

# PROJECT INFORMATION

**Application for Chapter 40B Project Eligibility / Site Approval**  
**for MassHousing-Financed and New England Fund (“NEF”) Homeownership Projects**

**Section 3: PROJECT INFORMATION**

*In order to issue Site Approval, MassHousing must find (as required by 760 CMR 56.04 (4)) that the proposed project appears generally eligible under the requirements of the housing subsidy program and that the conceptual project design is generally appropriate for the site.*

**Construction Type:** New Construction

<b>Total Dwelling Units:</b>	50	<b>Total Number of Affordable Units:</b>	13
<b>Number of Market Units:</b>	37	<b>Number of AMI 50% Affordable Units:</b>	0
		<b>Number of AMI 80% Affordable Units:</b>	13

**Unit Information:**

<b>Unit Type</b>	<b>Bedrooms</b>	<b>Baths</b>	<b># Of Units</b>	<b>Unit Sq. Ft.</b>	<b>Sales Price</b>	<b>Condo/HO Fee</b>
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,165	\$257,400	\$186
Market	2 Bedroom	2 Baths	1	1,267	\$930,000	\$602
Market	2 Bedroom	2 Baths	1	1,198	\$885,000	\$569
Market	2 Bedroom	2 Baths	1	1,202	\$890,000	\$571
Market	2 Bedroom	2 Baths	1	1,262	\$930,000	\$599
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,176	\$257,400	\$188
Market	1 Bedroom	1 Bath	1	733	\$620,000	\$348
Affordable Unit - Below 80%	3 Bedroom	2 Baths	1	1,501	\$281,200	\$240
Market	1 Bedroom	1 Bath	1	958	\$720,000	\$455
Market	2 Bedroom	2 Baths	1	1,255	\$940,000	\$596
Market	2 Bedroom	2 Baths	1	1,309	\$970,000	\$622
Market	3 Bedroom	2 Baths	1	1,535	\$1,125,000	\$729
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,152	\$257,400	\$184
Market	2 Bedroom	2 Baths	1	1,117	\$825,000	\$531
Market	2 Bedroom	2 Baths	1	1,165	\$870,000	\$553
Market	2 Bedroom	2 Baths	1	1,267	\$945,000	\$602
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,198	\$257,400	\$192
Market	2 Bedroom	2 Baths	1	1,201	\$900,000	\$570
Market	2 Bedroom	2 Baths	1	1,262	\$940,000	\$599
Market	2 Bedroom	2 Baths	1	1,176	\$875,000	\$559
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	720	\$236,100	\$115
Market	3 Bedroom	2 Baths	1	1,501	\$1,110,000	\$713
Market	2 Bedroom	2 Baths	1	1,165	\$860,000	\$553
Market	2 Bedroom	2 Baths	1	1,265	\$940,000	\$601
Market	2 Bedroom	2 Baths	1	1,309	\$980,000	\$622
Affordable Unit - Below 80%	3 Bedroom	2 Baths	1	1,535	\$281,200	\$246
Market	2 Bedroom	2 Baths	1	1,152	\$860,000	\$547
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,117	\$257,400	\$179
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,144	\$257,400	\$183
Market	2 Bedroom	2 Baths	1	1,237	\$915,000	\$588
Market	2 Bedroom	2 Baths	1	1,182	\$890,000	\$561
Market	2 Bedroom	2 Baths	1	1,202	\$910,000	\$571
Market	2 Bedroom	2 Baths	1	1,246	\$960,000	\$592
Affordable Unit - Below 80%	2 Bedroom	2 Baths	1	1,158	\$257,400	\$185
Market	1 Bedroom	1 Bath	1	720	\$575,000	\$342
Market	3 Bedroom	2 Baths	1	1,475	\$1,090,000	\$701
Market	2 Bedroom	2 Baths	1	1,165	\$870,000	\$553
Market	2 Bedroom	2 Baths	1	1,254	\$950,000	\$596
Market	2 Bedroom	2 Baths	1	1,309	\$990,000	\$622
Market	1 Bedroom	1 Bath	1	754	\$600,000	\$358
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	754	\$236,100	\$121
Market	2 Bedroom	2 Baths	1	1,123	\$850,000	\$533
Market	2 Bedroom	2 Baths	1	1,117	\$840,000	\$531
Market	2 Bedroom	2 Baths	1	1,276	\$1,020,000	\$606
Market	2 Bedroom	2 Baths	1	1,167	\$935,000	\$554
Market	2 Bedroom	2 Baths	1	1,277	\$1,020,000	\$607
Market	2 Bedroom	2 Baths	1	1,259	\$1,010,000	\$598
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	754	\$236,100	\$121
Affordable Unit - Below 80%	1 Bedroom	1 Bath	1	754	\$236,100	\$121
Market	2 Bedroom	2 Baths	1	1,083	\$870,000	\$514

**Approach to calculating any additional fees relating to Condominium Association or Homeowners Association:**

Fees are established by creating a realistic operating budget for the project and beneficial interest is then calculated based on the initial value of each dwelling unit

**Percentage of Units with 3 or More Bedrooms:** 10

*\* Note that the January 17, 2014 Interagency Agreement Regarding Housing Opportunities for Families with Children requires that at least 10% of the units in the Project must have three (3) or more bedrooms. Evidence of compliance with this requirement must be provided at Final Approval.*

**Handicapped Accessible Units - Total:** 50      **Market Rate:** 37      **Affordable:** 13

**Gross Density (units per acre):** 46.2963      **Net Density (units per buildableacre):** 76.9231

**Building Information**

<b>Building Type</b>	<b>Building Style</b>	<b>Construction Type</b>	<b>Stories</b>	<b>Height</b>	<b>GFA</b>	<b>Number Bldg</b>
Residential	Multi-family	Construction	5	60	97,110	1

**Will all features and amenities available to market unit residents also be available to affordable unit residents?** Yes

**If not, explain the differences:**

**Parking**

**Total Parking Spaces Provided:** 50      **Ratio of Parking Spaces to Housing Units:** 1

**Lot Coverage**

**Buildings:** 53%      **Parking and Paved Areas:** 6%  
**Usable Open Space:** 41%      **Unusable Open Space:** 0%  
**Lot Coverage:** 60%

**Does project fit definition of "Large Project" (as defined in 760 CMR 56.03 (6))?** No



# Attachment 3.1

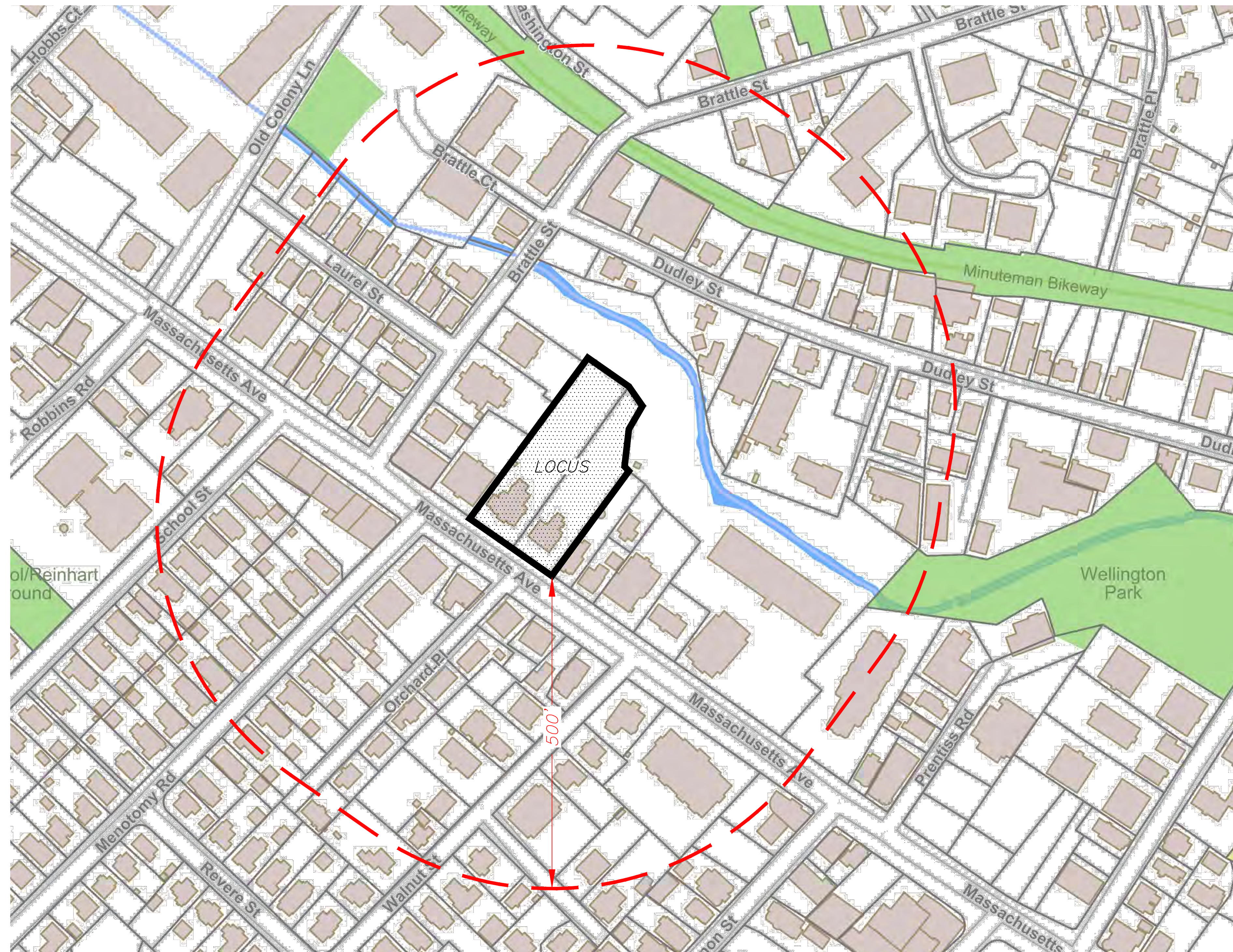
## Preliminary Site Layout Plan



**NOTES:**

1. THE INFORMATION DEPICTED ON THIS PLAN HAS BEEN COMPILED FROM THE TOWN OF ARLINGTON GIS SYSTEM
2. LAND USE WITHIN 500 FEET OF THE SUBJECT PROPERTY IS PRIMARILY SINGLE FAMILY DWELLINGS AND COMMERCIAL BUSINESSES, AND INCLUDES THE HIGHLAND FIRE STATION.

