOIL TEST RESULTS (RECOMMEND UMASS AMHERST SOIL TESTING LAB) FOR APPROVAL PRIOR TO OBTAINING AND PLACING THE SOIL. IF ANY TOPSOIL IS PURCHASED OR PLACED PRIOR TO APPROVAL BY OWNER / LANDSCAPE ARCHITECT, IT IS AT CONTRACTORS RISK, AND IT CAN BE REMOVED AT NO ADDITIONAL COST TO THE OWNER. IF THE PLANTING SOIL (BOTH ONSITE AND OFFSITE SOURCES) DOES NOT FALL WITHIN THE REQUIRED SIEVE ANALYSIS, TEXTURAL CLASS, ORGANIC CONTENT, OR PH RANGE, IT SHALL BE ADJUSTED TO MEET THE SPECIFICATIONS THROUGH THE ADDITION OF SAND, COMPOST, LIMESTONE, OR ALUMINUM SULFATE TO BRING IT WITHIN THE SPECIFIED LIMITS AT NO ADDITIONAL COST TO THE OWNER.
 - TOPSOIL SHALL HAVE A PH VALUE BETWEEN 5.5 AND 6.5. TOPSOIL SHALL CONTAIN BETWEEN 4% AND 8% ORGANIC MATTER OF TOTAL DRY WEIGHT AND SHALL CONFORM TO THE FOLLOWING GRADATION AND TEXTURE CLASS ABOVE.

TOPSOIL FOR LAWN, TREES, SHRUBS, & PERENNIALS
NOT TO SCALE



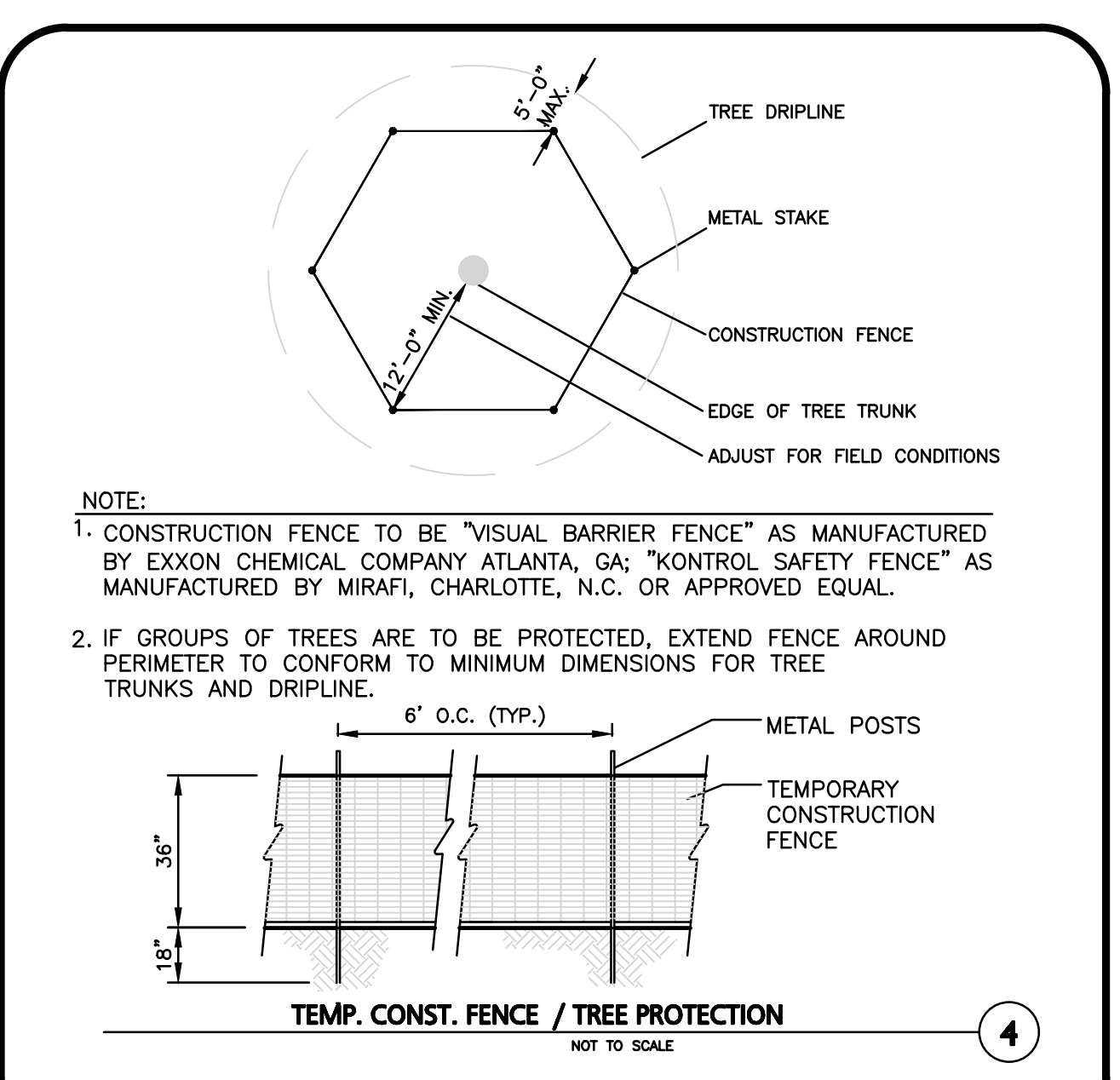
- NOTES:**
- TREES SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO NURSERY OR FIELD GRADE. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL TOP OF ROOTBALL AREA.
 - INSTALL THREE GUYS PER TREE; EQUALLY SPACED AROUND BALL.
 - ATTACH GUYS AT 2/3 HEIGHT OF TREE.
 - BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 - ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

