

# SITE INFORMATION

**Application for Chapter 40B Project Eligibility / Site Approval  
for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects**

**Section 2: EXISTING CONDITIONS / SITE INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the site is generally appropriate for residential development.*

<b>Buildable Area Calculations</b>	(Acres)
<b>Total Site Area:</b>	<b>1.08</b>
<b>Wetland Area (per MA DEP):</b>	0.43
<b>Flood Hazard Area (per FEMA):</b>	0.00
<b>Endangered Species Habitat (per MESA):</b>	0.00
<b>Conservation / Article 97 Land:</b>	0.00
<b>Protected Agricultural Land (i.e. EO 193):</b>	0.00
<b>Other Non-Buildable:</b>	<b>0.00</b>
<b>Total Non-Buildable Area:</b>	0.43
<b>Total Buildable Area:</b>	0.65

**Current use of the site and prior use if known:**

1021 Mass Ave: Professional office/ residential  
1025-1027 Mass Ave: Multifamily (non-conforming)

Is the site located entirely within one municipality? Yes

If not, in what other municipality is the site located? n/a

How much land is in each municipality? n/a

**Additional Site Addresses:**

Address 1	Address 2	Municipality	State	Zip Code	County	Tax Parcel ID
1021 Massachusetts A	1025 Massachusetts A	Arlington	Massac	02476	Middlesex	055.0-0002-0019.0

**Current zoning classification and principal permitted uses:**

B1 Neighborhood Office

**Previous Development Efforts**

Please list any previous applications pertaining to construction on or development of the site, including (i) type of application (comprehensive permit, subdivision, special permit, etc.); (ii) application filing date; (iii) date of denial, approval or withdrawal. Also indicate the current Applicant’s role, if any, in the previous applications.

*Note that, pursuant to 760 CMR 56.03 (1), a decision of a Zoning Board of Appeals to deny a Comprehensive Permit, or (if the Statutory Minima defined at 760 CMR 56.03 (3) (b or c) have been satisfied) grant a Comprehensive Permit with conditions, shall be upheld if a related application has previously been received, as set forth in 760 CMR 56.03 (7).*

n/a

To the best of your knowledge, has this site ever been rejected for project eligibility/site approval by another subsidizing agency or authority? No

If Rejected, Please Explain:

n/a

Existing Utilities and Infrastructure	Yes/No	Description
Wastewater- private wastewater treatment	No	No existing or proposed septic
Wastewater - public sewer	Yes	Public sewer in Mass Ave
Storm Sewer	No	Storm water infiltration is proposed
Water-public water	Yes	Public domestic water in Mass Ave
Water-private well	No	
Natural Gas	Yes	Natural gas in Mass Ave
Electricity	Yes	Power in Mass Ave
Roadway Access to Site	Yes	
Sidewalk Access to Site	Yes	
Other	No	

Describe Surrounding Land Uses:

Surrounding land uses are comprised of single and two family housing, multi family apartment housing, neighborhood offices, retail, fire station, high school, and places of worship.

Surrounding Land Use/Amenities	Distance from Site	Available by Public Transportation?
Shopping Facilities	1.10	Yes
Schools	0.50	Yes
Government Offices	0.70	Yes
Multi-Family Housing	0.01	Yes
Public Safety Facilities	0.01	Yes
Office/Industrial Uses	0.01	Yes
Conservation Land	0.01	Yes
Recreational Facilities	0.40	Yes
Houses of Worship	0.70	Yes
Other	0.00	N/A

Public transportation near the Site, including type of transportation and distance from site:

MBTA bus pickup at the intersection of Massachusetts Ave and Brattle Street, which is approximately 250 feet from the property.

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**Site Characteristics and Development Constraints**

Are there any easements, rights of way or other restrictions of record affecting the development of the site ?	No
Is there any evidence of hazardous, flammable or explosive material on the site?	No
Is the site, or any portion thereof, located within a designated flood hazard area?	No
Does the site include areas designated by Natural Heritage as endangered species habitat?	No
Are there documented state-designated wetlands on the site?	Yes
Are there documented vernal pools on the site?	No
Is the site within a local or state Historic District or listed on the National Register or Historic Places?	No
Has the site or any building(s) on the site been designated as a local, state or national landmark?	No
Are there existing buildings and structures on site?	Yes
Does the site include documented archeological resources?	No
Does the site include any known significant areas of ledge or steep slopes?	Yes

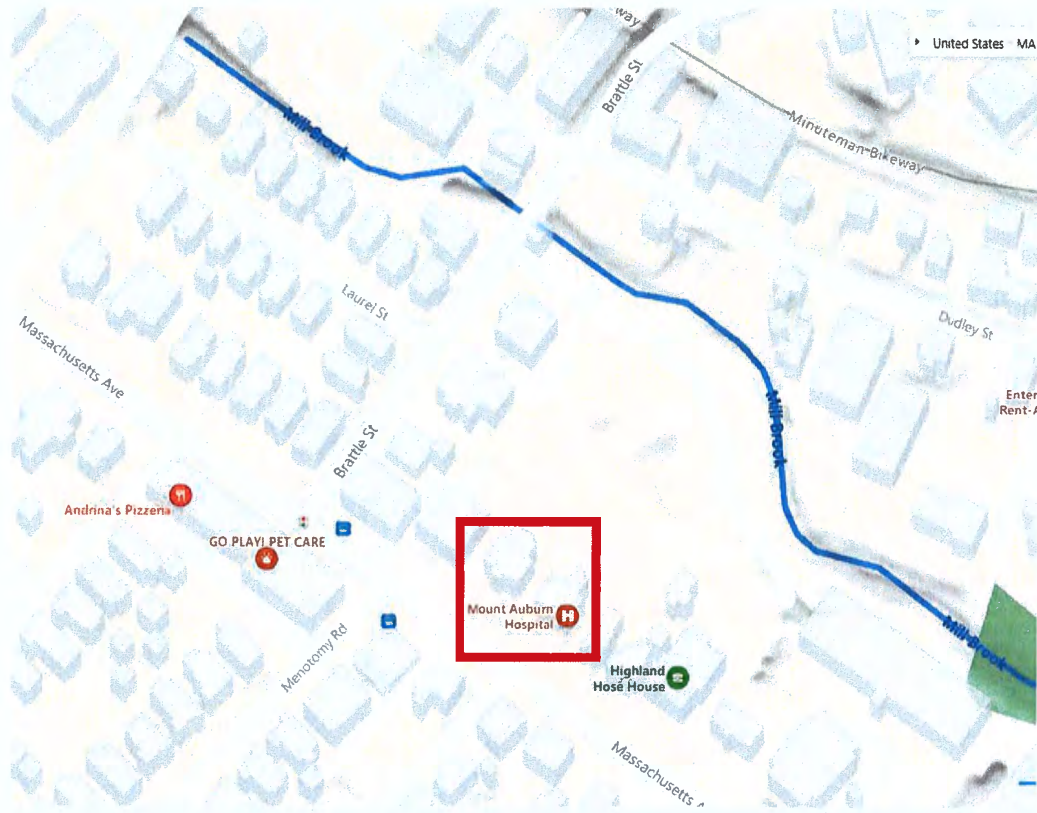


# Attachment 2.1

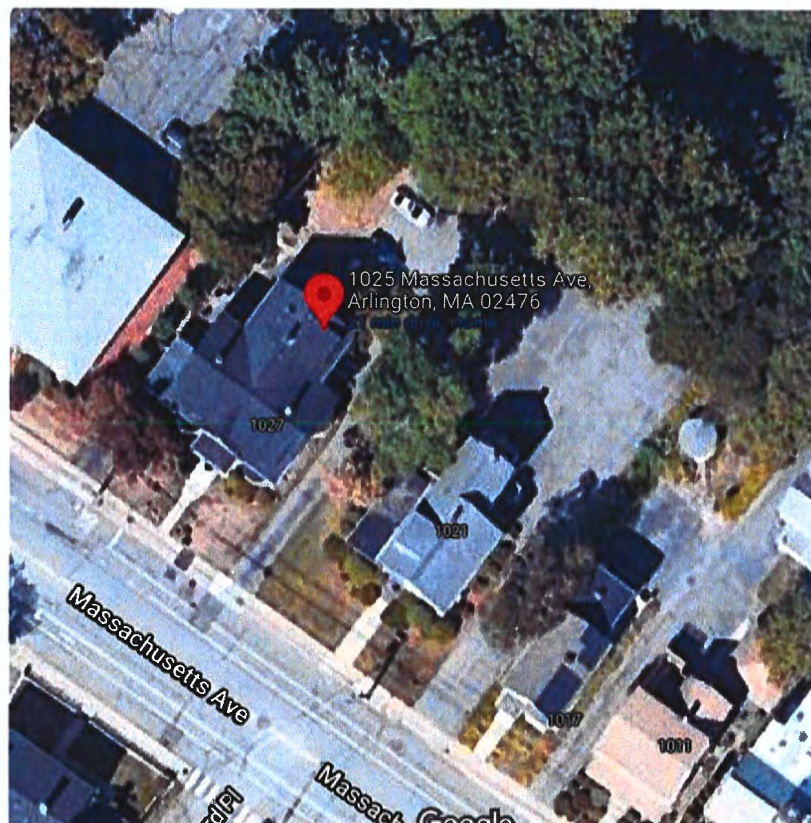
## Existing Conditions Plan

# Attachment 2.2

## Aerial Photographs



Map View: 1021 & 1025 Mass Avenue indicated in red box



Aerial View: 1021 & 1025 Mass Avenue





Birdseye View: 1021 & 1025 Mass Avenue indicated in red box



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Aerial View: Rear of properties





Birdseye View: Street Block

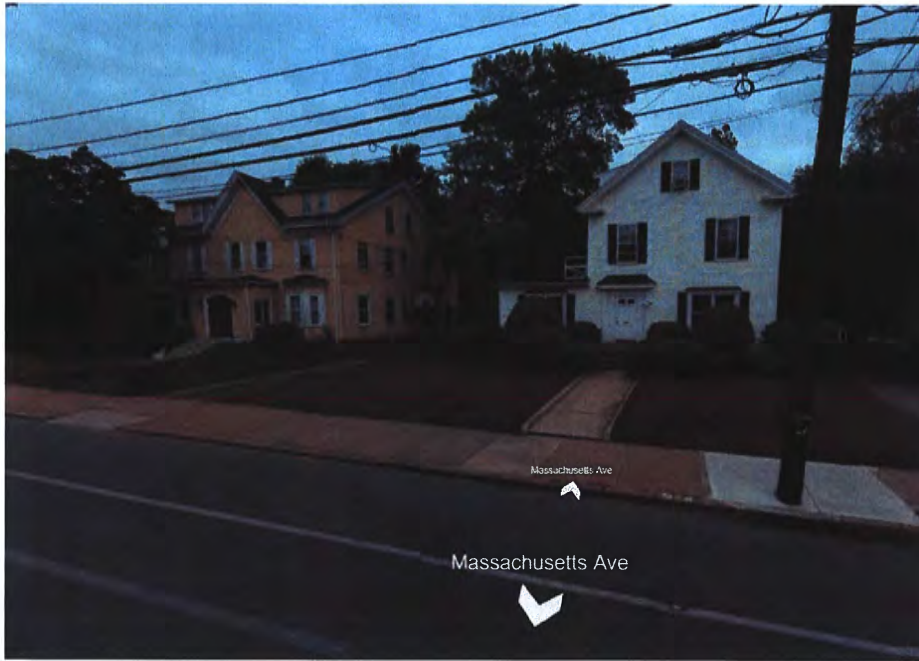


Birdseye View: Rear of Properties (Mill Brook)

# Attachment 2.3

Site/Context Photographs





Street View – 1021 & 1025 Mass Avenue



Northerly views of 1021 (top) and 1025 (bottom) structures and parking lots





Westerly view of wooded upland within northern portion of site



Easterly view of parking lot separating site from Mill Brook



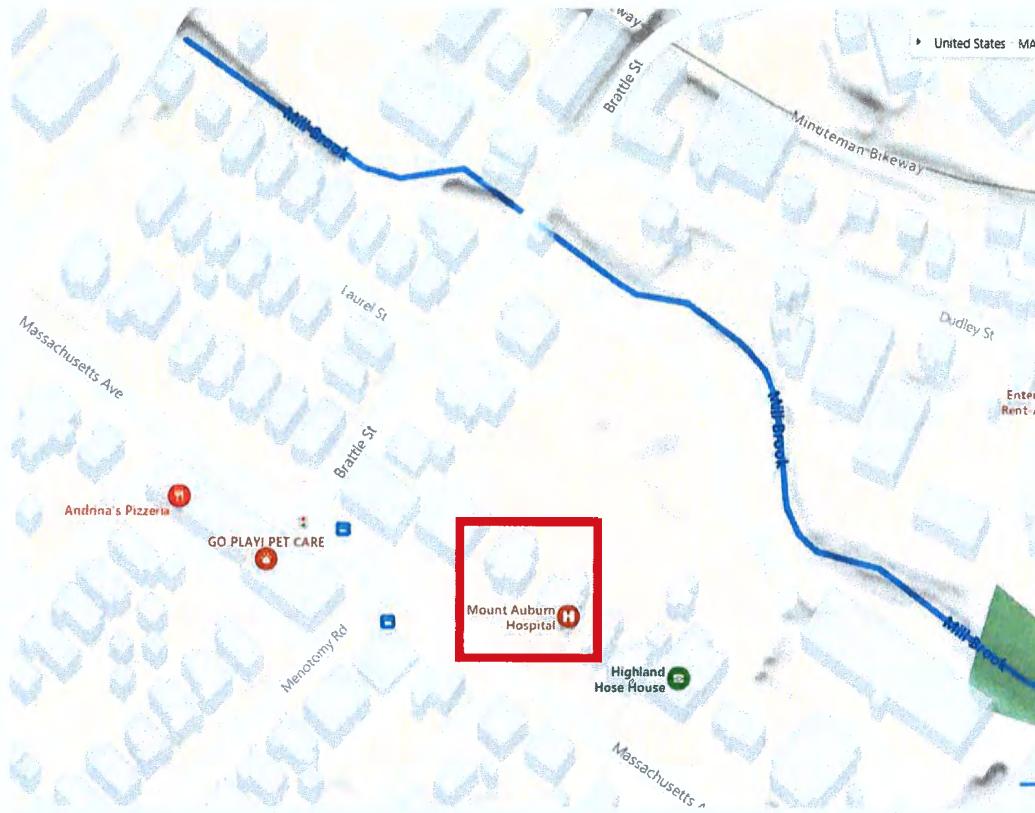


View from property down Mass Ave (East)