# 1021 & 1025 MASSACHUSETTS AVENUE (1021 ASSESSORS MAP 55 LOT 19) (1025 ASSESSORS MAP 55 LOT 20) NOTICE OF INTENT PLAN SET LOCATED IN ARLINGTON, MA APRIL 27, 2022

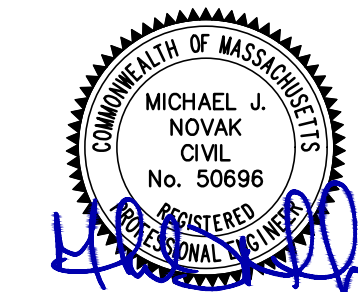


**LOCUS CONTEXT MAP**  
(SCALE 1"=100')

PREPARED BY:



**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
T: (978) 726-2654  
www.patriot-eng.com



**SHEET INDEX**

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. SITE PLAN
4. DETAIL SHEET
5. BY RITE SITE PLAN
6. FEMA MAP

APPLICANT:

MAJ INVESTMENT, LLC  
13 WHEELING AVENUE  
WOBURN, MA 01801



DATE	
REVISION	
NO.	

Record Owner:  
1021 MASSACHUSETTS AVENUE  
JOHN H. CHAGLIASSIAN  
1021 ARLINGTON, MA 02476  
BK 72517 / PG 224

1025 - 1027 MASSACHUSETTS AVENUE  
STEPHEN B. GERSH  
21 KING'S COURT  
ESSEX, MA 01929  
BK 57969 / PG 298

Location:  
PARCEL ID:  
1021 MASSACHUSETTS AVENUE  
MAP 055 BLOCK 002 LOT 019  
1025 - 1027 MASSACHUSETTS AVENUE  
MAP 055 BLOCK 002 LOT 020  
ARLINGTON, MA

PREPARED BY:  
**RJO'CONNELL & ASSOCIATES, INC.**  
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS  
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180  
PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:  
**PATRIOT ENGINEERING, LLC.**  
35 BEDFORD STREET  
SUITE 4  
LEXINGTON, MA 02420

PROJECT NAME:  
**1021 & 1025 MASSACHUSETTS AVE**  
ARLINGTON, MA

THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BETWEEN 08/13/2021 AND 10/15/2021.

PROFESSIONAL LAND SURVEYOR FOR DATE  
RJ O'CONNELL & ASSOCIATES, INC.

DRAWN BY: RJK / WJH  
REVIEWED BY: ML  
SCALE: 1" = 20'  
FIELD CREW: RJK / CJR  
FIELD BOOK: FIELD BOOK 40 / PG 5

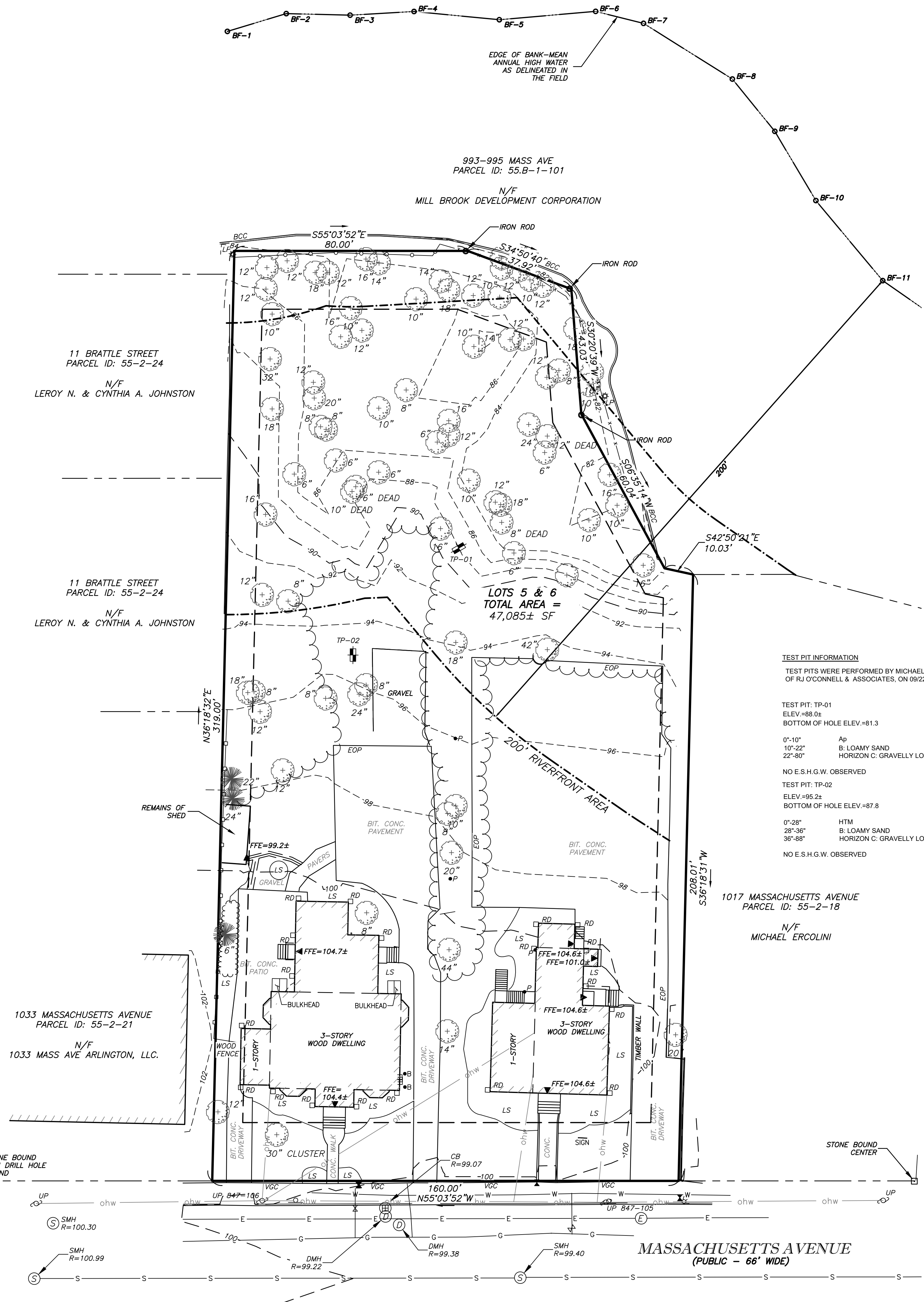
DATE: 10/19/2021  
DRAWING NAME:

**EXISTING CONDITIONS PLAN**

DRAWING NUMBER: **EX-1**

PROJECT NUMBER: 21583

Copyright © 2021 by R.J. O'Connell & Associates, Inc.



### LEGEND

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

—	BOUNDARY LINE	—	CONCRETE CURB
- - -	ABUTTING PROPERTY LINE	—	VERTICAL GRANITE CURB
— S — S —	SEWER SERVICE	— BCB —	BITUMINOUS CONCRETE CURB
— D — D —	DRAIN SERVICE	— HC —	HANDICAP
— W — W —	WATER SERVICE	— HPDE —	HIGH DENSITY POLYETHYLENE
— C — C —	GAS LINE	— CONC. —	CONCRETE
— E — E —	ELECTRIC LINE	— LSA —	LANDSCAPE AREA
— T — T —	TELEPHONE LINE	—	DOOR
— ohw — ohw —	OVERHEAD WIRES	—	SIGN
— X — X — X — X —	CHAIN LINK FENCE	—	PARKING COUNT / COMPACT NUMBER
—	STOCKADE FENCE	—	DECIDUOUS TREE
—	INDEX CONTOUR	—	CONIFEROUS TREE
— 98 —	INTERMEDIATE CONTOUR	— (REC) —	FROM RECORD PLANS
—	UTILITY POLE	—	RETAINING WALL
— LP —	LIGHT POLE	—	DETECTABLE WARNING PAD
—	ELECTRIC HAND HOLE	—	
—	CABLE MANHOLE	—	
—	SEWER MANHOLE	—	
—	DRAIN MANHOLE	—	
—	CATCH BASIN	—	
—	WATER VALVE	—	
—	FIRE HYDRANT	—	
— SPR —	SPRINKLER CONNECTION	—	
— PIV —	POST INDICATOR VALVE	—	
—	BOLLARD	—	
— GM —	GAS METER	—	
—	GAS VALVE	—	
— RD —	ROOF DRAIN	—	
— AD —	AREA DRAIN	—	
—	IRRIGATION CONTROL VALVE	—	
—	SPOT GRADE	—	
— 114.7 —	TEST PIT	—	

**TEST PIT INFORMATION**  
TEST PITS WERE PERFORMED BY MICHAEL CAPACHETTI OF RJO'CONNELL & ASSOCIATES, ON 09/22/2021.

TEST PIT: TP-01  
ELEV = 88.0±  
BOTTOM OF HOLE ELEV = 81.3  
0'-10" Ap  
10'-22" B. LOAMY SAND  
22'-80" HORIZON C. GRAVELLY LOAMY SAND W/ COBBLES  
NO E.S.H.G.W. OBSERVED

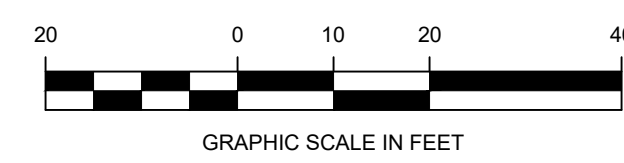
TEST PIT: TP-02  
ELEV = 95.2±  
BOTTOM OF HOLE ELEV = 87.8  
0'-28" HTM  
28'-36" B. LOAMY SAND  
36'-88" HORIZON C. GRAVELLY LOAMY SAND W/ COBBLES  
NO E.S.H.G.W. OBSERVED

### NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS, AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY, OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BY R. J. O'CONNELL & ASSOCIATES (RJOC).
- UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. AS OF THE DATE OF THIS SURVEY, NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
- THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
- THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
- EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY RJ O'CONNELL & ASSOCIATES.
- CONTOUR INTERVAL IS ONE FOOT (1').