EVERGREEN TREE DETAIL
NOT TO SCALE

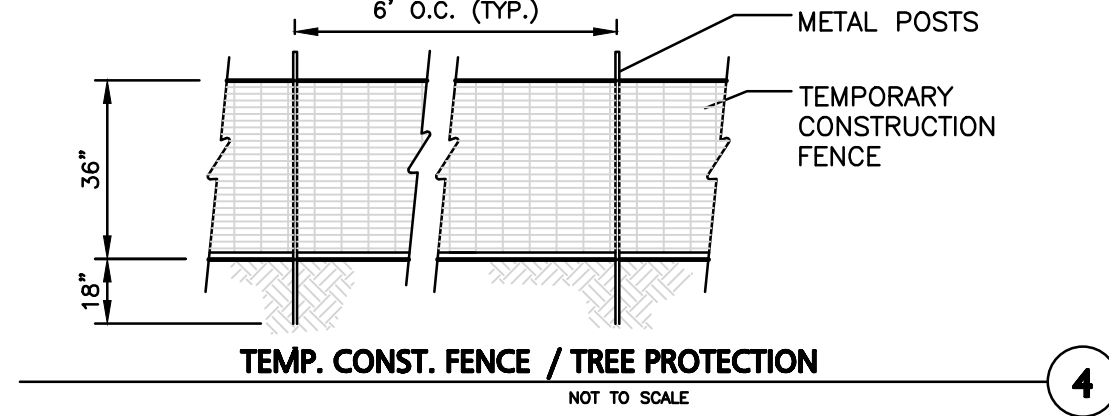


- NOTES:**
- ALL TREES SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. ROOT FLARE SHALL BE 2" ABOVE FINISH GRADE. REMOVE SOIL FROM TRUNK FLARE OF TREE TO DETERMINE ACTUAL ROOTBALL AREA.
 - BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 - ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.