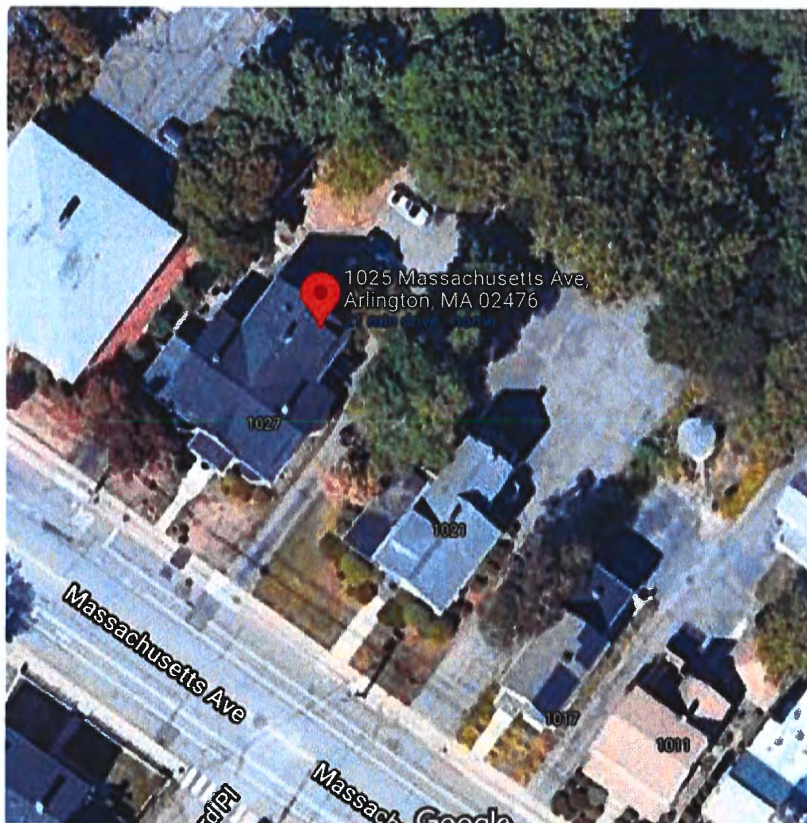


View from property down Mass Ave (West)





Map View: 1021 & 1025 Mass Avenue indicated in red box



Aerial View: 1021 & 1025 Mass Avenue





Birdseye View: 1021 & 1025 Mass Avenue indicated in red box



Aerial View: Rear of properties



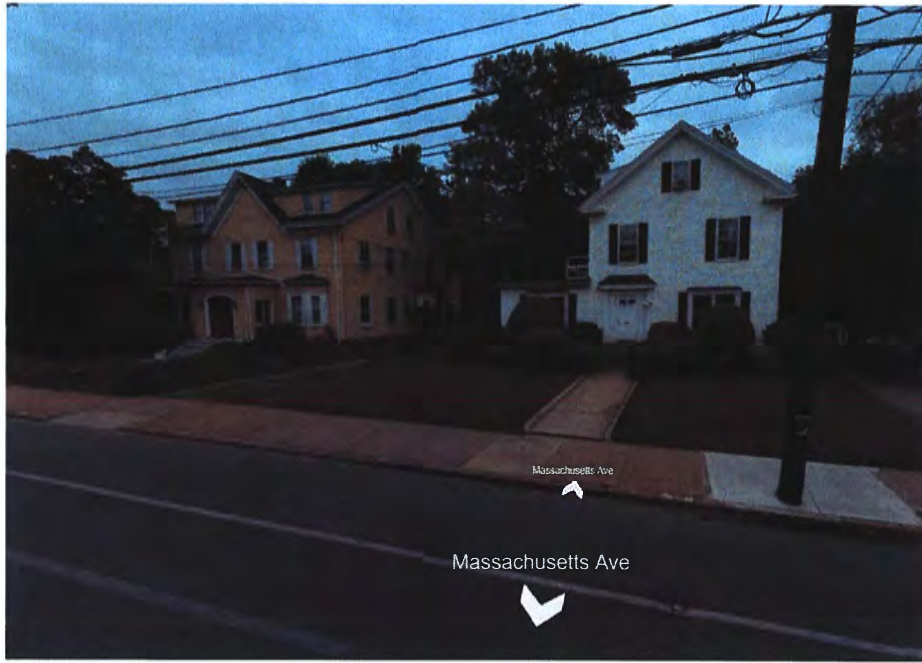


Birdseye View: Street Block



Birdseye View: Rear of Properties (Mill Brook)





Street View – 1021 & 1025 Mass Avenue



Northerly views of 1021 (top) and 1025 (bottom) structures and parking lots





Westerly view of wooded upland within northern portion of site



Easterly view of parking lot separating site from Mill Brook





View from property down Mass Ave (East)



View from property down Mass Ave (West)

# Attachment 2.4

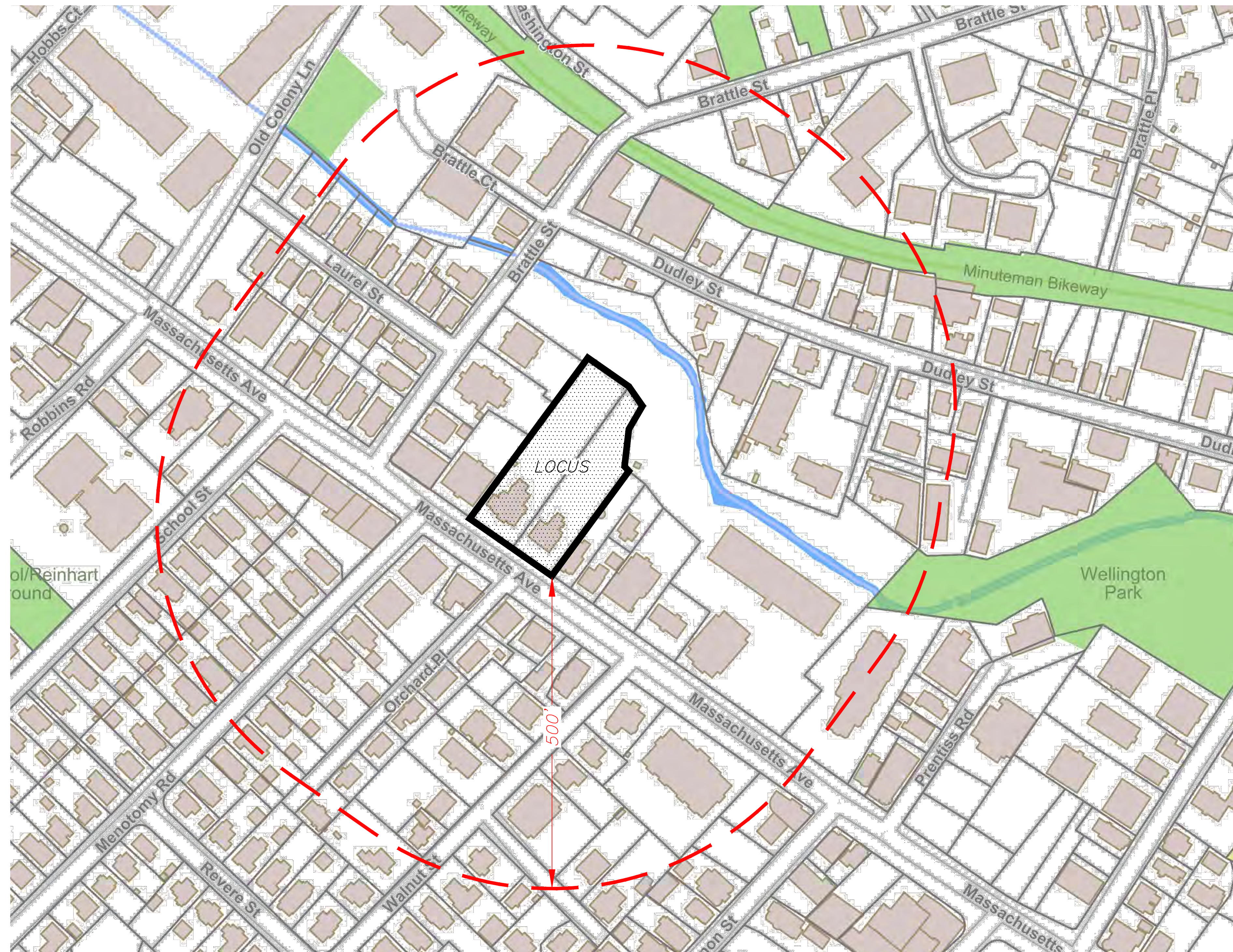
Documentation Regarding Site  
Characteristics/Constraints



**NOTES:**

1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF ARLINGTON GIS SYSTEM
2. LAND USE WITHIN 500 FEET OF THE SUBJECT PROPERTY IS PRIMARILY SINGLE FAMILY DWELLINGS AND COMMERCIAL BUSINESSES, AND INCLUDES THE HIGHLAND FIRE STATION.

# 1021 & 1025 MASSACHUSETTS AVENUE (1021 ASSESSORS MAP 55 LOT 19) (1025 ASSESSORS MAP 55 LOT 20) NOTICE OF INTENT PLAN SET LOCATED IN ARLINGTON, MA APRIL 27, 2022

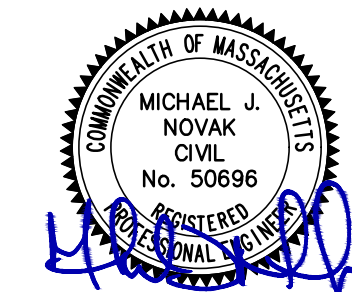


**LOCUS CONTEXT MAP**  
(SCALE 1"=100')

PREPARED BY:



**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
T: (978) 726-2654  
www.patriot-eng.com



**SHEET INDEX**

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. DETAIL SHEET
5. BY RITE SITE PLAN
6. FEMA MAP

**APPLICANT:**

MAJ INVESTMENT, LLC  
13 WHEELING AVENUE  
WOBURN, MA 01801



DATE	
REVISION	
NO.	

Record Owner:  
1021 MASSACHUSETTS AVENUE  
JOHN H. CHAGLIASSIAN  
1021 ARLINGTON, MA 02476  
BK 72517 / PG 224

1025 - 1027 MASSACHUSETTS AVENUE  
STEPHEN B. GERSH  
21 KING'S COURT  
ESSEX, MA 01929  
BK 57969 / PG 298

Location:  
PARCEL ID:  
1021 MASSACHUSETTS AVENUE  
MAP 055 BLOCK 002 LOT 019

1025 - 1027 MASSACHUSETTS AVENUE  
MAP 055 BLOCK 002 LOT 020  
ARLINGTON, MA

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180  
PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:  
**PATRIOT ENGINEERING, LLC.**  
35 BEDFORD STREET  
SUITE 4  
LEXINGTON, MA 02420

PROJECT NAME:  
**1021 & 1025 MASSACHUSETTS AVE**  
ARLINGTON, MA

THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BETWEEN 08/13/2021 AND 10/15/2021.

PROFESSIONAL LAND SURVEYOR FOR DATE  
RJ O'CONNELL & ASSOCIATES, INC.

DRAWN BY: RJK / WJH  
REVIEWED BY: ML  
SCALE: 1" = 20'  
FIELD CREW: RJK / CJR  
FIELD BOOK: FIELD BOOK 40 / PG 5

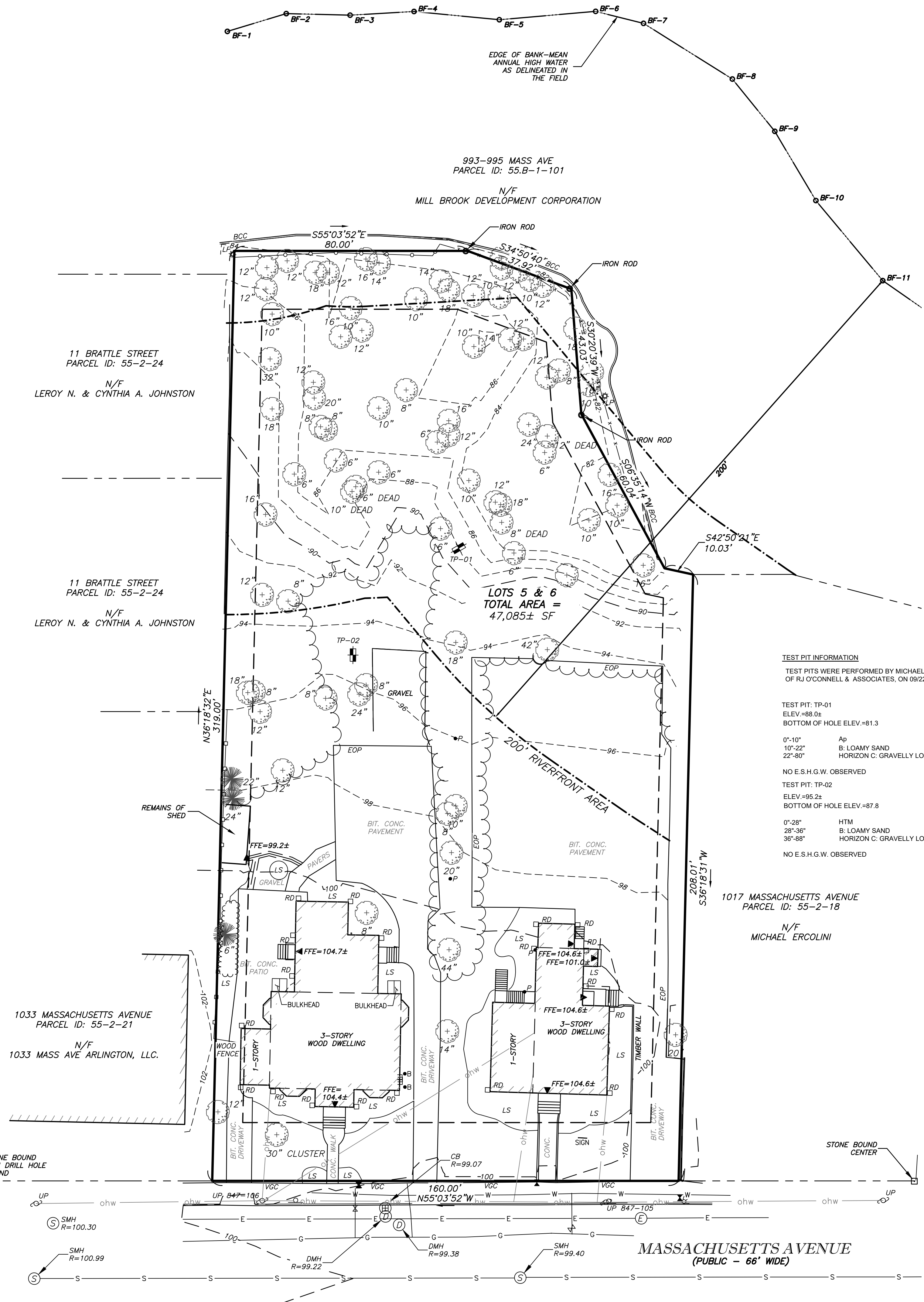
DATE: 10/19/2021  
DRAWING NAME:

**EXISTING CONDITIONS PLAN**

DRAWING NUMBER: **EX-1**

PROJECT NUMBER: 21583

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### LEGEND

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

—	BOUNDARY LINE	—	SEWER SERVICE
- - -	ABUTTING PROPERTY LINE	- - -	DRAIN SERVICE
- - -		- - -	WATER SERVICE
- - -		- - -	GAS LINE
- - -		- - -	ELECTRIC LINE
- - -		- - -	TELEPHONE LINE
- - -		- - -	OVERHEAD WIRES
- x - x -	CHAIN LINK FENCE	- x - x -	UTILITY POLE
- o - o -	STOCKADE FENCE	- o - o -	LIGHT POLE
- - -	INDEX CONTOUR	- - -	ELECTRIC HAND HOLE
- - -	INTERMEDIATE CONTOUR	- - -	CABLE MANHOLE
		- - -	SEWER MANHOLE
		- - -	DRAIN MANHOLE
		- - -	CATCH BASIN
		- - -	WATER VALVE
		- - -	FIRE HYDRANT
		- - -	SPRINKLER CONNECTION
		- - -	POST INDICATOR VALVE
		- - -	BOLLARD
		- - -	GAS METER
		- - -	GAS VALVE
		- - -	ROOF DRAIN
		- - -	AREA DRAIN
		- - -	IRRIGATION CONTROL VALVE
		- - -	SPOT GRADE
		- - -	TEST PIT
		- - -	CONCRETE CURB
		- - -	VERTICAL GRANITE CURB
		- - -	BITUMINOUS CONCRETE CURB
		- - -	HANDICAP
		- - -	HIGH DENSITY POLYETHYLENE
		- - -	CONCRETE
		- - -	LANDSCAPE AREA
		- - -	DOOR
		- - -	SIGN
		- - -	PARKING COUNT / COMPACT NUMBER
		- - -	DECIDUOUS TREE
		- - -	CONIFEROUS TREE
		- - -	FROM RECORD PLANS
		- - -	RETAINING WALL
		- - -	DETECTABLE WARNING PAD

### TEST PIT INFORMATION

TEST PITS WERE PERFORMED BY MICHAEL CAPACHETTI OF RJO'CONNELL & ASSOCIATES, ON 09/22/2021.