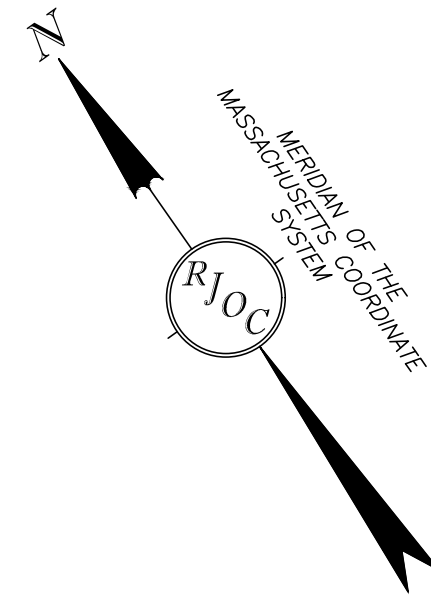
### PLAN REFERENCES:

- PLAN BOOK AND PAGES REFERENCE THE MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS
- PLAN BOOK 21 PAGE 6 (1864)
  - LAND COURT PLAN 31556a (1962)
  - PLAN 1006 OR 1967
  - LAND COURT PLAN 35170 (1970)
  - PLAN 1158 OF 1986
  - PLAN 586 OF 2015



Drawing Name: C:\Users\Mike\_VC\Patriot\_Engineering\_Dropbox\_S\CKS\21-32\_1021\_Mass\_Ave-Arlington\CAD\_CURRENT\W\21583\_Sorted\_Survey.dwg





**NOTES:**

1. UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY AS OF THE DATE OF THIS SURVEY. NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
2. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
3. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
4. EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY RJ O'CONNELL & ASSOCIATES.
5. CONTOUR INTERVAL IS TWO FOOT (2').

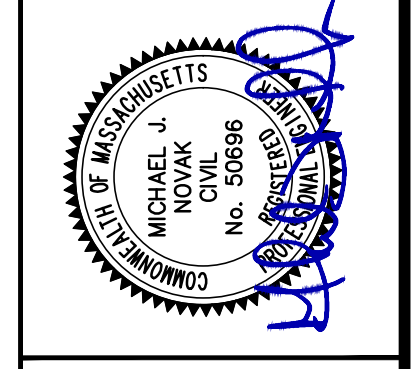
**LEGEND**

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

---	BOUNDARY LINE	---	BOUNDARY LINE
---	ABUTTING PROPERTY LINE	---	ABUTTING PROPERTY LINE
S - S	SEWER SERVICE	CC	CONCRETE CURB
D - D	DRAIN SERVICE	VGC	VERTICAL GRANITE CURB
W - W	WATER SERVICE	BCB	BITUMINOUS CONCRETE CURB
G - G	GAS LINE	HC	HANDICAP
E - E	ELECTRIC LINE	HPDE	HIGH DENSITY POLYETHYLENE
T - T	TELEPHONE LINE	CONC.	CONCRETE
ohw - ohw	OVERHEAD WIRES	LSA	LANDSCAPE AREA
X - X	CHAIN LINK FENCE	DOOR	DOOR
---	STOCKADE FENCE	SIGN	SIGN
---	INDEX CONTOUR	○	PARKING COUNT / COMPACT NUMBER
---	INTERMEDIATE CONTOUR	○	DECIDUOUS TREE
○	UTILITY POLE	○	CONIFEROUS TREE
○	LIGHT POLE	○	FROM RECORD PLANS
○	ELECTRIC HAND HOLE	○	RETAINING WALL
○	CABLE MANHOLE	○	DETECTABLE WARNING PAD
○	SEWER MANHOLE	○	99x5 PROPOSED SPOT GRADE
○	DRAIN MANHOLE	○	PROPOSED CONTOUR
○	CATCH BASIN	○	PROPOSED CONTOUR
○	WATER VALVE	○	TREE PROPOSED TO BE REMOVED
○	FIRE HYDRANT	○	LIMIT OF RIVERFRONT AREA
○	SPRINKLER CONNECTION	○	PROPOSED SEWER SERVICE
○	POST INDICATOR VALVE	○	PROPOSED WATER SERVICE
○	BOLLARD	○	PROPOSED DRAIN LINE
○	GAS METER	○	
○	GAS VALVE	○	
○	ROOF DRAIN	○	
○	AREA DRAIN	○	
○	IRRIGATION CONTROL VALVE	○	
○	SPOT GRADE	○	
○	TEST PIT	○	
PSIS	PROPOSED SUBSURFACE INFILTRATION SYSTEM		
---	PROPOSED FILTERMITT		
---	PROPOSED TREELINE		
TYP	TYPICAL		
PFE	PROPOSED FLARED END		
INV.	INVERT		

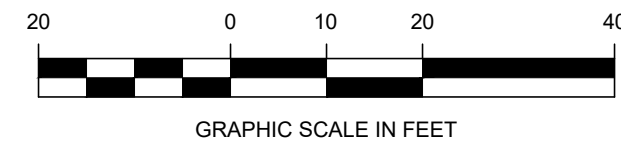
1021 & 1025 MASSACHUSETTS AVENUE  
 ARLINGTON, MASSACHUSETTS  
 DRAWN BY: DATE: 4-27-2022  
 CHECKED BY: PROJECT No: 21-32

REVISIONS	DESCRIPTION

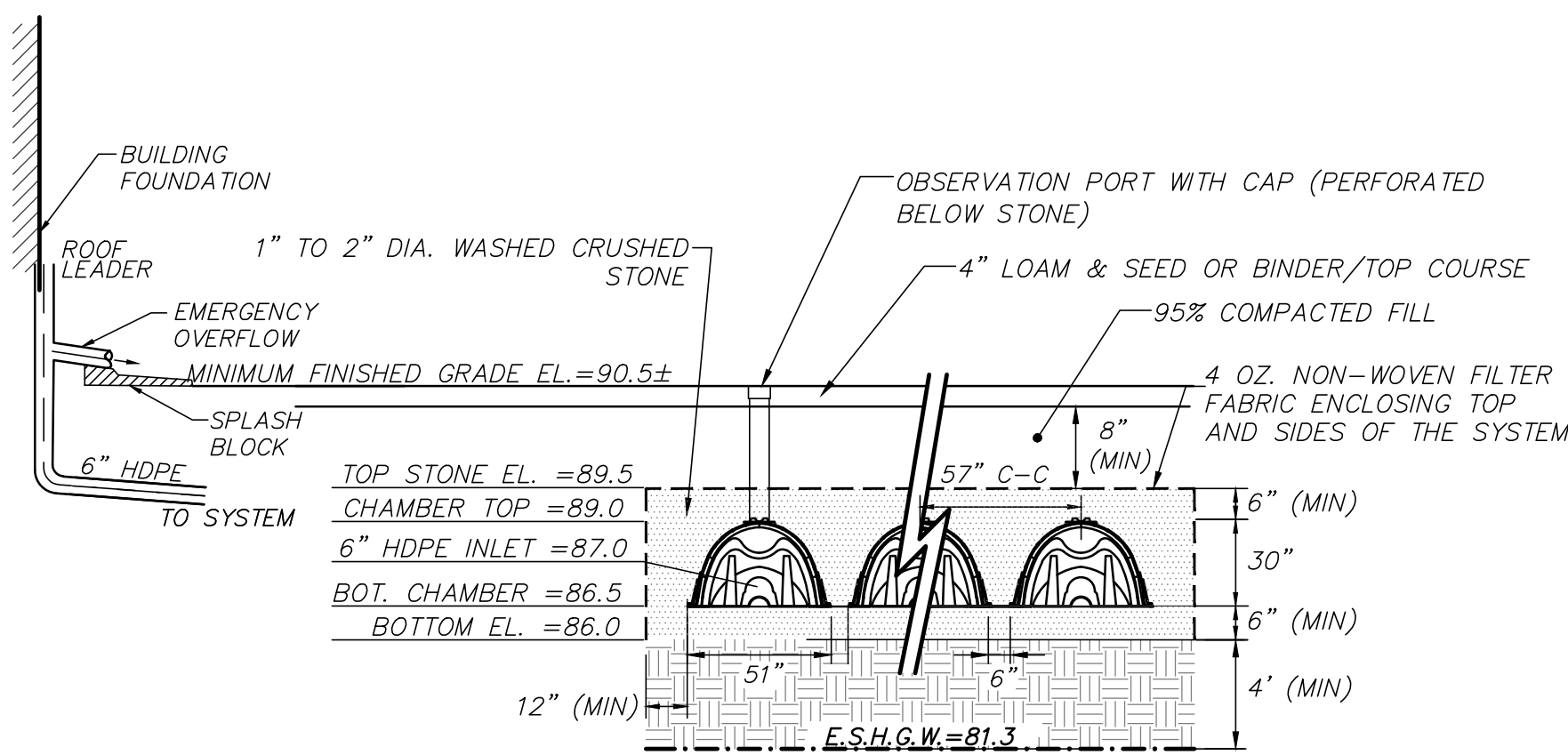


**PATRIOT Engineering**  
 35 BEDFORD STREET, SUITE 4  
 LEXINGTON, MASSACHUSETTS 02420  
 T: (978) 726-2654  
 www.patriot-eng.com