DECIDUOUS TREE DETAIL
NOT TO SCALE

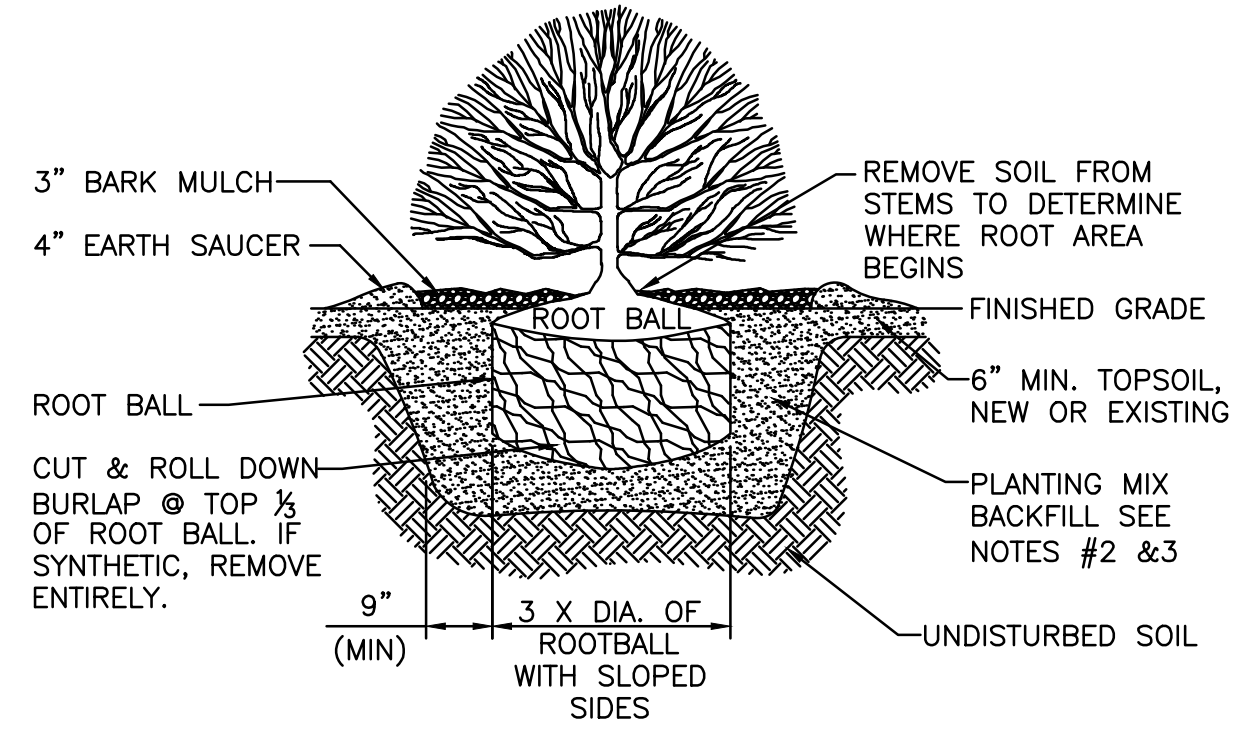


- NOTE:**
- CONSTRUCTION FENCE TO BE "VISUAL BARRIER FENCE" AS MANUFACTURED BY EXXON CHEMICAL COMPANY ATLANTA, GA; "KONTROL SAFETY FENCE" AS MANUFACTURED BY MIRAFI, CHARLOTTE, N.C. OR APPROVED EQUAL.
 - IF GROUPS OF TREES ARE TO BE PROTECTED, EXTEND FENCE AROUND PERIMETER TO CONFORM TO MINIMUM DIMENSIONS FOR TREE TRUNKS AND DRIPLINE.



TEMP. CONST. FENCE / TREE PROTECTION
NOT TO SCALE

- NOTES:**
- ALL SHRUBS SHALL HAVE THE SAME RELATIONSHIP TO FINISH GRADE AFTER PLANTING AS THEY HAD AT THE ORIGINAL NURSERY SETTING. SET SHRUB 1"-2" ABOVE FINISH GRADE.
 - BACKFILL WITH PLANTING MIX. PLANT MIX TO BE: 50% NATIVE TOPSOIL, 20% COMPOST (LEAVES & ORGANIC MATERIAL, NO ASH) 20% PEAT MOSS, 10% SAND.
 - ADD MYCORRHIZA SOIL ADDITIVES AND SLOW RELEASE FERTILIZER WHEN PLANT HOLES ARE 50% FILLED AND WATER THOROUGHLY AT COMPLETION.
 - SHRUB BEDS TO HAVE 24" MIN. OF CONTINUOUS PLANTING SOIL.



SHRUB PLANTING DETAIL
NOT TO SCALE

DIG SAFE

BEFORE YOU DIG
CALL 811 OR
1-888-DIG-SAFE
1-888-344-7233

REGISTERED LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

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455 MASSACHUSETTS AVE, STE 1
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PREPARED BY:

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DRAWING TITLE:	SHEET No.
LANDSCAPE DETAILS	L-501

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