TEST PIT: TP-01  
ELEV = 88.0±  
BOTTOM OF HOLE ELEV = 81.3

0'-10" A: silt  
10'-22" B: LOAMY SAND  
22'-80" HORIZON C: GRAVELLY LOAMY SAND W/ COBBLES

NO E.S.H.G.W. OBSERVED

TEST PIT: TP-02  
ELEV = 95.2±  
BOTTOM OF HOLE ELEV = 87.8

0'-28" HTM  
28'-36" B: LOAMY SAND  
36'-88" HORIZON C: GRAVELLY LOAMY SAND W/ COBBLES

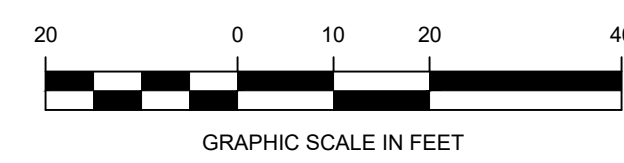
NO E.S.H.G.W. OBSERVED

### NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS, AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY, OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BY R. J. O'CONNELL & ASSOCIATES (RJOC).
- UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. AS OF THE DATE OF THIS SURVEY, NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
- THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
- THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
- EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY RJ O'CONNELL & ASSOCIATES.
- CONTOUR INTERVAL IS ONE FOOT (1').

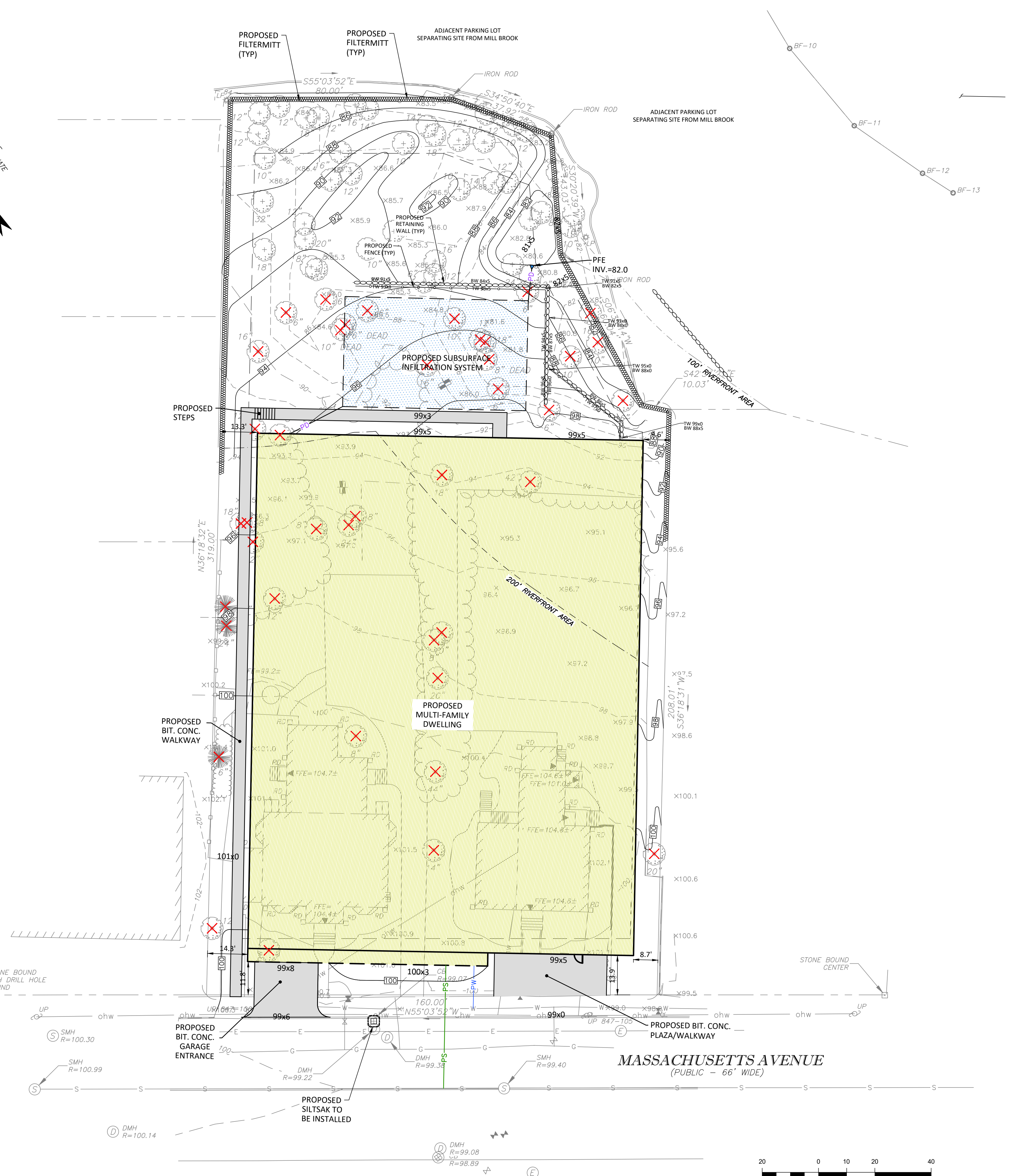
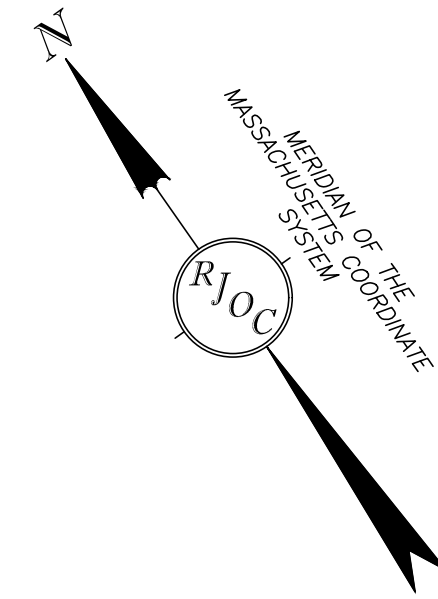
### PLAN REFERENCES:

- PLAN BOOK AND PAGES REFERENCE THE MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS
- PLAN BOOK 21 PAGE 6 (1864)
  - LAND COURT PLAN 31556a (1962)
  - PLAN 1006 OR 1967
  - LAND COURT PLAN 35170 (1970)
  - PLAN 1158 OF 1986
  - PLAN 586 OF 2015



Drawing Name: C:\Users\Mike\_VC\Patriot\_Engineering\_Dropbox\_S\Projects\21-32\_1021\_Mass\_Ave\_Arlington\CAD\_CURRENT\W\21583\_Sorted\_Survey.dwg





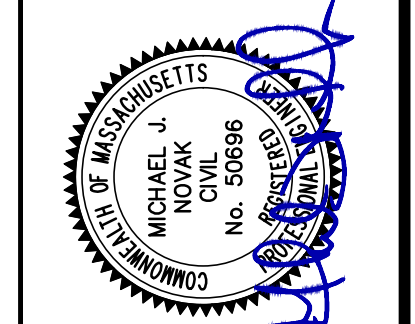
**NOTES:**

1. UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY AS OF THE DATE OF THIS SURVEY. NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
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3. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
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5. CONTOUR INTERVAL IS TWO FOOT (2').

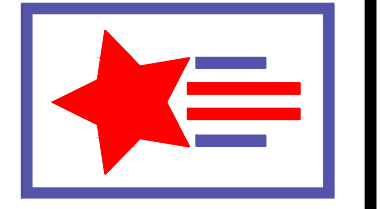
**LEGEND**

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

---	BOUNDARY LINE	---	BOUNDARY LINE
---	ABUTTING PROPERTY LINE	---	ABUTTING PROPERTY LINE
S	SEWER SERVICE	CC	CONCRETE CURB
D	DRAIN SERVICE	VGC	VERTICAL GRANITE CURB
W	WATER SERVICE	BCB	BITUMINOUS CONCRETE CURB
G	GAS LINE	HC	HANDICAP
E	ELECTRIC LINE	HPDE	HIGH DENSITY POLYETHYLENE
T	TELEPHONE LINE	CONC.	CONCRETE
ohw	OVERHEAD WIRES	LSA	LANDSCAPE AREA
X	CHAIN LINK FENCE	DOOR	DOOR
---	STOCKADE FENCE	SIGN	SIGN
---	INDEX CONTOUR	○	PARKING COUNT / COMPACT NUMBER
---	INTERMEDIATE CONTOUR	○	DECIDUOUS TREE
○	UTILITY POLE	○	CONIFEROUS TREE
○	LIGHT POLE	○	FROM RECORD PLANS
○	ELECTRIC HAND HOLE	○	RETAINING WALL
○	CABLE MANHOLE	○	DETECTABLE WARNING PAD
○	SEWER MANHOLE	○	99x5 PROPOSED SPOT GRADE
○	DRAIN MANHOLE	○	PROPOSED CONTOUR
○	CATCH BASIN	○	PROPOSED CONTOUR
○	WATER VALVE	○	TREE PROPOSED TO BE REMOVED
○	FIRE HYDRANT	○	LIMIT OF RIVERFRONT AREA
○	SPRINKLER CONNECTION	○	PROPOSED SEWER SERVICE
○	POST INDICATOR VALVE	○	PROPOSED WATER SERVICE
○	BOLLARD	○	PROPOSED DRAIN LINE
○	GAS METER	○	
○	GAS VALVE	○	
○	ROOF DRAIN	○	
○	AREA DRAIN	○	
○	IRRIGATION CONTROL VALVE	○	
○	SPOT GRADE	○	
○	TEST PIT	○	
PSIS	PROPOSED SUBSURFACE INFILTRATION SYSTEM	○	
---	PROPOSED FILTERMITT	○	
---	PROPOSED TREELINE	○	
TYP	TYPICAL	○	
PFE	PROPOSED FLARED END	○	
INV.	INVERT	○	



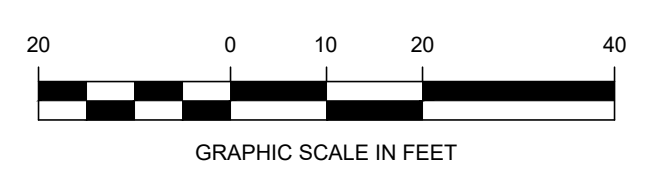
**PATRIOT Engineering**  
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 www.patriot-eng.com



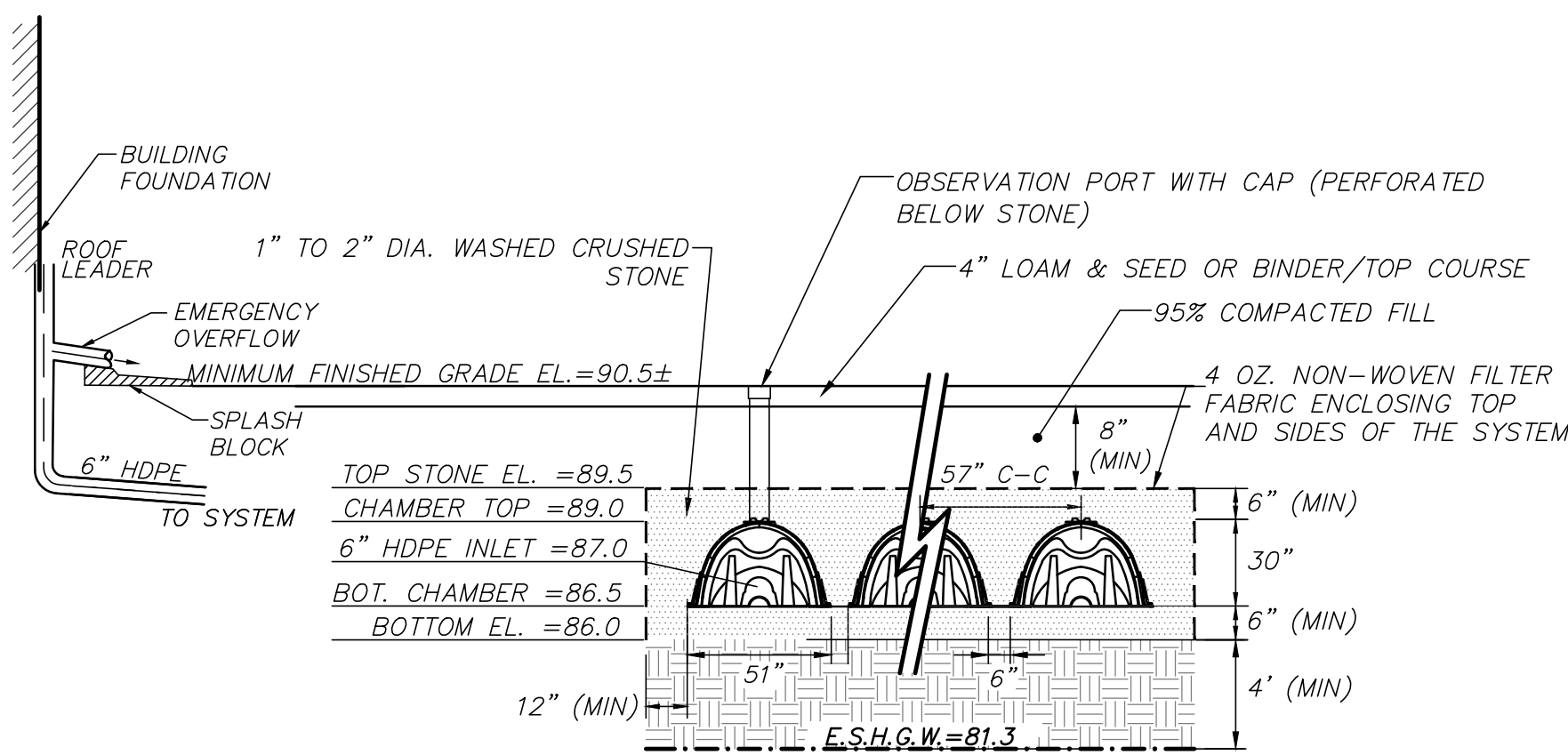
**SITE CONSTRUCTION PLAN**  
 LOCATED IN  
**ARLINGTON, MA**  
 (MIDDLESEX COUNTY)  
 PREPARED FOR  
**MAJ INVESTMENT, LLC**