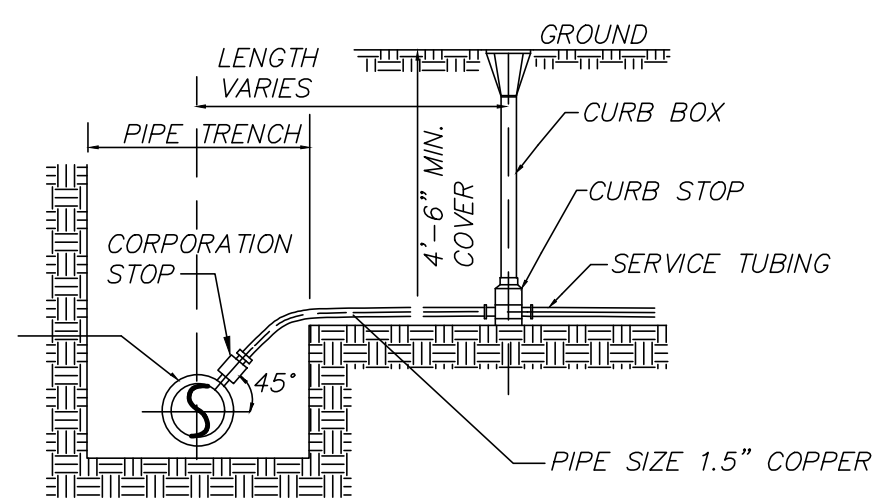
**SITE CONSTRUCTION PLAN**  
 LOCATED IN  
 ARLINGTON, MA  
 (MIDDLESEX COUNTY)  
 PREPARED FOR  
 MAJ INVESTMENT, LLC



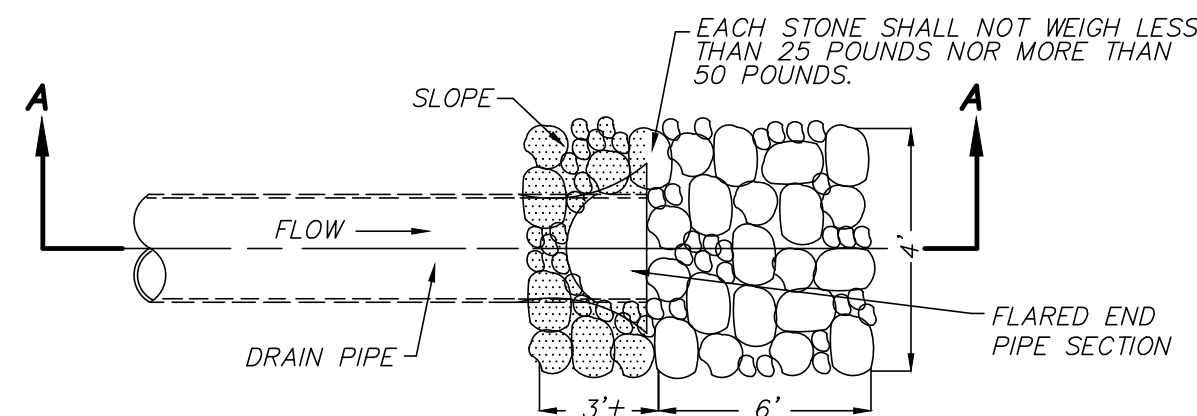




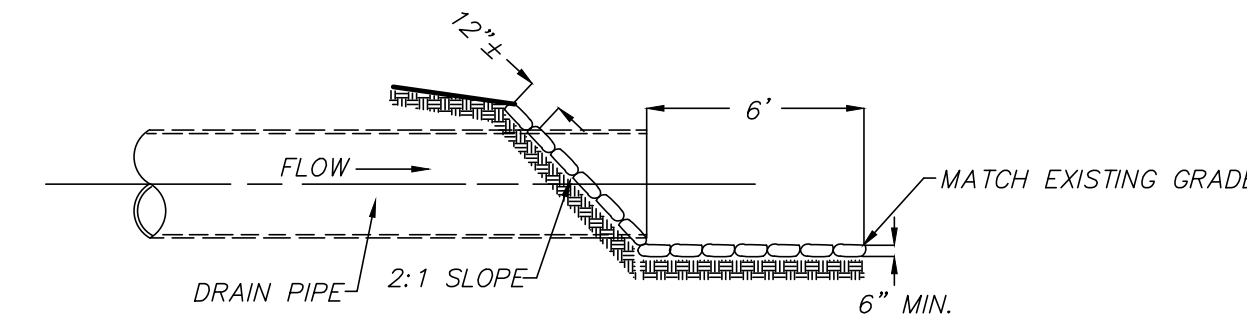
**PROPOSED SUBSURFACE INFILTRATION SYSTEM (PSIS)**  
(CROSS SECTION)  
(NOT TO SCALE)



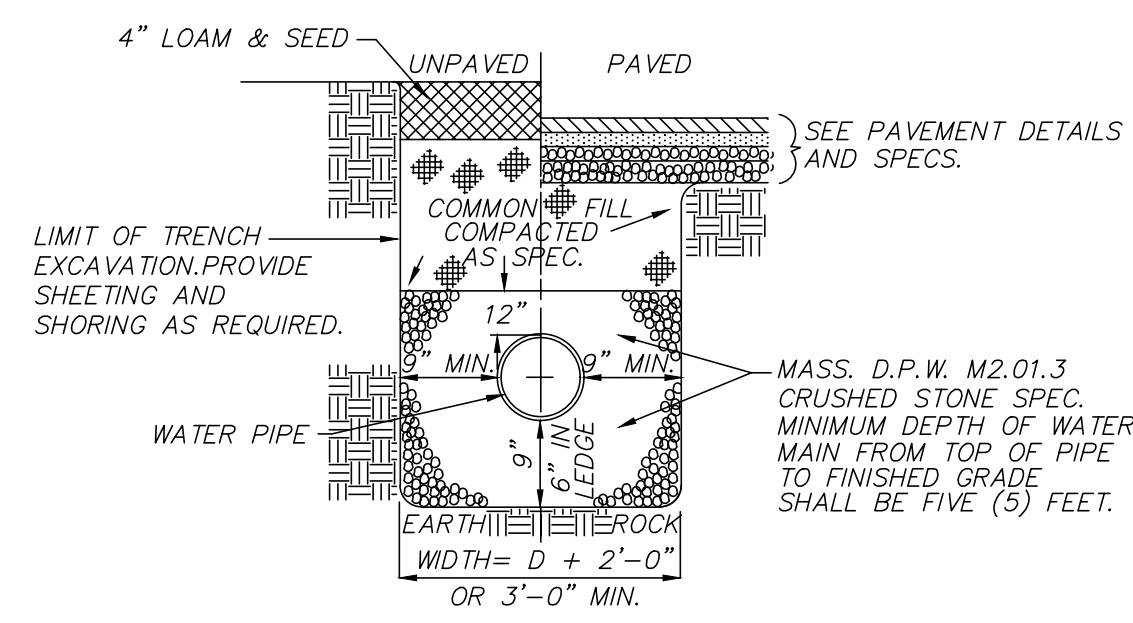
**TYPICAL WATER SERVICE**  
(NOT TO SCALE)