**1021 & 1025 MASSACHUSETTS AVENUE**  
**ARLINGTON, MASSACHUSETTS**  
 DRAWN BY:  
 DATE: 4-27-2022  
 CHECKED BY:  
 PROJECT No: 21-32

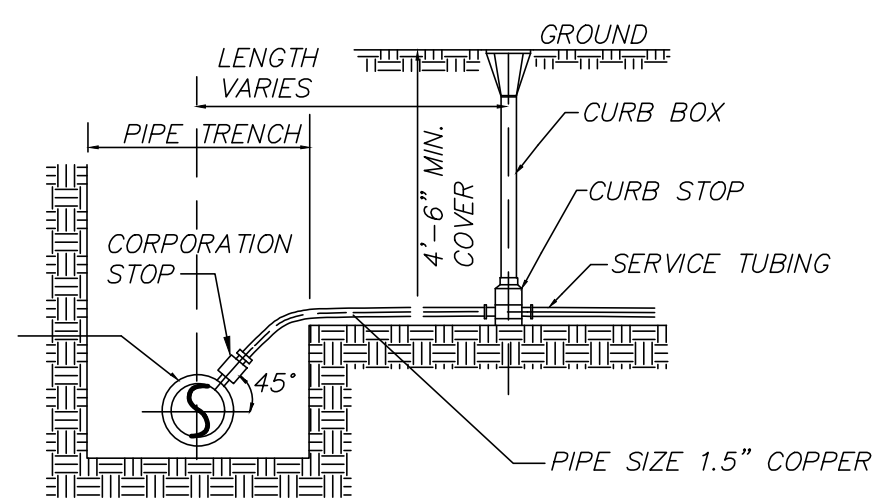
REVISIONS	DATE	BY	DESCRIPTION



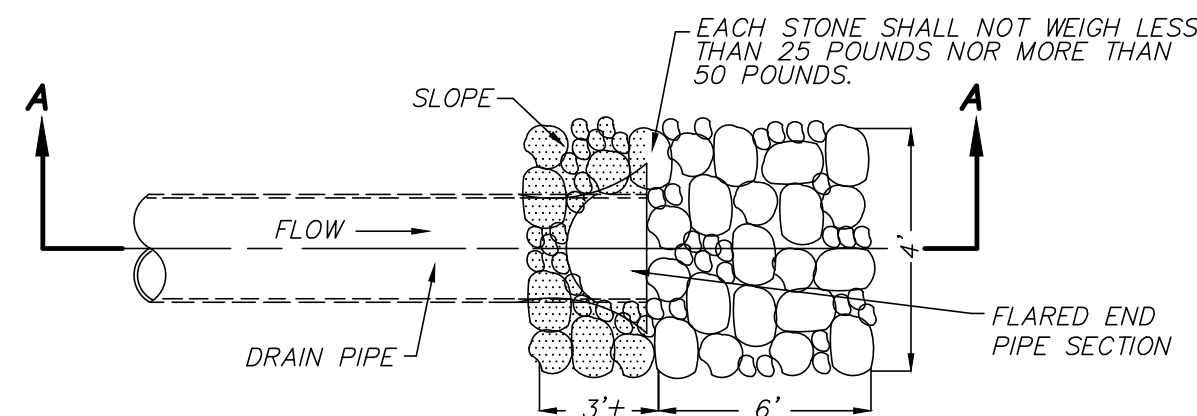




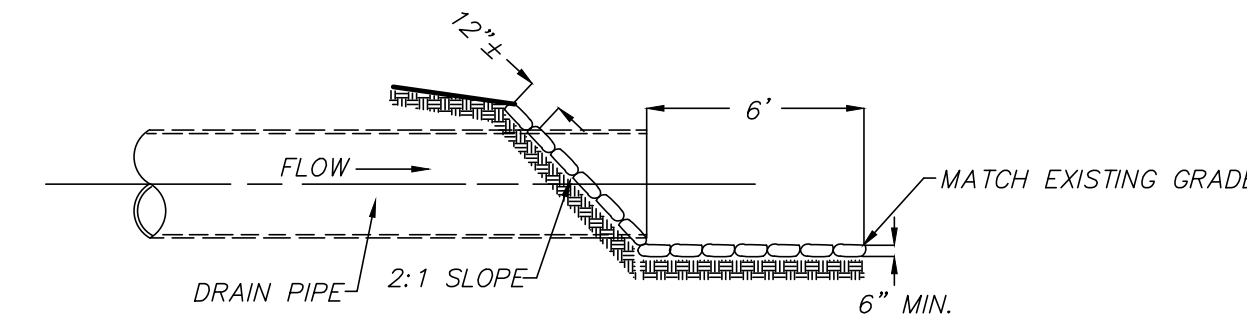
**PROPOSED SUBSURFACE INFILTRATION SYSTEM (PSIS)**  
(CROSS SECTION)  
(NOT TO SCALE)



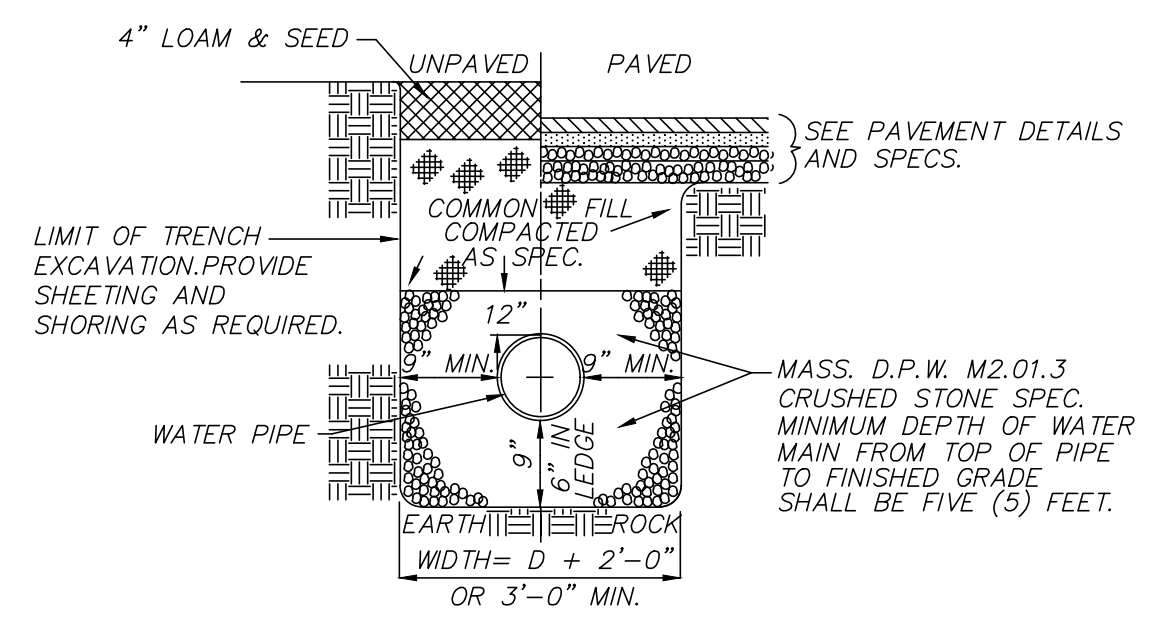
**TYPICAL WATER SERVICE**  
(NOT TO SCALE)



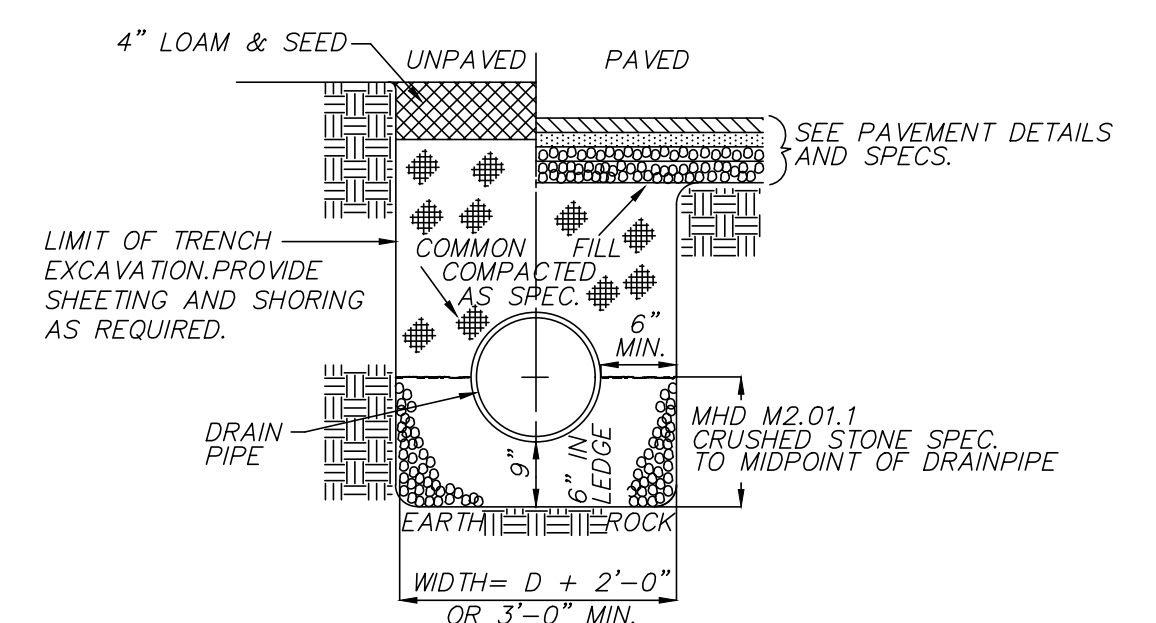
**PLAN VIEW**



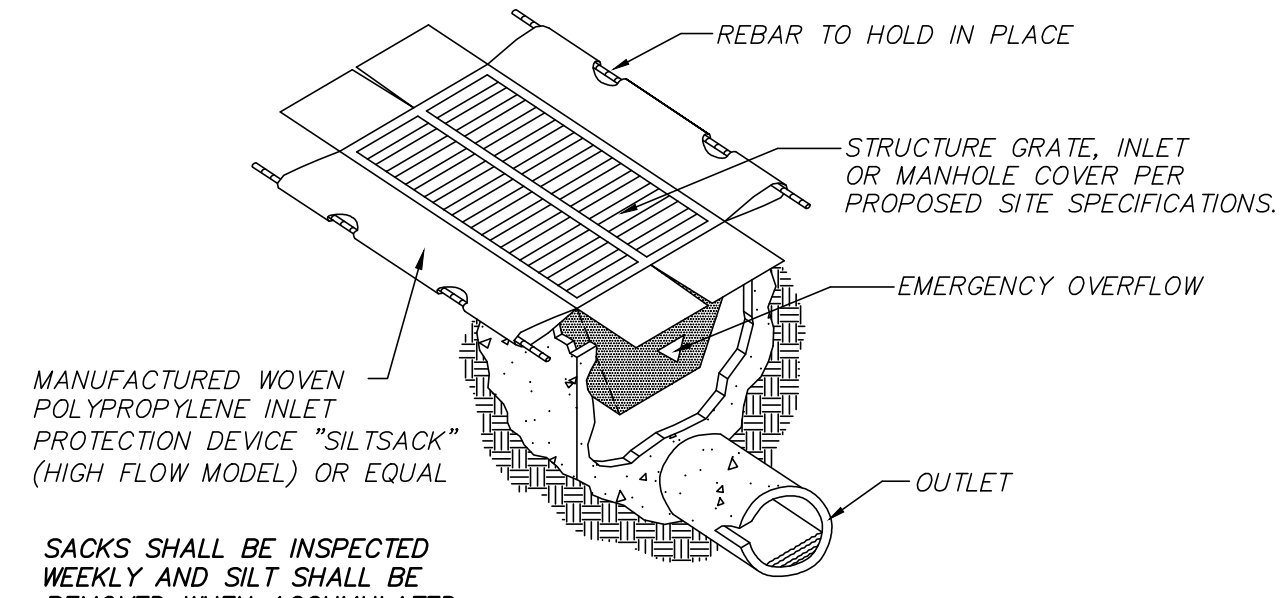
**RIPRAP OUTLET APRON DETAIL**  
(NOT TO SCALE)



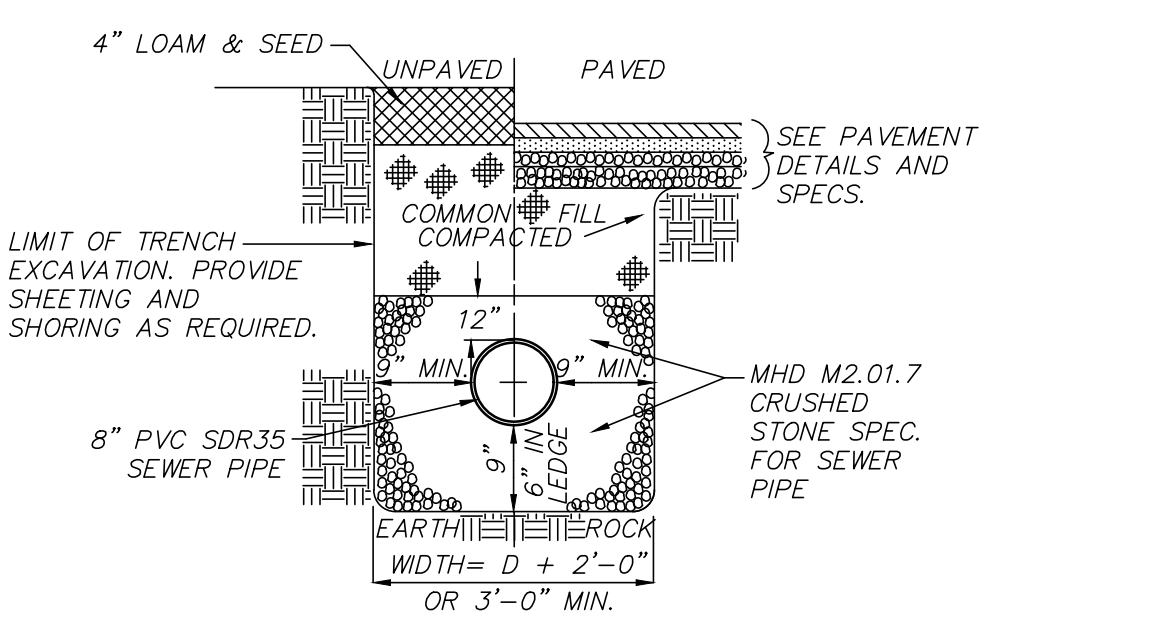
**WATER TRENCH**  
(NOT TO SCALE)