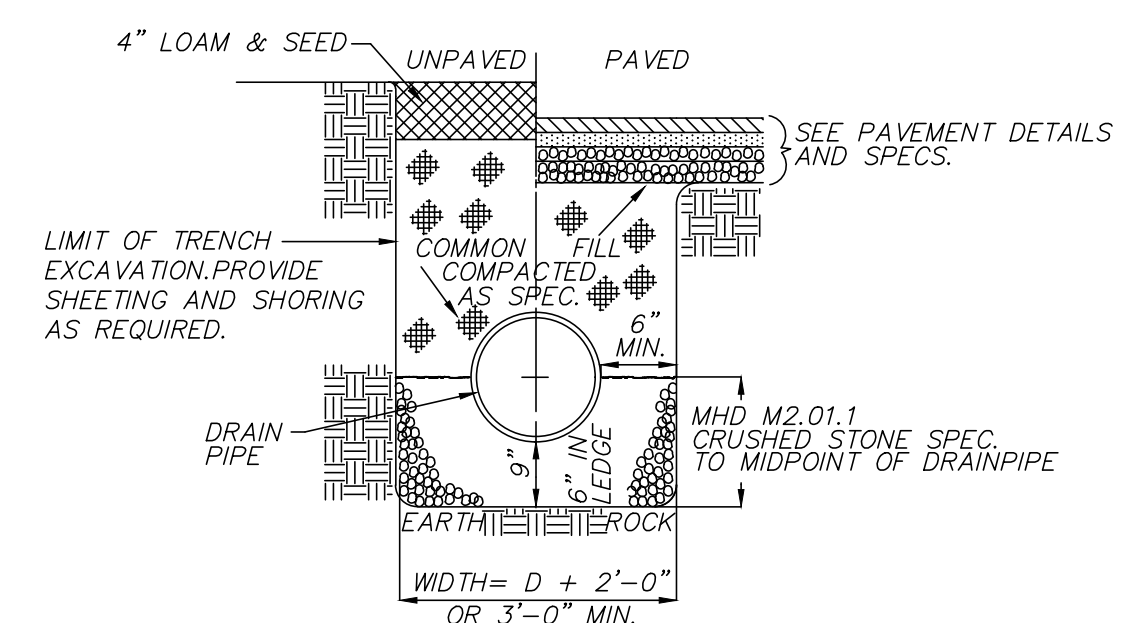
**PLAN VIEW**



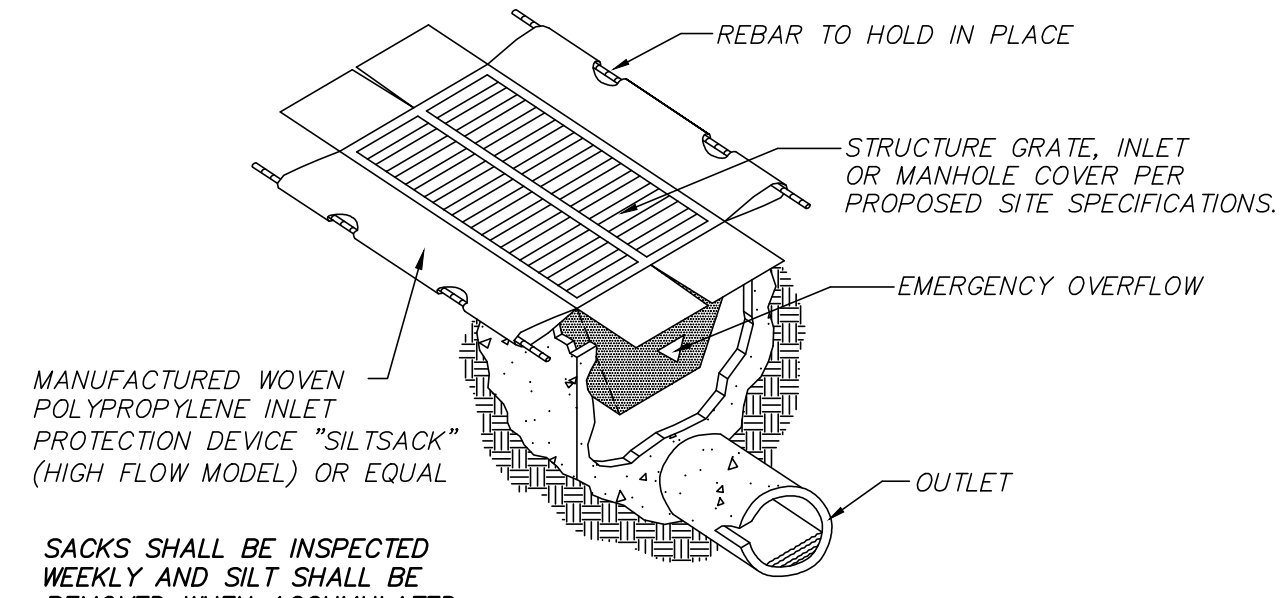
**RIPRAP OUTLET APRON DETAIL**  
(NOT TO SCALE)



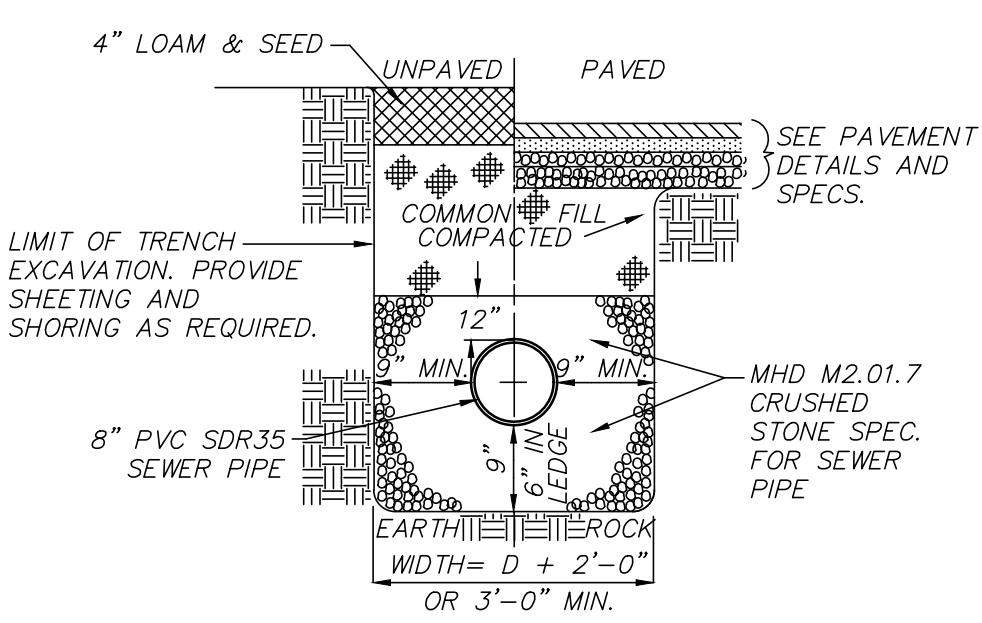
**WATER TRENCH**  
(NOT TO SCALE)



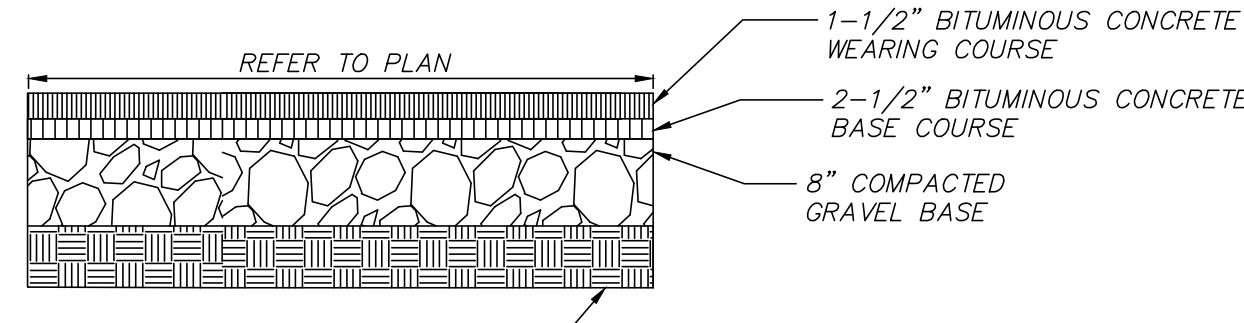
**PROPOSED DRAIN PIPE TRENCH DETAIL**  
(NOT TO SCALE)



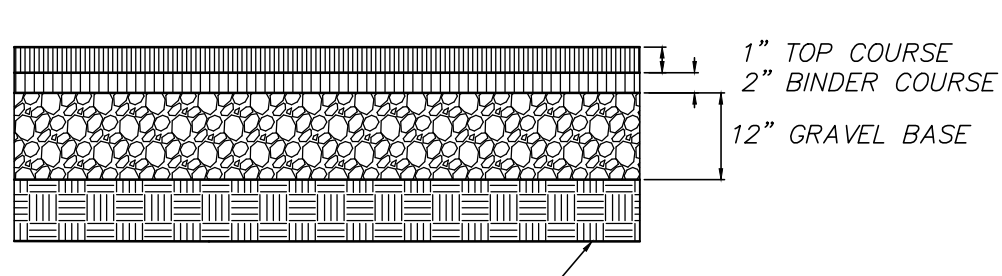
**SILTSACK DETAIL**  
(NOT TO SCALE)



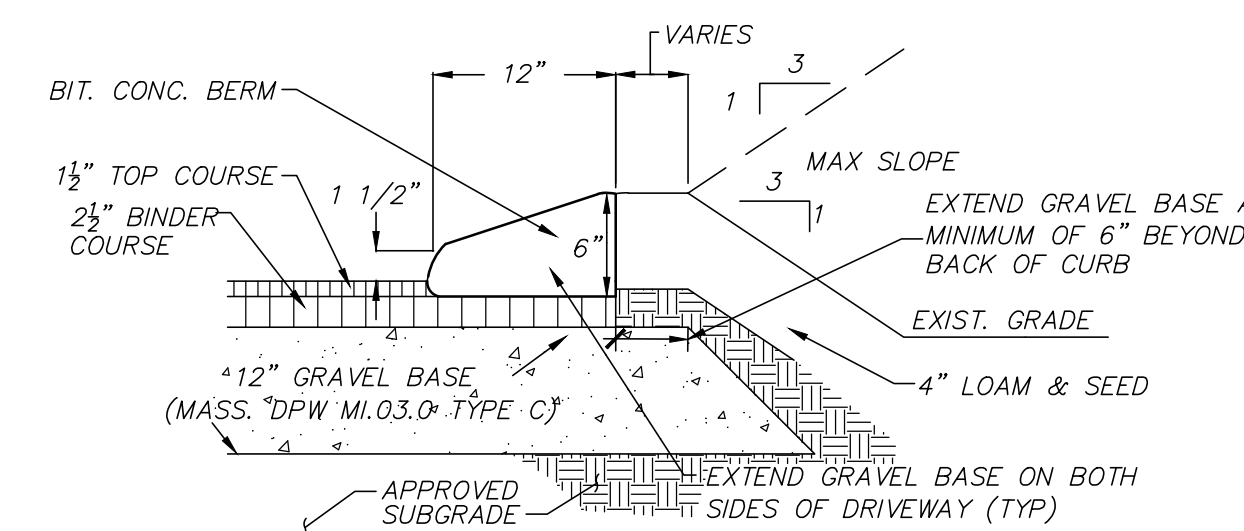
**GRAVITY SEWER TRENCH DETAIL**  
(NOT TO SCALE)