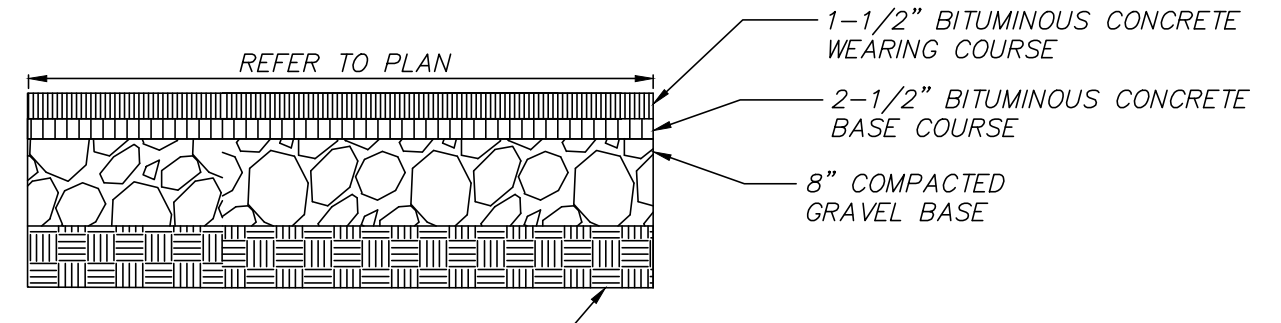
**PROPOSED DRAIN PIPE TRENCH DETAIL**  
(NOT TO SCALE)



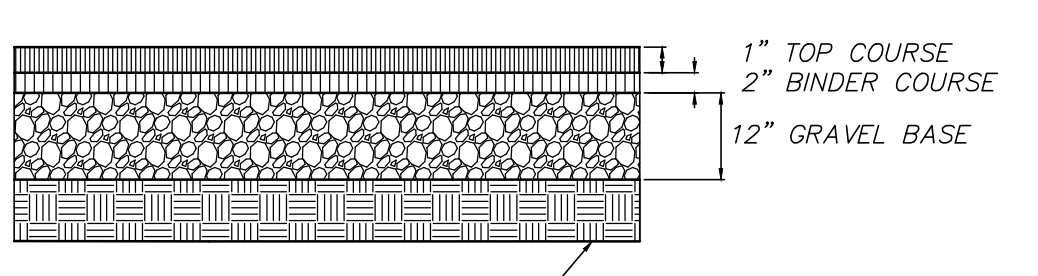
**SILTSACK DETAIL**  
(NOT TO SCALE)



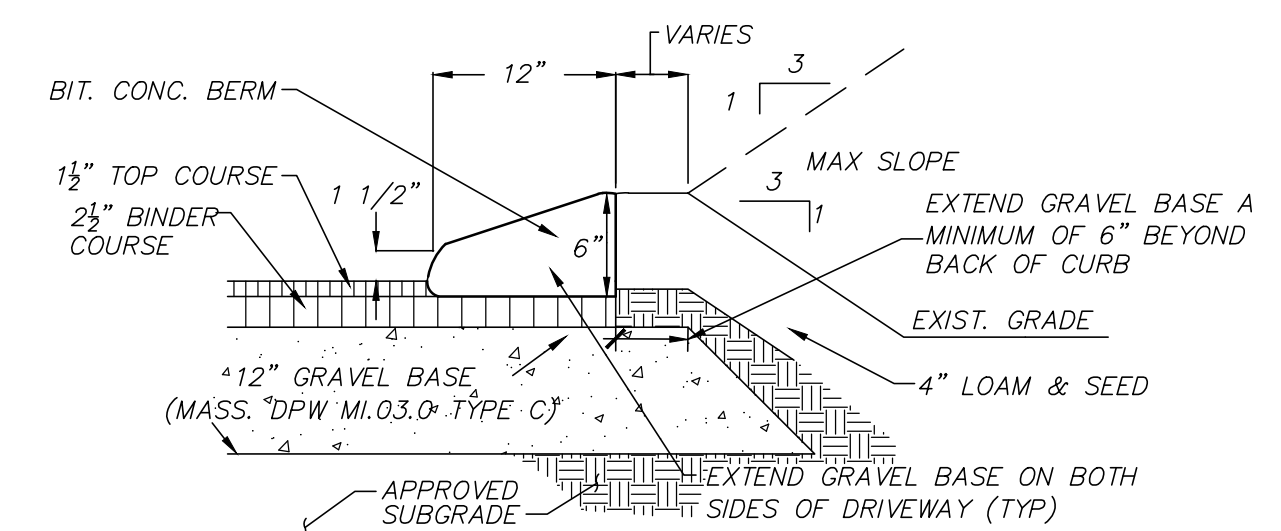
**GRAVITY SEWER TRENCH DETAIL**  
(NOT TO SCALE)



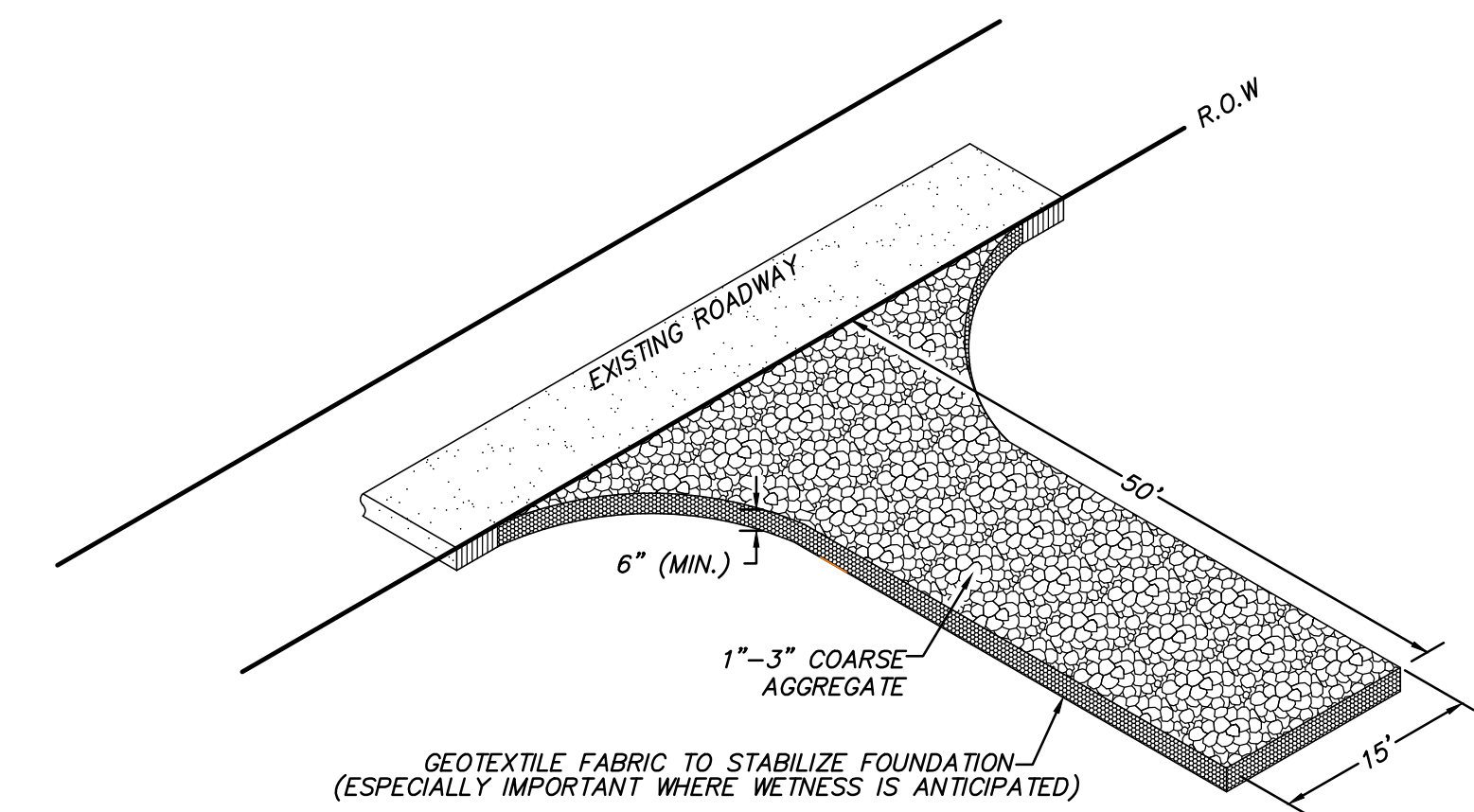
**BITUMINOUS CONCRETE WALKWAY**  
(NOT TO SCALE)



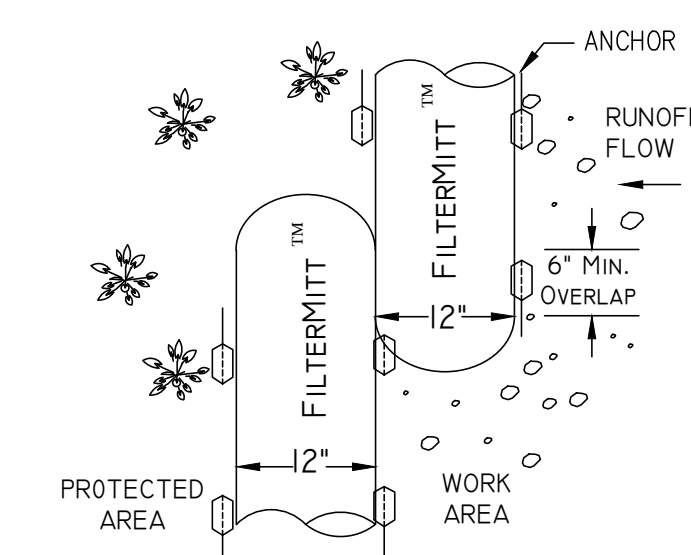
**BITUMINOUS CONCRETE PAVEMENT SECTION**  
(NOT TO SCALE)



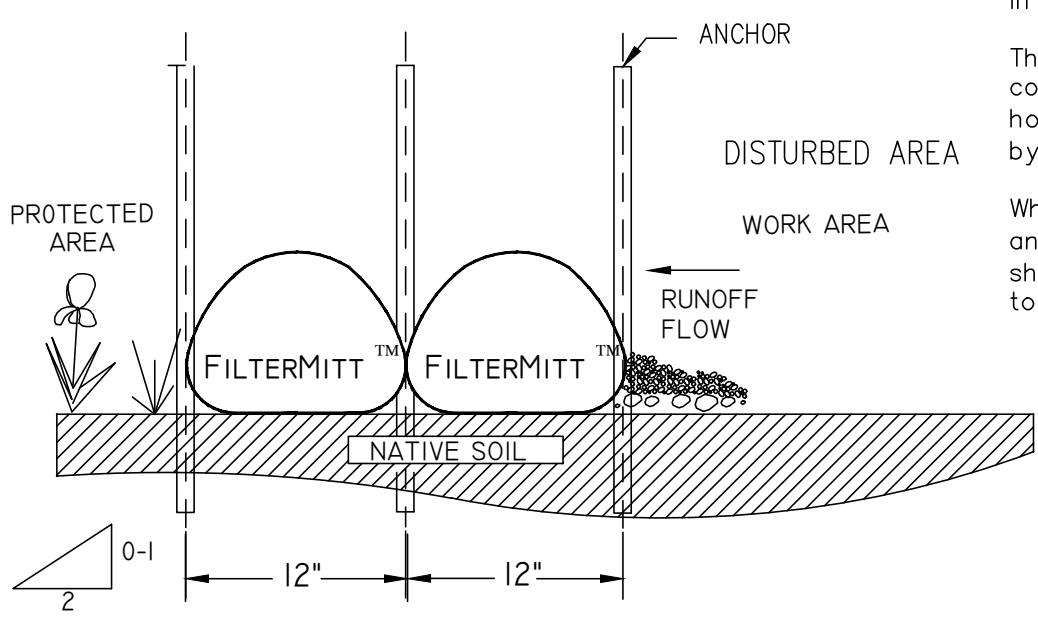
**PROPOSED CAPE COD BERM**  
(NOT TO SCALE)



**CONSTRUCTION TRACKING ENTRANCE/EXIT PAD**  
(NOT TO SCALE)



**FILTERMITT TOP VIEW**



**FILTERMITT SECTION VIEW**

**FILTERMITT DETAIL**  
(NOT TO SCALE)

**FilterMitt™ COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT: *FiberRoot Mulch™*  
• A blend of coarse and fine compost and shredded wood.  
• Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
• Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./1.1.)

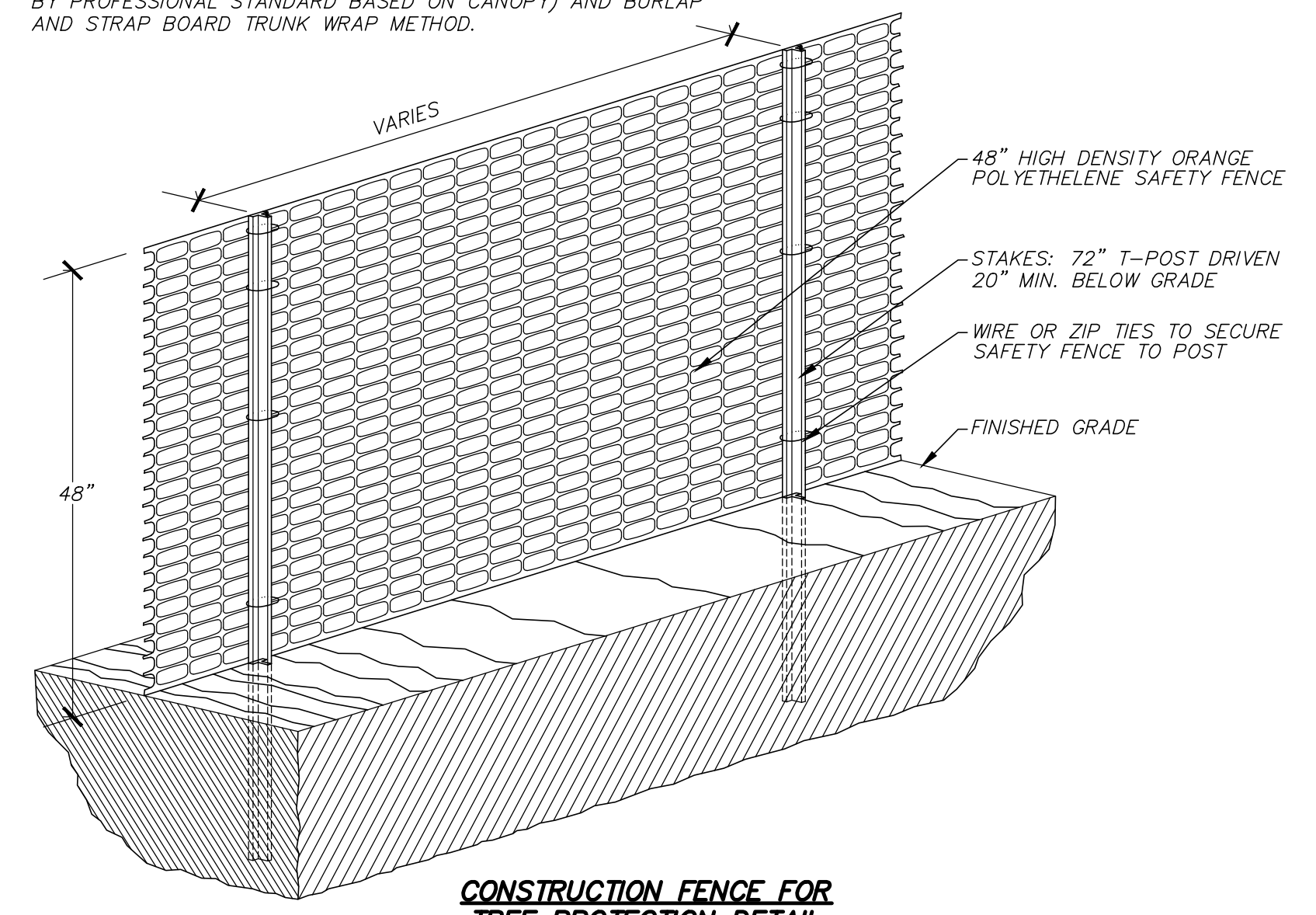
**FilterMitt™ INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.

Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of *FilterMitt™* allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

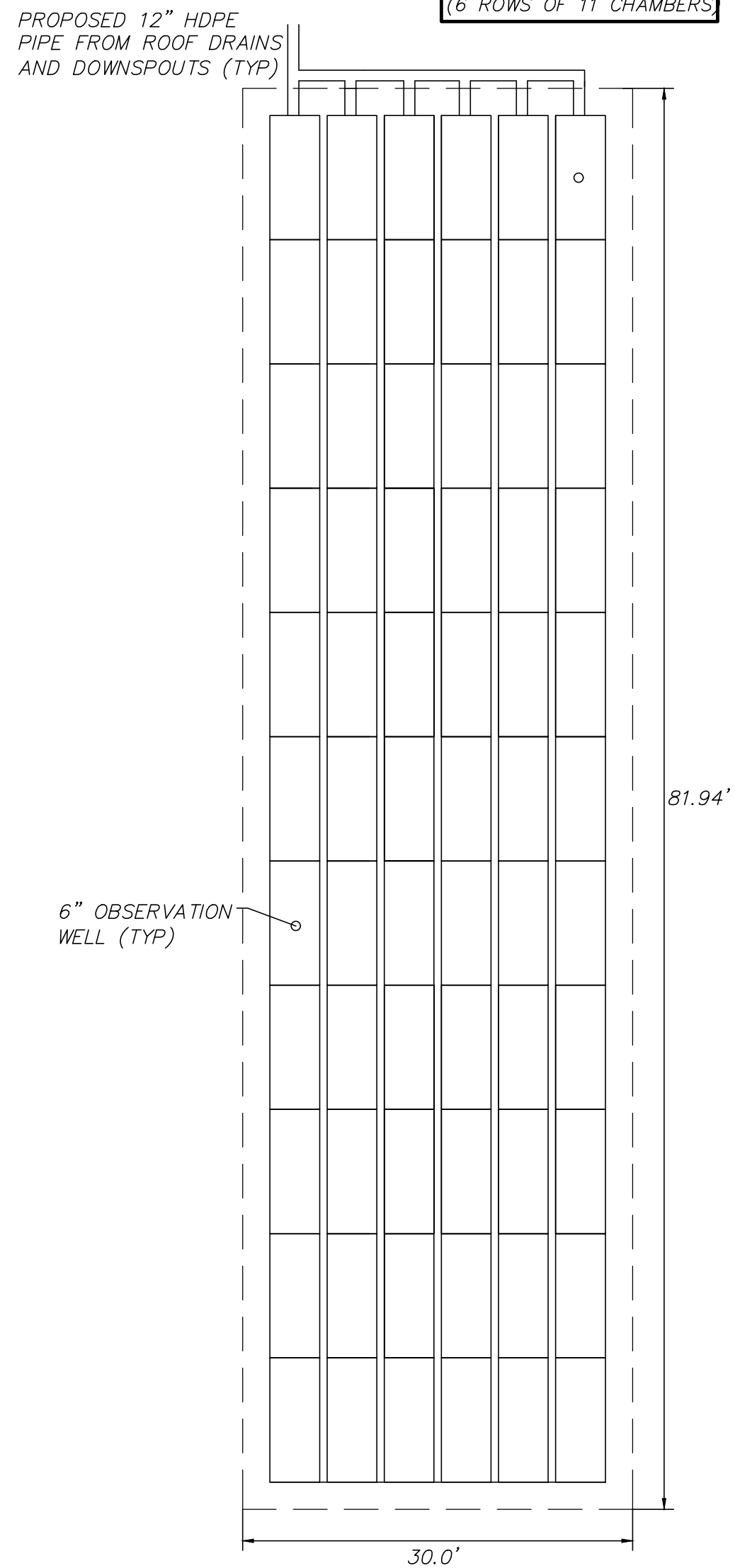
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (oak stakes, trees, etc.) to stabilize the union.

**NOTE:**  
1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



**CONSTRUCTION FENCE FOR TREE PROTECTION DETAIL**  
(NOT TO SCALE)

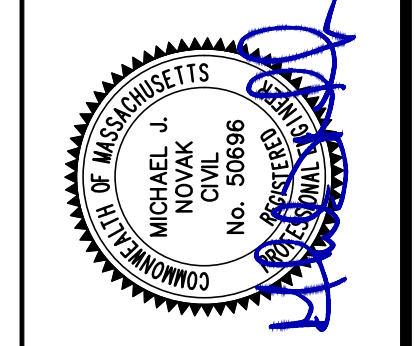
66 STORMTECH SC-740 CHAMBERS (6 ROWS OF 11 CHAMBERS)



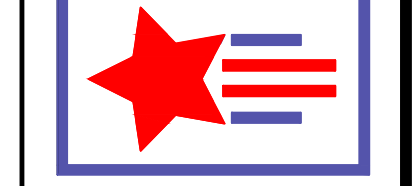
**PROPOSED SUBSURFACE INFILTRATION SYSTEM (PSIS)**  
(PLAN VIEW)  
(NOT TO SCALE)

1021 & 1025 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS  
DATE: 4-27-2022  
PROJECT No: 21-32

REVISIONS	DESCRIPTION
DATE	BY

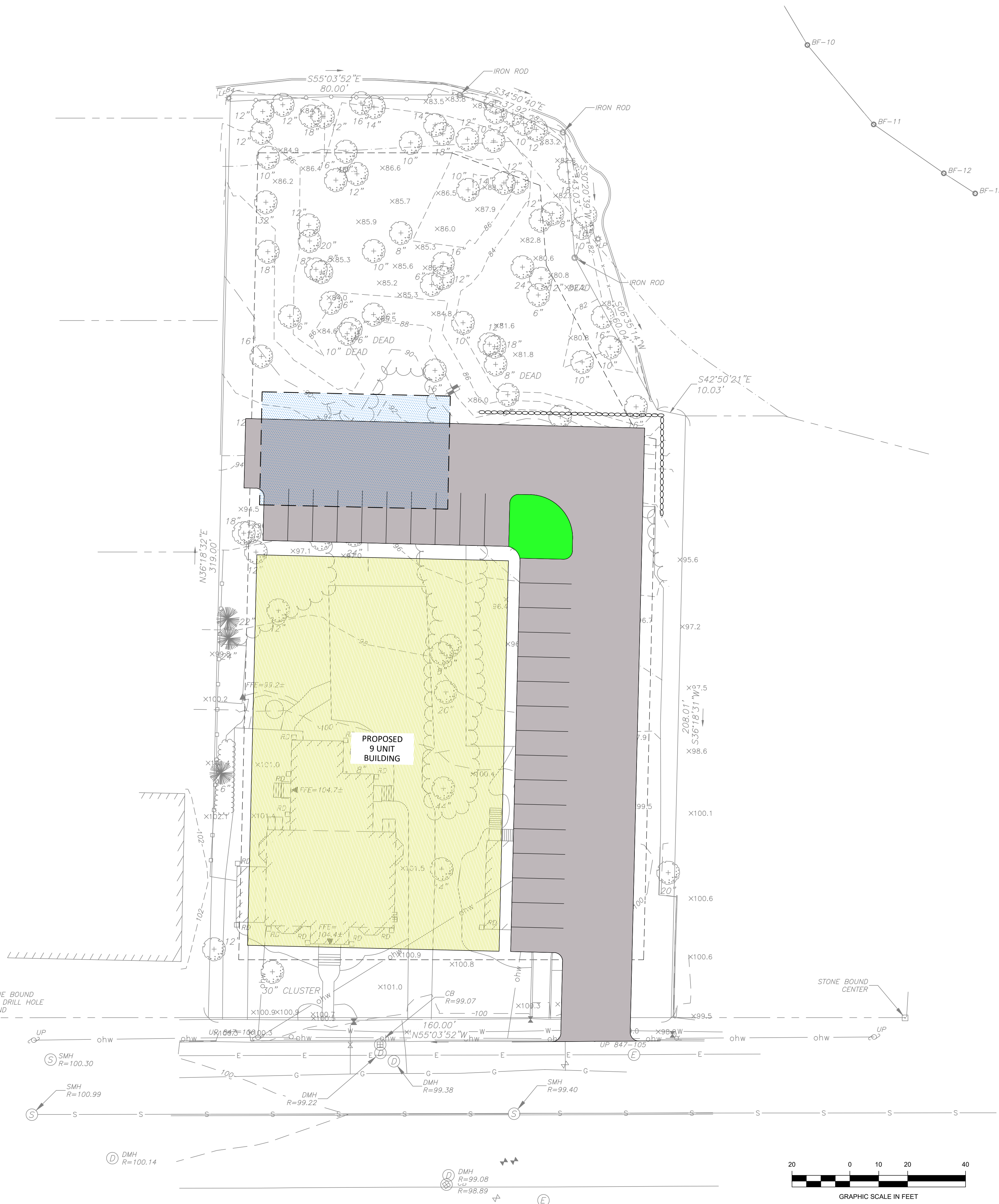
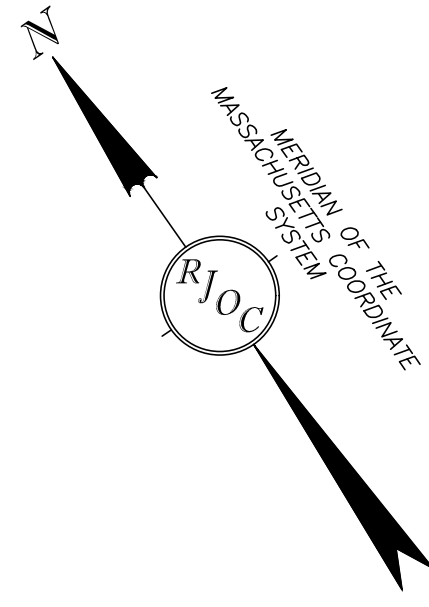


**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
T: (978) 726-2654  
www.patriot-eng.com



SITE DETAILS  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC





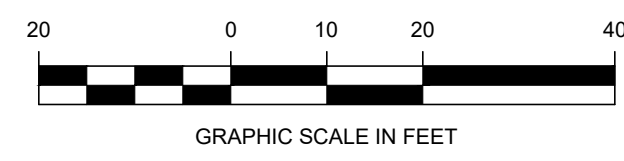
**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS, AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY, OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BY R. J. O'CONNELL & ASSOCIATES (RJO).
2. UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. AS OF THE DATE OF THIS SURVEY, NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
3. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83). THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
4. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
5. EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY RJ O'CONNELL & ASSOCIATES.
6. CONTOUR INTERVAL IS TWO FOOT (2').

**LEGEND**

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

---	BOUNDARY LINE	---	CONCRETE CURB
---	ABUTTING PROPERTY LINE	---	VERTICAL GRANITE CURB
S	SEWER SERVICE	BCB	BITUMINOUS CONCRETE CURB
D	DRAIN SERVICE	HC	HANDICAP
W	WATER SERVICE	HPDE	HIGH DENSITY POLYETHYLENE
G	GAS LINE	CONC.	CONCRETE
E	ELECTRIC LINE	LSA	LANDSCAPE AREA
T	TELEPHONE LINE	---	DOOR
ohw	OVERHEAD WIRES	---	SIGN
X	CHAIN LINK FENCE	8/6C	PARKING COUNT / COMPACT NUMBER
---	STOCKADE FENCE	---	DECIDUOUS TREE
---	INDEX CONTOUR	---	CONIFEROUS TREE
---	INTERMEDIATE CONTOUR	(REC)	FROM RECORD PLANS
U	UTILITY POLE	---	RETAINING WALL
L	LIGHT POLE	---	DETECTABLE WARNING PAD
E	ELECTRIC HAND HOLE	99x5	PROPOSED SPOT GRADE
C	CABLE MANHOLE	---	PROPOSED CONTOUR
S	SEWER MANHOLE	---	PROPOSED CONTOUR
D	DRAIN MANHOLE	---	TREE PROPOSED TO BE REMOVED
B	CATCH BASIN	---	LIMIT OF RIVERFRONT AREA
W	WATER VALVE	---	PROPOSED SEWER SERVICE
F	FIRE HYDRANT	---	PROPOSED WATER SERVICE
SP	SPRINKLER CONNECTION	---	PROPOSED DRAIN LINE
PI	POST INDICATOR VALVE	---	
B	BOLLARD	---	
G	GAS METER	---	
V	GAS VALVE	---	
R	ROOF DRAIN	---	
A	AREA DRAIN	---	
ICV	IRRIGATION CONTROL VALVE	---	
X	SPOT GRADE	---	
P	TEST PIT	---	
PSIS	PROPOSED SUBSURFACE INFILTRATION SYSTEM	---	
FM	PROPOSED FILTERMITT	---	
TL	PROPOSED TREELINE	---	
TYP	TYPICAL	---	
PFE	PROPOSED FLARED END	---	
INV.	INVERT	---	



1021 & 1025 MASSACHUSETTS AVENUE  
ARLINGTON, MA  
DATE: 4-27-2022  
PROJECT No: 21-32

REVISIONS	DATE	BY	DESCRIPTION

BY RITE SITE PLAN  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC

**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
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www.patriot-eng.com



**NOTES TO USERS**

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the **Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations** tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only landward of 0.1° National North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Massachusetts State Plane - Mianland zone (FIPS ZONE 2001), meters. The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NNGS12  
National Geodetic Survey  
SSMC-3, #5202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

**Base map** information shown on this FIRM was provided in digital format by the Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts, Executive Office of Energy and Environmental Affairs. This information was derived from digital orthophotos produced at a scale of 1:5,000 from aerial photography dated April 2005.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP (1-877-336-2827) or visit the FEMA website at <http://www.fema.gov>.



**LEGEND**

**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include zones A, AE, AH, AO, AR, AR9, V, and VE. The base flood elevation is the water-surface elevation of the 1% annual chance flood.

- ZONE A**: No Base Flood Elevations determined.
- ZONE AE**: Base Flood Elevations determined.
- ZONE AH**: Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.
- ZONE AO**: Flood depths of 1 to 3 feet (usually street flow on sloping terrain); average depths determined. For areas of unusual fan flooding, velocities also determined.
- ZONE AR**: Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently determined. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.
- ZONE AR9**: Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.
- ZONE V**: Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.
- ZONE VE**: Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

**FLOODWAY AREAS IN ZONE AE**

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**

- ZONE X**: Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**

- ZONE X**: Areas determined to be outside the 0.2% annual chance floodplain.
- ZONE D**: Areas in which flood hazards are undetermined, but possible.

**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**

**OTHERWISE PROTECTED AREAS (OPAs)**

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

- 1% annual chance floodplain boundary
- 0.2% annual chance floodplain boundary
- Floodway boundary
- Zone D boundary
- CBRS and OPA boundary
- Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities
- Base Flood Elevation line and value; elevation in feet\*
- Base Flood Elevation value where uniform within zone; elevation in feet\*

\* Referenced to the North American Vertical Datum of 1988

- Cross section line
- Traverse line
- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere
- 1000-meter Universal Transverse Mercator grid values, zone 19
- 5000-foot grid values: Massachusetts State Plane coordinate system; Mianland zone (FIPS ZONE 2001); Lambert Conformal Conic projection
- Bench mark (see explanation in Notes to Users section of this FIRM panel)
- MI.5: River Mile

MAP REPOSITORY  
Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP: June 4, 2010

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL:

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6633.

(SCALE 1" = 600')

**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0416E

**FIRM**  
FLOOD INSURANCE RATE MAP

MIDDLESEX COUNTY,  
MASSACHUSETTS  
(ALL JURISDICTIONS)

PANEL 416 OF 656  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS	COMMUNITY	NUMBER	PANEL	SUFFIX
	ARLINGTON, TOWN OF	250177	0416	
	BEAUMONT, TOWN OF	250182	0416	
	LEWISTON, TOWN OF	250188	0416	
	WINCHESTER, TOWN OF	250228	0416	

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER**  
25017C0416E

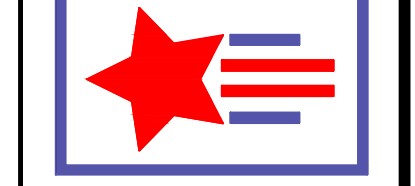
**EFFECTIVE DATE**  
JUNE 4, 2010

Federal Emergency Management Agency

1021 & 1025 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS  
DATE: 4-27-2022  
PROJECT No: 21-32

REVISIONS	DESCRIPTION
DATE	BY

**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEWISTON, MASSACHUSETTS 02420  
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www.patriot-eng.com



FEMA FLOOD MAP  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC



NO.	REVISION	DATE

**kzla**  
Kylie Zick Landscape Architecture, Inc.  
36 Bromfield Street Suite 202  
Boston, MA 02108  
617 451-1018 Tel  
www.kyiezick.com

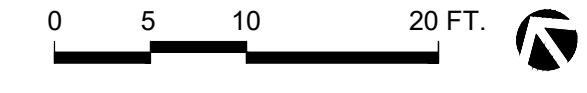
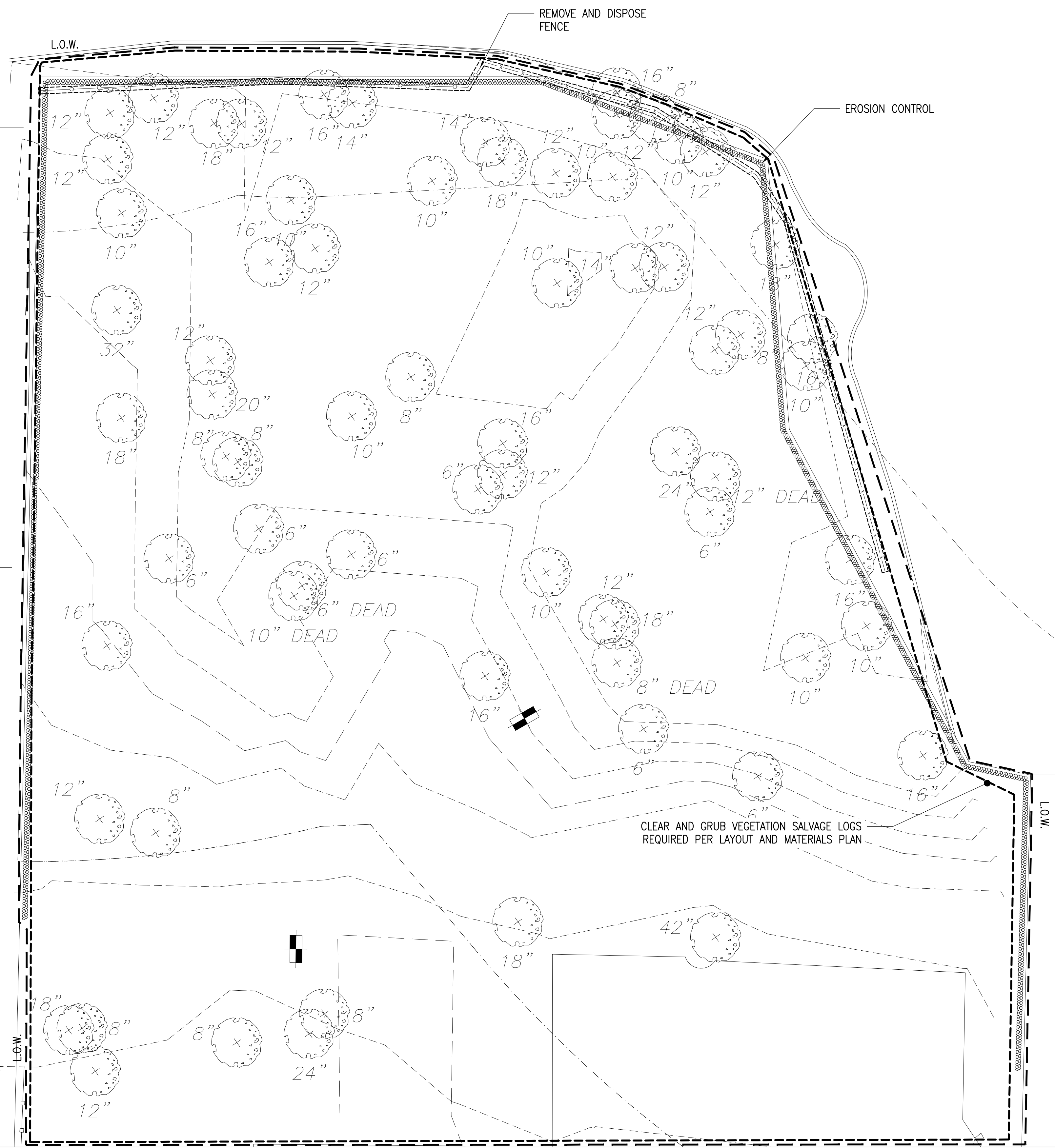
DRAFT CONSTRUCTION DOCUMENT SET

Job Number:  
Project: ARLINGTON RES.  
Drawn By: YL Checked By: KZ  
Date: APRIL 08, 2022  
Scale: 1"=10'-0"  
Drawing Title:

SITE PREPARATION PLAN

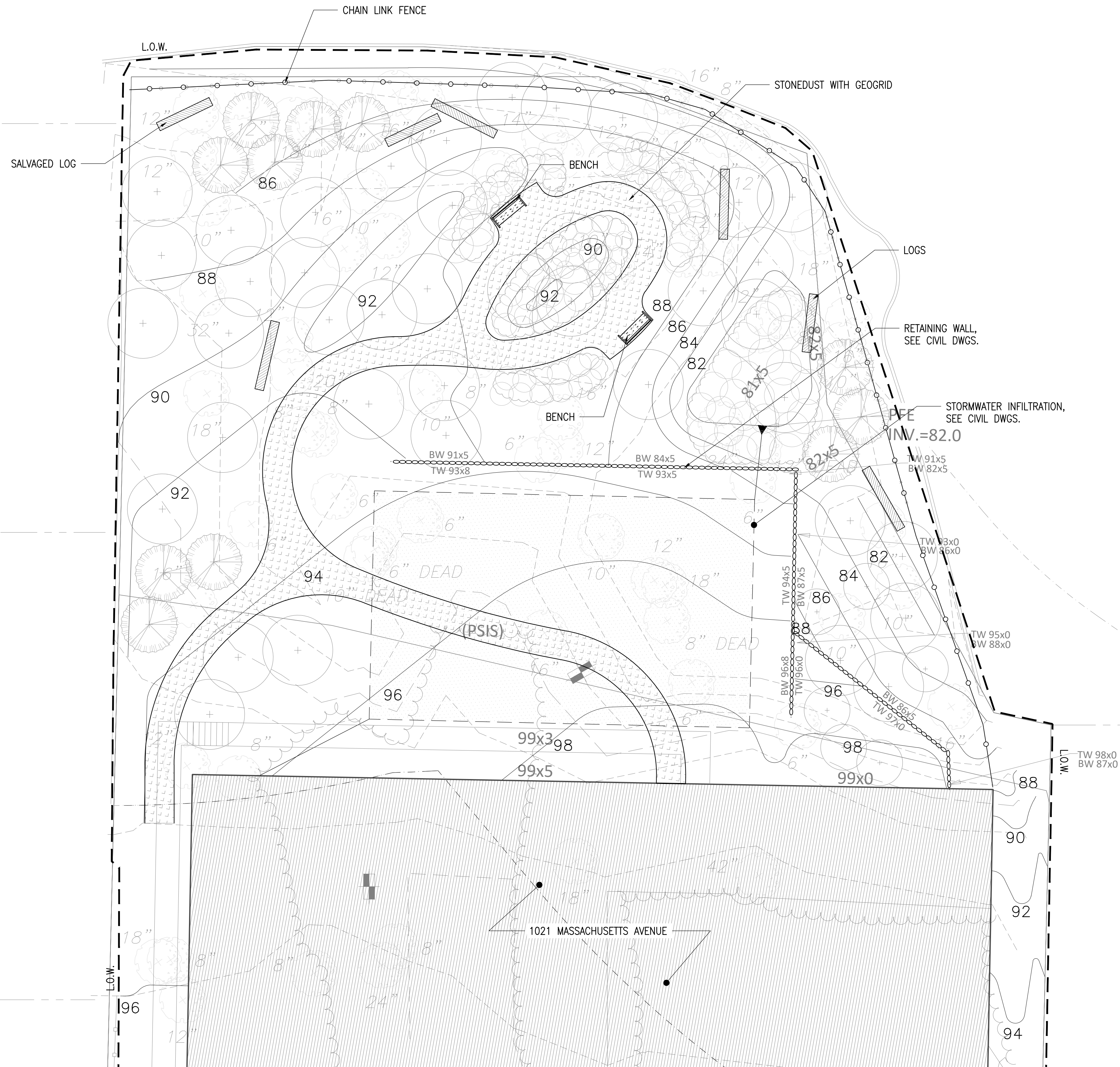
LEGEND

-L.O.W.- LIMIT OF WORK LINE



LEGEND

— L.O.W. — LIMIT OF WORK LINE



1021  
MASSACHUSETTS  
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

NO.	REVISION	DATE

**kzla**  
 Kyle Zick Landscape Architecture, Inc.  
 36 Bromfield Street Suite 202 Boston, MA 02108 617 451-1018 Tel www.kyiezick.com

DRAFT CONSTRUCTION  
DOCUMENT SET

Job Number:  
 Project: ARLINGTON RES.  
 Drawn By: YL Checked By: KZ  
 Date: APRIL 08, 2022  
 Scale: 1"=10'-0"  
 Drawing Title:

LAYOUT AND MATERIAL PLAN

L2

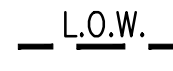




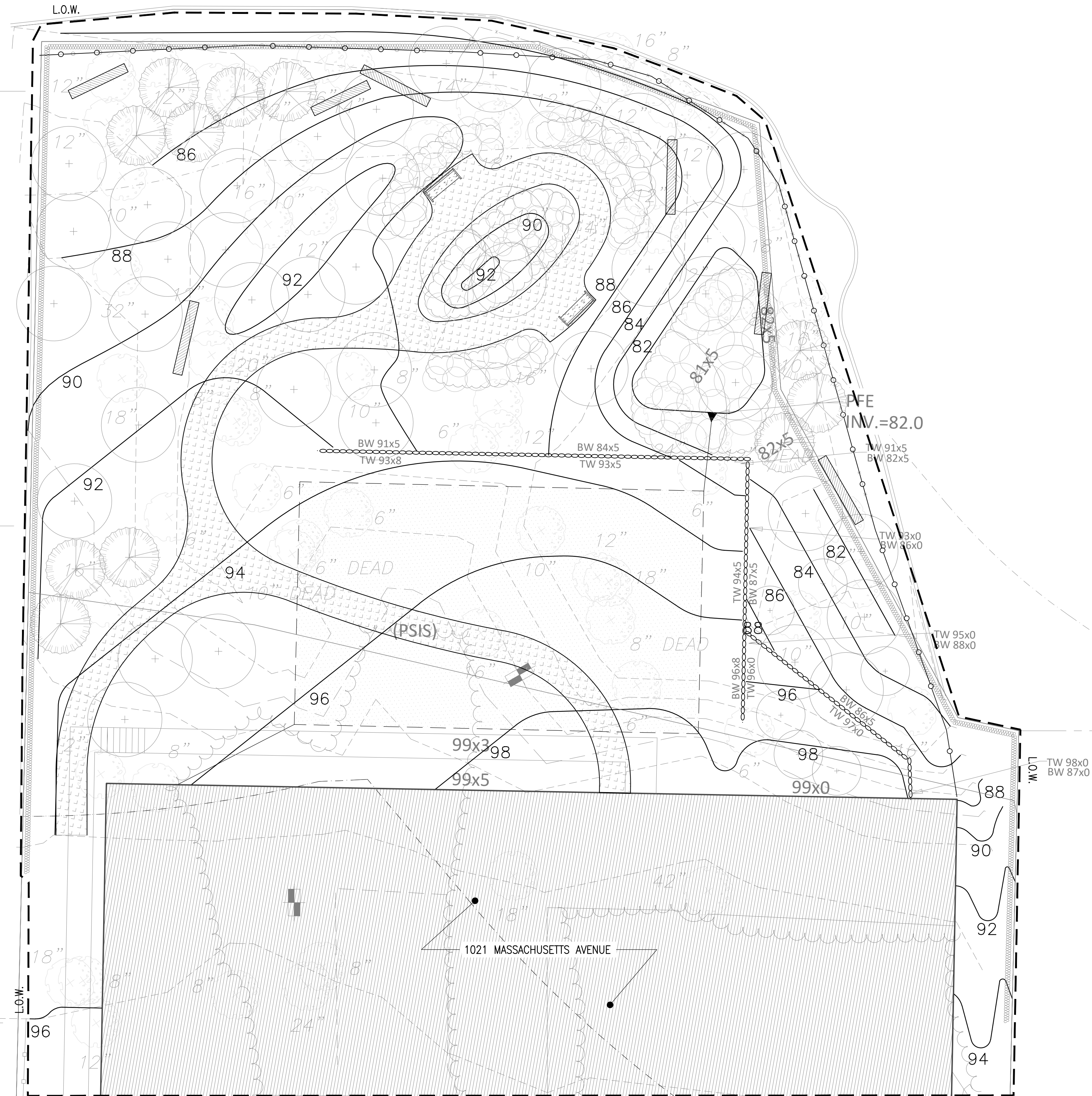
1021  
MASSACHUSETTS  
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

LEGEND

-  L.O.W. LIMIT OF WORK LINE
-  88 PROPOSED CONTOUR, TYP.
-  90 EXISTING CONTOUR, TYP.