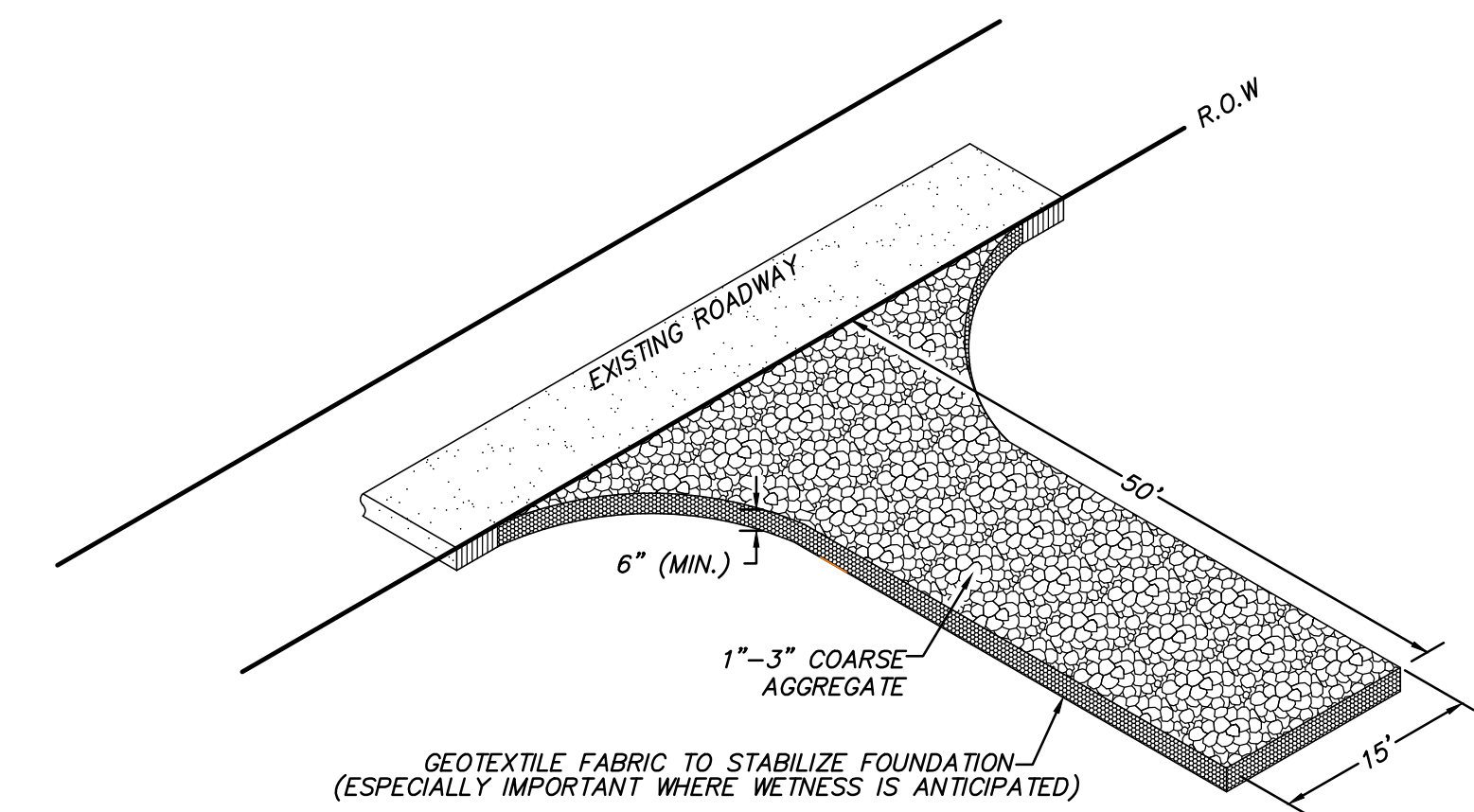
**BITUMINOUS CONCRETE WALKWAY**  
(NOT TO SCALE)



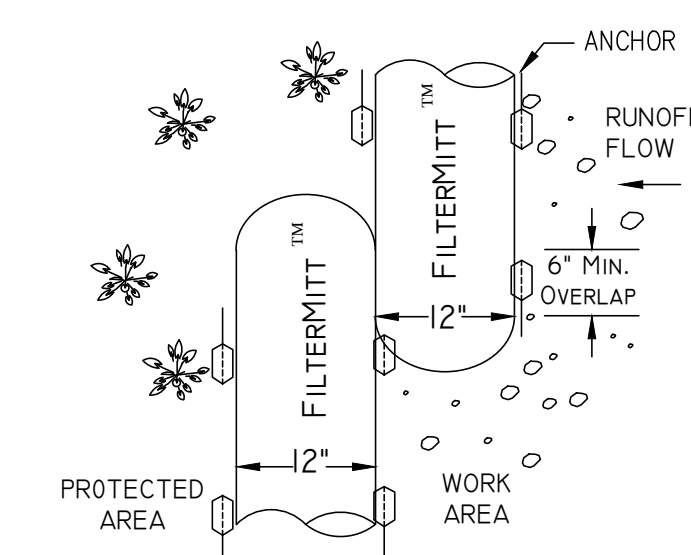
**BITUMINOUS CONCRETE PAVEMENT SECTION**  
(NOT TO SCALE)



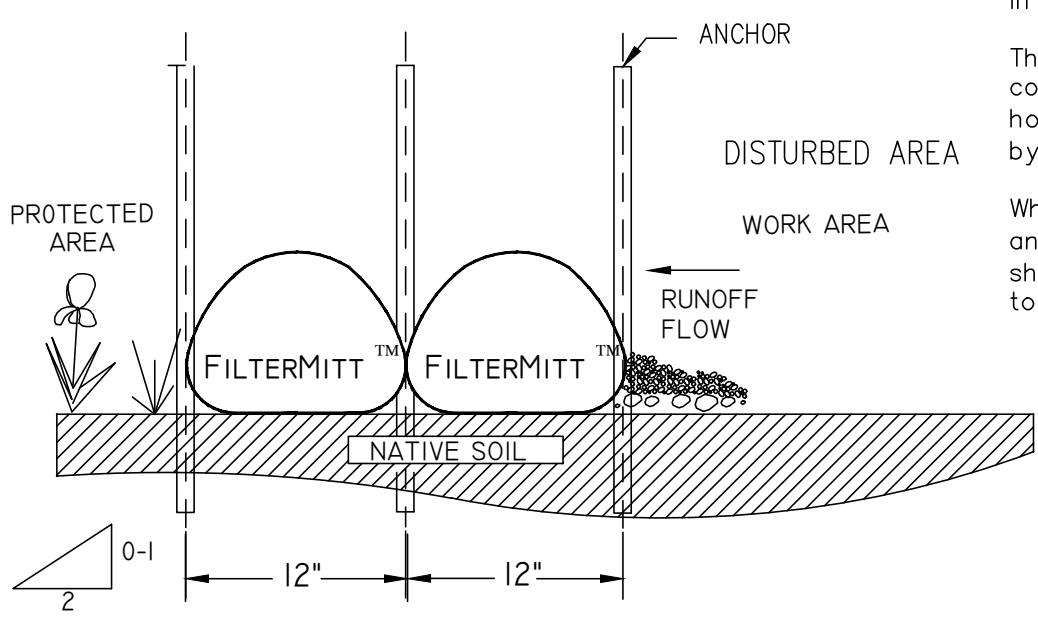
**PROPOSED CAPE COD BERM**  
(NOT TO SCALE)



**CONSTRUCTION TRACKING ENTRANCE/EXIT PAD**  
(NOT TO SCALE)



**FILTERMITT TOP VIEW**



**FILTERMITT SECTION VIEW**

**FILTERMITT DETAIL**  
(NOT TO SCALE)

**FilterMitt™ COMPONENTS:**  
OUTSIDE CASING: 100% organic hessian.  
FILLER INGREDIENT: *FiberRoot Mulch™*  
• A blend of coarse and fine compost and shredded wood.  
• Particle sizes: 100% passing a 3" screen; 90-100% passing a 1" screen; 70-100% passing a 0.75" screen; 30-75% passing a 0.25" screen.  
• Weight: Approx. 850 lbs./cu.yd. (Ave. 30 lbs./1.1.)

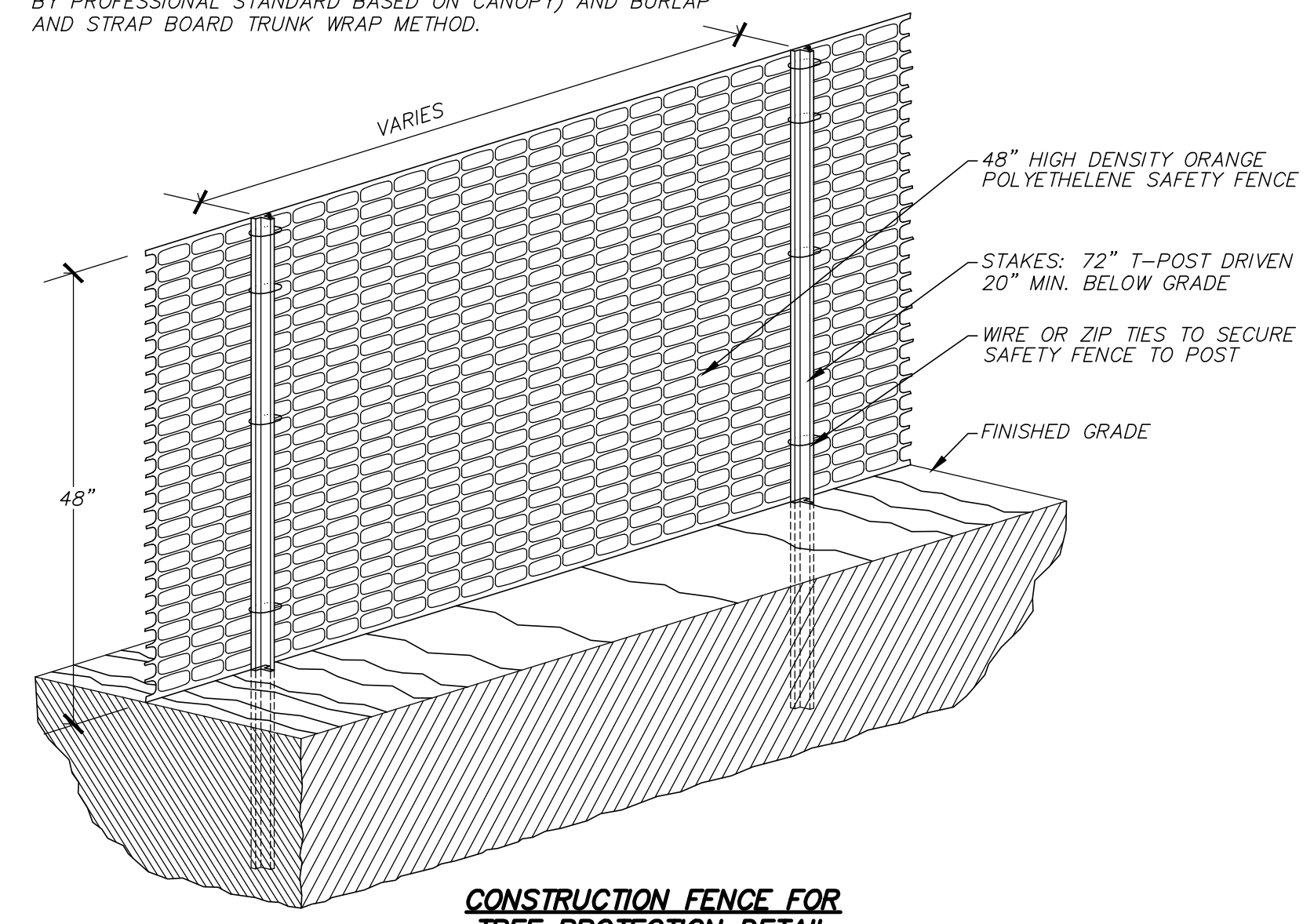
**FilterMitt™ INSTALLATION:**  
With the newest technology and equipment, sections can be constructed on site in lengths from 1' to 100'.