NO.	REVISION	DATE

**kzla**  
Kylie Zick Landscape Architecture, Inc.  
36 Bronnfield Street Suite 202 Boston, MA 02108 617 451-1018 Tel www.kyiezick.com

DRAFT CONSTRUCTION  
DOCUMENT SET

Job Number:  
Project: ARLINGTON RES.  
Drawn By: YL Checked By: KZ  
Date: APRIL 08, 2022  
Scale: 1"=10'-0"  
Drawing Title:

GRADING PLAN



LEGEND

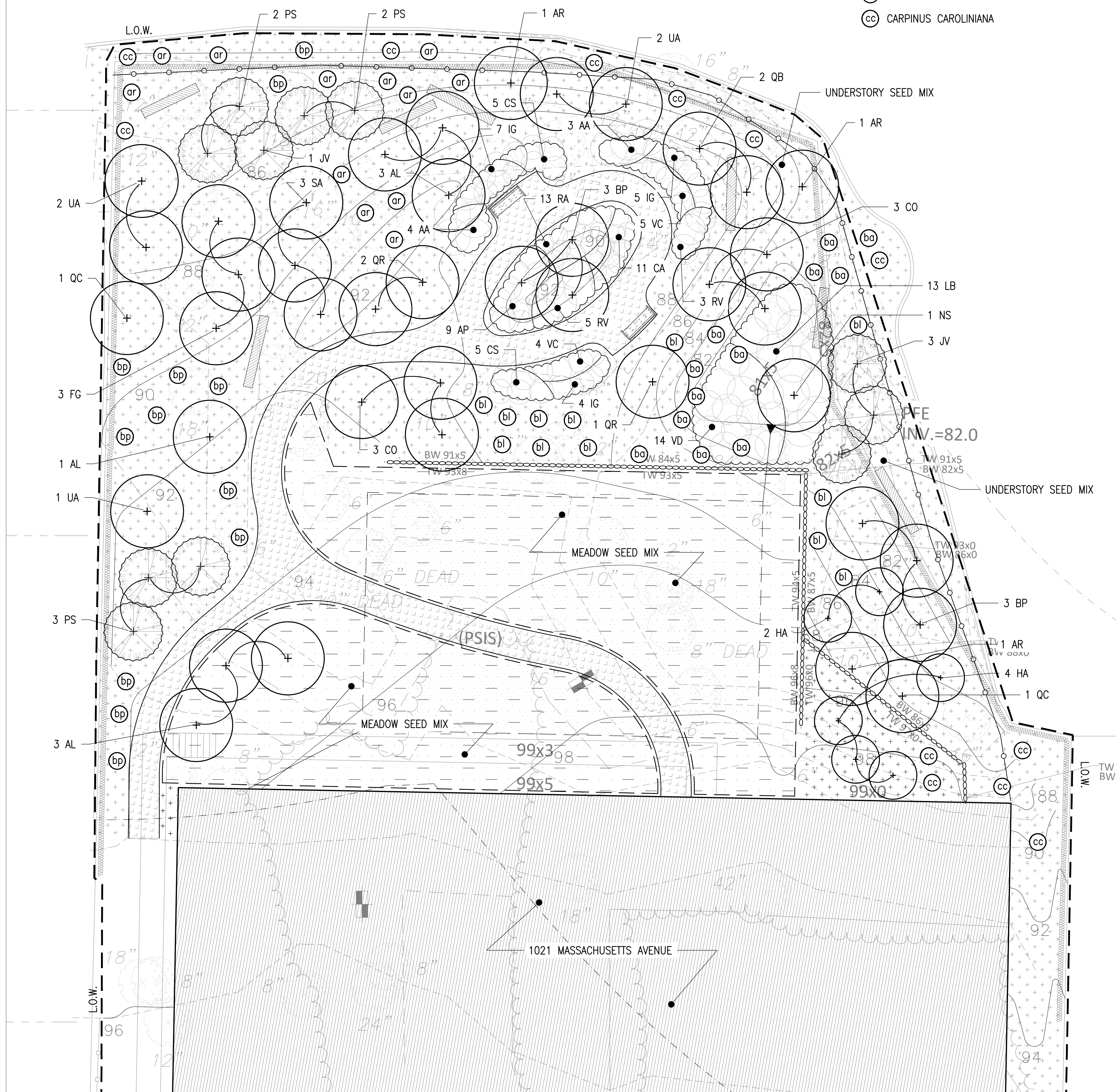
- L.O.W. - LIMIT OF WORK LINE
- + DECIDUOUS TREE, TYP.
- - EVERGREEN TREE, TYP.
- MEADOW SEED MIX
- NEW ENGLAND SHOWY WILDFLOWER MIX
- SHRUBS/PERENNIALS
- UNDERSTORY SEED MIX
- NEW ENGLAND ROADSIDE MATRIX UPLAND SEED MIX

TREE SEEDLINGS

- ar ACER RUBRUM
- ba BETULA ALLEGHANIENSIS
- bl BETULA LENTA
- bp BETULA POPULIFOLIA
- cc CARPINUS CAROLINIANA

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES:
<b>DECIDUOUS TREES</b>						
AR	3	ACER RUBRUM	RED MAPLE	2" CAL.	-	SPRING DIG ONLY
AL	7	AMELANCHIER CANADENSIS L. MEDIK.	SHADBLOW SERVICEBERRY	12' HT.	-	MULTI-STEM
BP	6	BETULA PAPIRYFERA	PAPER BIRCH	12' HT.	-	MULTI-STEM
CO	6	CARYA OVATA	SHAGBARK HICKORY	1" CAL.	-	-
FG	3	FAGUS GRANDIFLORA	AMERICAN BEECH	1" CAL.	-	SPRING DIG ONLY
HA	6	HAMAMELUS X INTERMEDIA 'ARNOLD PROMISE'	WITCHHAZEL	8" B&B	-	CLUMP FORM
NS	1	NYSSA SYLVATICA	SOURGUM	2" CAL.	-	SPRING DIG ONLY
QB	2	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	-	SPRING DIG ONLY
QC	2	QUERCUS COCCINEA	SCARLET OAK	2" CAL.	-	SPRING DIG ONLY
QR	3	QUERCUS RUBRA	RED OAK	2" CAL.	-	SPRING DIG ONLY
SA	3	SASSAFRAS ALBIDUM	SASSAFRAS	1" CAL.	-	-
UA	5	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2" CAL.	-	SPRING DIG ONLY
<b>TREE SEEDLINGS</b>						
ar	12	ACER RUBRUM	RED MAPLE	4" HT.	-	-
ba	12	BETULA ALLEGHANIENSIS	YELLOW BIRCH	4" HT.	-	-
bl	12	BETULA LENTA	SWEET BIRCH	4" HT.	-	-
bp	12	BETULA POPULIFOLIA	GRAY BIRCH	4" HT.	-	-
cc	12	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	4" HT.	-	-
<b>EVERGREEN TREES</b>						
JV	4	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6" HT.	-	-
PS	7	PINUS STROBUS	EASTERN WHITE PINE	6" HT.	-	-
<b>SHRUBS</b>						
AA	7	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	36" HT.	5'-0" O.C.	-
AP	9	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	36" HT.	4'-0" O.C.	-
CA	11	CLETHRA ALNIFOLIA	SUMMERSWEET	24" HT.	3'-0" O.C.	-
CS	10	CORNUS SERICEA	REDTWIG DOGWOOD	36" HT.	4'-0" O.C.	-
IG	16	ILEX GLABRA	INKBERRY	3 GAL.	4'-0" O.C.	-
LB	13	LINDERA BENZOIN	SPICEBUSH	36" HT.	6'-0" O.C.	-
RA	13	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	24" SPREAD	3'-0" O.C.	-
RV	8	ROSA VIRGINIANA	VIRGINIA ROSE	36" HT.	5'-0" O.C.	-
VC	9	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	24" HT.	4'-0" O.C.	-
VD	14	VIBURNUM DENTATUM	ARROWWOOD	36" HT.	5'-0" O.C.	-



NO.	REVISION	DATE

**kzla**  
 Kyle Zick Landscape Architecture, Inc.  
 36 Bronfield Street Suite 202  
 Boston, MA 02108  
 617 451-1018 Tel  
 www.kyzezick.com

DRAFT CONSTRUCTION DOCUMENT SET

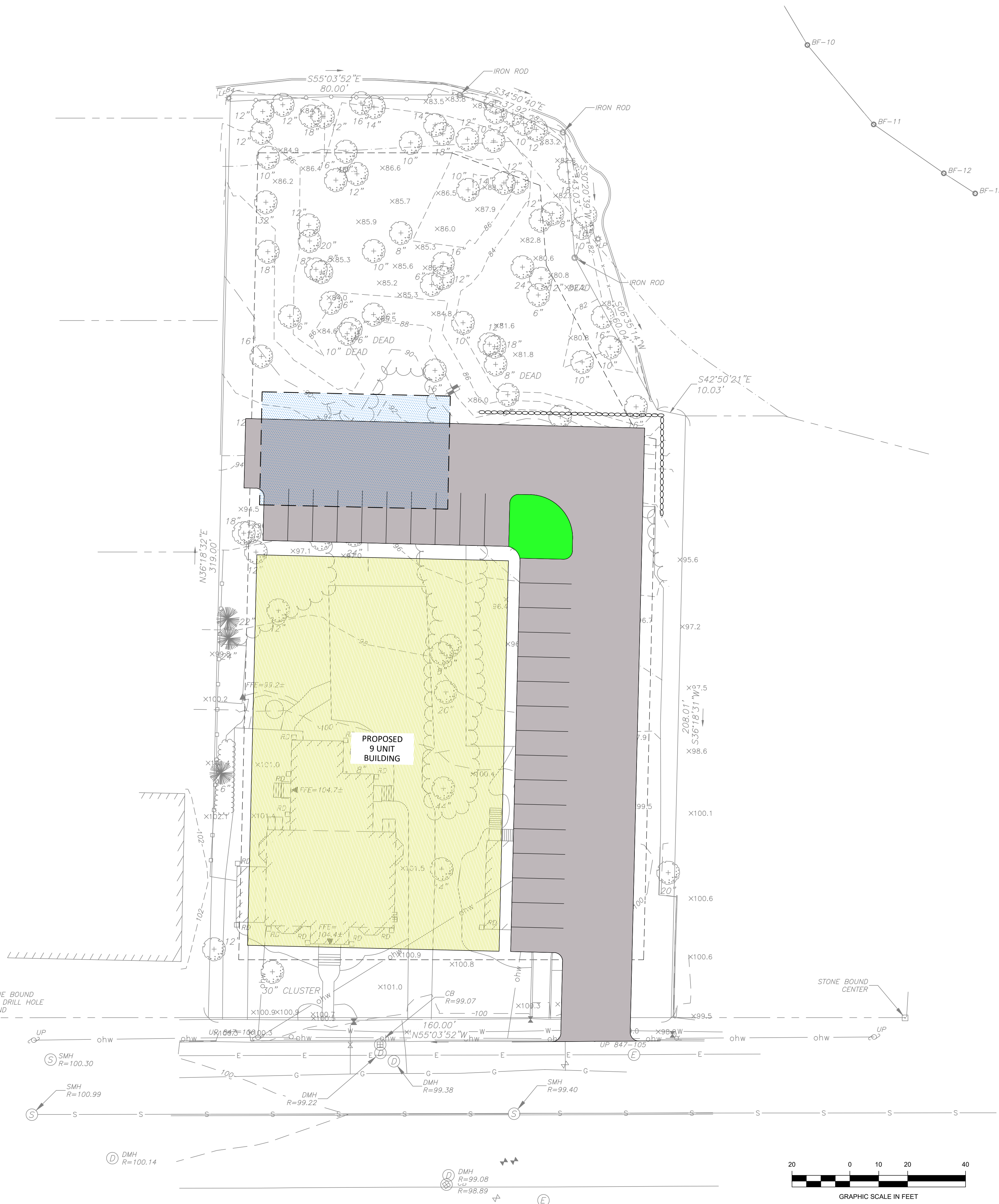
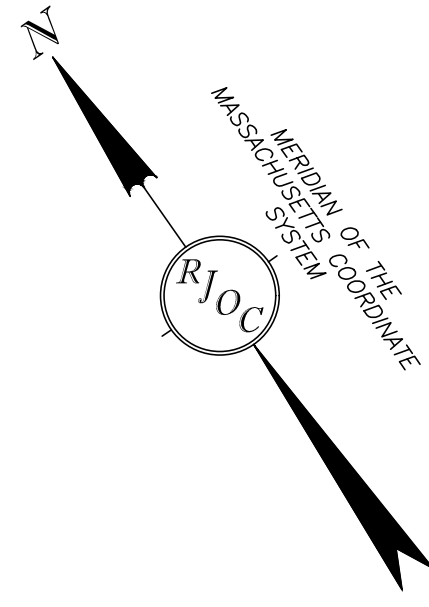
Job Number:  
 Project: ARLINGTON RES.  
 Drawn By: YL      Checked By: KZ  
 Date: APRIL 08, 2022  
 Scale: 1"=10'-0"  
 Drawing Title:

PLANTING PLAN

# Attachment 2.5

By-Right Site Plan





**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS, AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY, OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BY R. J. O'CONNELL & ASSOCIATES (RJO).
2. UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. AS OF THE DATE OF THIS SURVEY, NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
3. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83). THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
4. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
5. EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY RJ O'CONNELL & ASSOCIATES.
6. CONTOUR INTERVAL IS TWO FOOT (2').

**LEGEND**

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

---	BOUNDARY LINE	---	CONCRETE CURB
---	ABUTTING PROPERTY LINE	---	VERTICAL GRANITE CURB
S	SEWER SERVICE	BCB	BITUMINOUS CONCRETE CURB
D	DRAIN SERVICE	HC	HANDICAP
W	WATER SERVICE	HPDE	HIGH DENSITY POLYETHYLENE
G	GAS LINE	CONC.	CONCRETE
E	ELECTRIC LINE	LSA	LANDSCAPE AREA
T	TELEPHONE LINE	---	DOOR
ohw	OVERHEAD WIRES	---	SIGN
X	CHAIN LINK FENCE	8/6C	PARKING COUNT / COMPACT NUMBER
---	STOCKADE FENCE	---	DECIDUOUS TREE
---	INDEX CONTOUR	---	CONIFEROUS TREE
---	INTERMEDIATE CONTOUR	(REC)	FROM RECORD PLANS
U	UTILITY POLE	---	RETAINING WALL
L	LIGHT POLE	---	DETECTABLE WARNING PAD
E	ELECTRIC HAND HOLE	99x5	PROPOSED SPOT GRADE
C	CABLE MANHOLE	---	PROPOSED CONTOUR
S	SEWER MANHOLE	---	PROPOSED CONTOUR
D	DRAIN MANHOLE	---	TREE PROPOSED TO BE REMOVED
B	CATCH BASIN	---	LIMIT OF RIVERFRONT AREA
W	WATER VALVE	---	PROPOSED SEWER SERVICE
F	FIRE HYDRANT	---	PROPOSED WATER SERVICE
SP	SPRINKLER CONNECTION	---	PROPOSED DRAIN LINE
P	POST INDICATOR VALVE	---	
B	BOLLARD	---	
G	GAS METER	---	
V	GAS VALVE	---	
R	ROOF DRAIN	---	
A	AREA DRAIN	---	
I	IRRIGATION CONTROL VALVE	---	
X	SPOT GRADE	---	
P	TEST PIT	---	
PS	PROPOSED SUBSURFACE INFILTRATION SYSTEM	---	
F	PROPOSED FILTERMITT	---	
T	PROPOSED TREETLINE	---	
TYP	TYPICAL	---	
PFE	PROPOSED FLARED END	---	
INV.	INVERT	---	

1021 & 1025 MASSACHUSETTS AVENUE  
 ARLINGTON, MA  
 DATE: 4-27-2022  
 PROJECT No: 21-32

REVISIONS	DATE	BY	DESCRIPTION

BY RITE SITE PLAN  
 LOCATED IN  
 ARLINGTON, MA  
 (MIDDLESEX COUNTY)  
 PREPARED FOR  
 MAJ INVESTMENT, LLC

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