Sections can also be delivered to the site in lengths from 1' to 8'.

The flexibility of *FilterMitt™* allows it to conform to any contour or terrain while holding a slightly oval shape at 12" high by 18" wide.

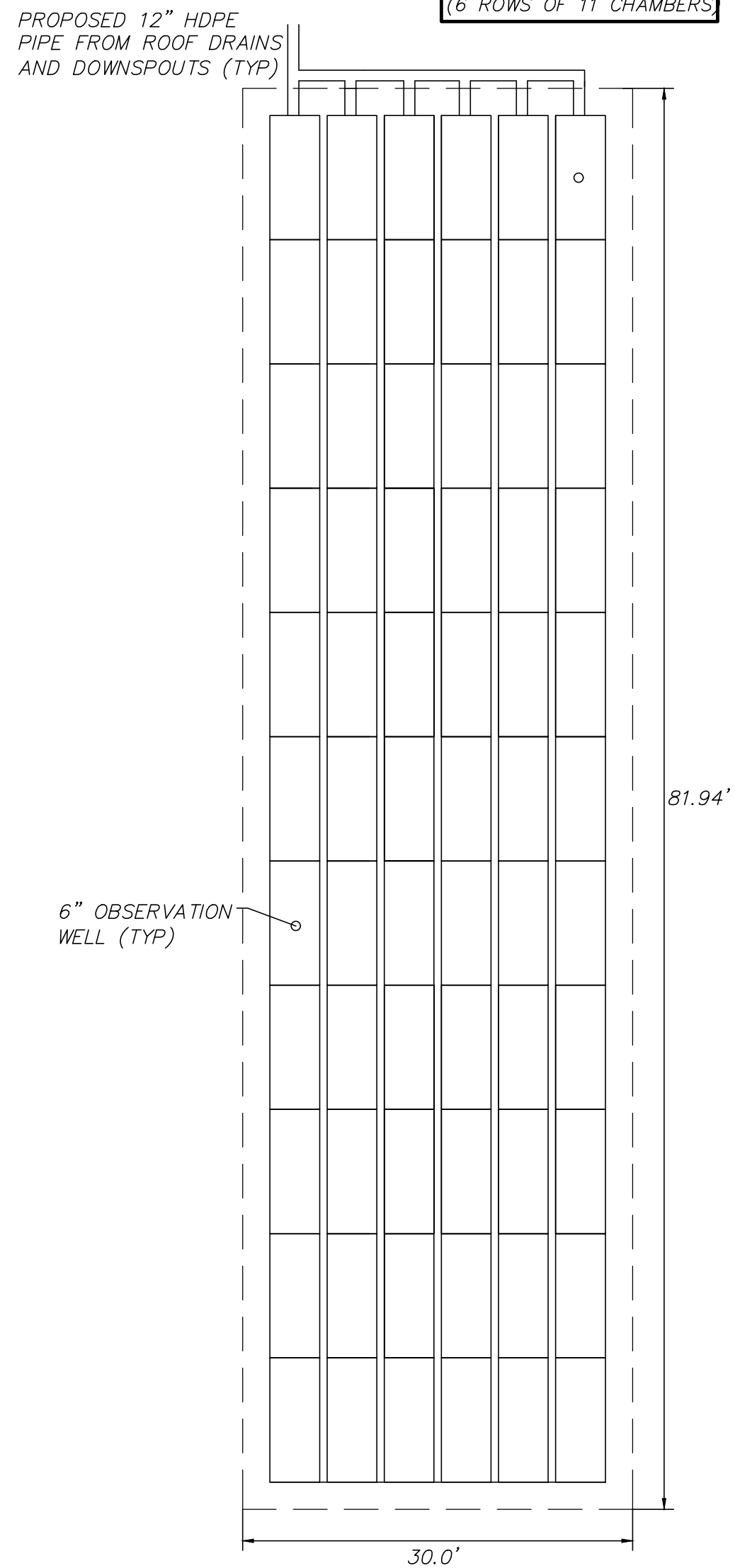
Where section ends meet, there shall be an overlap of 6" or greater. Both sides shall be anchored (rock stakes, trees, etc.) to stabilize the union.

**NOTE:**  
1. EXISTING TREES TO BE SAVED SHALL BE PROTECTED WITH ORANGE CONSTRUCTION FENCE (OFF-SET FROM THE TREE TRUNK BY PROFESSIONAL STANDARD BASED ON CANOPY) AND BURLAP AND STRAP BOARD TRUNK WRAP METHOD.



**CONSTRUCTION FENCE FOR TREE PROTECTION DETAIL**  
(NOT TO SCALE)

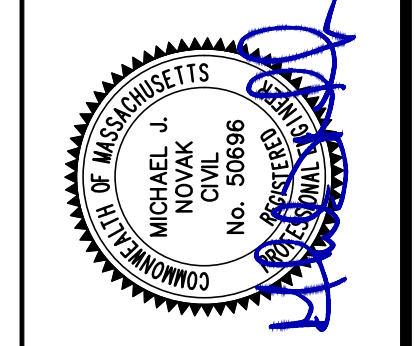
66 STORMTECH SC-740 CHAMBERS (6 ROWS OF 11 CHAMBERS)



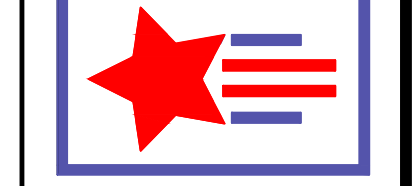
**PROPOSED SUBSURFACE INFILTRATION SYSTEM (PSIS)**  
(PLAN VIEW)  
(NOT TO SCALE)

1021 & 1025 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS  
DATE: 4-27-2022  
PROJECT No: 21-32

REVISIONS	DESCRIPTION
DATE	BY

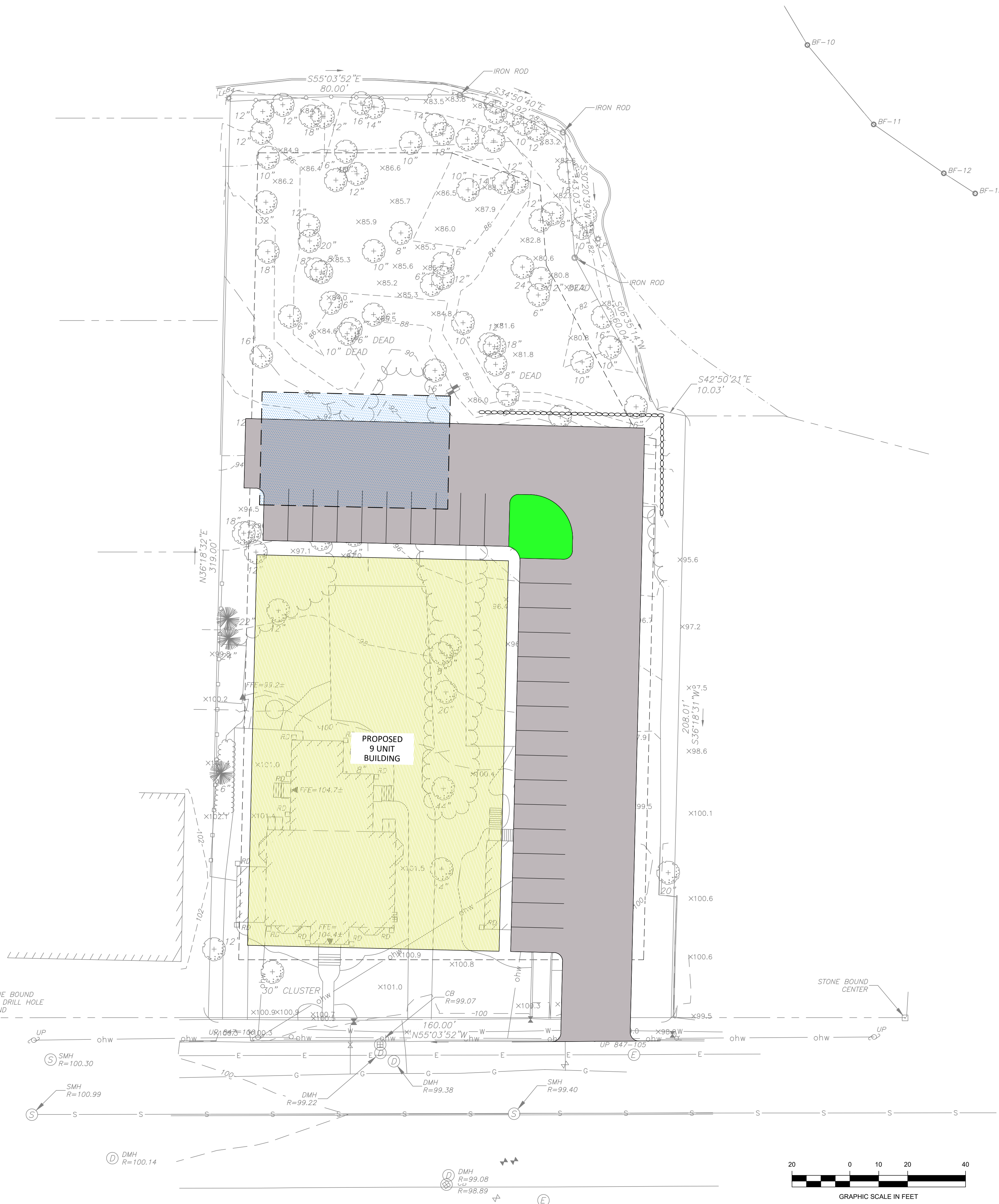
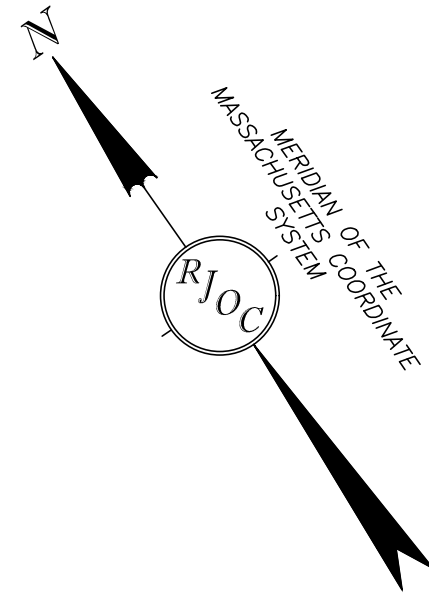


**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
T: (978) 726-2654  
www.patriot-eng.com



SITE DETAILS  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC





**NOTES:**

1. THE PURPOSE OF THIS PLAN IS TO SHOW THE EXISTING SITE CONDITIONS, AS THEY EXISTED AT THE TIME OF THE FIELD SURVEY, OF THE LOCUS PARCEL FOR DESIGN PURPOSES. THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS BY R. J. O'CONNELL & ASSOCIATES (RJO).
2. UNDERGROUND UTILITIES SHOWN ARE FROM OBSERVED SURFACE INDICATIONS, SUBSURFACE INDICATIONS, AND COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. AS OF THE DATE OF THIS SURVEY, NO INFORMATION REGARDING RECORD UTILITIES HAS BEEN PROVIDED BY ELECTRIC AND GAS PROVIDERS. BEFORE CONSTRUCTION CALL "DIG SAFE" 811.
3. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83). THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). DATUMS WERE ESTABLISHED USING RTK GPS METHODS.
4. THE POSITIONAL ACCURACY OF THE DATA AND PHYSICAL IMPROVEMENTS ON THIS PLAN MAY BE APPROXIMATE. ANY USE OF ELECTRONIC DATA CONTAINED IN AUTOCAD VERSIONS OF THIS PLAN TO GENERATE COORDINATES OR DIMENSIONS NOT SHOWN ON THE PLAN IS NOT AUTHORIZED.
5. EDGE OF BANK-MEAN ANNUAL HIGH WATER LINE WAS DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC. ON OCTOBER 15, 2021 AND WAS LOCATED IN THE FIELD BY TOTAL STATION METHODS ON THE SAME DAY BY RJ O'CONNELL & ASSOCIATES.
6. CONTOUR INTERVAL IS TWO FOOT (2').

**LEGEND**

(NOT ALL FEATURES CONTAINED IN THIS LEGEND APPEAR ON THE PLAN)

---	BOUNDARY LINE
---	ABUTTING PROPERTY LINE
S	SEWER SERVICE
D	DRAIN SERVICE
W	WATER SERVICE
G	GAS LINE
E	ELECTRIC LINE
T	TELEPHONE LINE
ohw	OVERHEAD WIRES
X	CHAIN LINK FENCE
---	STOCKADE FENCE
---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR
⊕	UTILITY POLE
⊙	LIGHT POLE
⊕	ELECTRIC HAND HOLE
⊕	CABLE MANHOLE
⊕	SEWER MANHOLE
⊕	DRAIN MANHOLE
⊕	CATCH BASIN
⊕	WATER VALVE
⊕	FIRE HYDRANT
⊕	SPRINKLER CONNECTION
⊕	POST INDICATOR VALVE
⊕	BOLLARD
⊕	GAS METER
⊕	GAS VALVE
⊕	ROOF DRAIN
⊕	AREA DRAIN
⊕	IRRIGATION CONTROL VALVE
⊕	SPOT GRADE
⊕	TEST PIT
PSIS	PROPOSED SUBSURFACE INFILTRATION SYSTEM
⊕	PROPOSED FILTERMITT
⊕	PROPOSED TREELINE
TYP	TYPICAL
PFE	PROPOSED FLARED END
INV.	INVERT
CC	CONCRETE CURB
VGC	VERTICAL GRANITE CURB
BCB	BITUMINOUS CONCRETE CURB
HC	HANDICAP
HPDE	HIGH DENSITY POLYETHYLENE
CONC.	CONCRETE
LSA	LANDSCAPE AREA
⊕	DOOR
⊕	SIGN
⊕	PARKING COUNT / COMPACT NUMBER
⊕	DECIDUOUS TREE
⊕	CONIFEROUS TREE
(REC)	FROM RECORD PLANS
⊕	RETAINING WALL
⊕	DETECTABLE WARNING PAD
99x5	PROPOSED SPOT GRADE
⊕	PROPOSED CONTOUR
⊕	PROPOSED CONTOUR
⊕	TREE PROPOSED TO BE REMOVED
---	LIMIT OF RIVERFRONT AREA
---	PROPOSED SEWER SERVICE
---	PROPOSED WATER SERVICE
---	PROPOSED DRAIN LINE

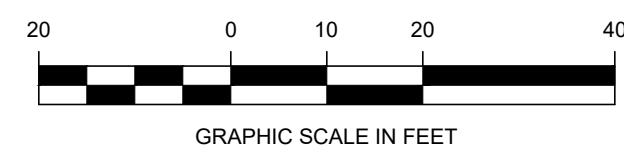
1021 & 1025 MASSACHUSETTS AVENUE  
ARLINGTON, MA  
DATE: 4-27-2022  
PROJECT No: 21-32

REVISIONS	DATE	BY	DESCRIPTION

BY RITE SITE PLAN  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC

**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
T: (978) 726-2654  
www.patriot-eng.com

BY RITE SITE PLAN  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC





**NOTES TO USERS**

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the **Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations** tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

**Coastal Base Flood Elevations** shown on this map apply only landward of 0.1° National North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Massachusetts State Plane - Mianland zone (FIPS ZONE 2001), meters. The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or State Plane zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services  
NOAA, NNGS12  
National Geodetic Survey  
SSMC-3, #5202  
1315 East-West Highway  
Silver Spring, Maryland 20910-3282  
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

**Base map** information shown on this FIRM was provided in digital format by the Office of Geographic and Environmental Information (MassGIS), Commonwealth of Massachusetts, Executive Office of Energy and Environmental Affairs. This information was derived from digital orthophotos produced at a scale of 1:5,000 from aerial photography dated April 2005.

This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

**Corporate limits** shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9516 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA-MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.



**LEGEND**

**SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include zones A, AE, AH, AO, AR, A99, V, and VE. The base flood elevation is the water-surface elevation of the 1% annual chance flood.

**ZONE A** No Base Flood Elevations determined.

**ZONE AE** Base Flood Elevations determined.

**ZONE AH** Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

**ZONE AD** Flood depths of 1 to 3 feet (usually street flow on sloping terrain); average depths determined. For areas of unusual fan flooding, velocities also determined.

**ZONE AR** Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently determined. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

**ZONE A99** Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

**ZONE V** Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

**ZONE VE** Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

**FLOODWAY AREAS IN ZONE AE**

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

**OTHER FLOOD AREAS**

**ZONE X** Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

**OTHER AREAS**

**ZONE X** Areas determined to be outside the 0.2% annual chance floodplain.

**ZONE D** Areas in which flood hazards are undetermined, but possible.

**COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS**

**OTHERWISE PROTECTED AREAS (OPAs)**

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary  
0.2% annual chance floodplain boundary  
Floodway boundary  
Zone D boundary  
CBRS and OPA boundary  
Boundary dividing Special Flood Hazard Area Zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.  
Base Flood Elevation line and value; elevation in feet\*  
Base Flood Elevation value where uniform within zone; elevation in feet\*

\* Referenced to the North American Vertical Datum of 1988

— Cross section line  
--- Transverse line  
--- Geographic coordinates referenced to the North American Datum of 1983 (NAD 83), Western Hemisphere  
1000-meter Universal Transverse Mercator grid values, zone 19  
5000-foot grid values; Massachusetts State Plane coordinate system; Mianland zone (FIPS ZONE 2001), Lambert Conformal Conic projection  
Bench mark (see explanation in Notes to Users section of this FIRM panel)  
• MI.5 River Mile

MAP REPOSITORY  
Refer to listing of Map Repositories on Map Index

EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP: June 4, 2010

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL:

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6633.

(SCALE 1" = 600')

**NATIONAL FLOOD INSURANCE PROGRAM**

PANEL 0416E

**FIRM**  
FLOOD INSURANCE RATE MAP

MIDDLESEX COUNTY,  
MASSACHUSETTS  
(ALL JURISDICTIONS)

PANEL 416 OF 656  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS	COMMUNITY	NUMBER	PANEL	SUFFIX
	ARLINGTON, TOWN OF	250177	0416	
	BEAUMONT, TOWN OF	250182	0416	
	LEXINGTON, TOWN OF	250198	0416	
	WINCHESTER, TOWN OF	250228	0416	

Notice to User: The Map Number shown below should be used when placing map orders. The Community Number shown above should be used on insurance applications for the subject community.

**MAP NUMBER**  
25017C0416E

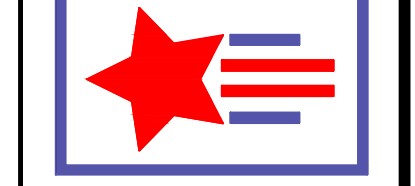
**EFFECTIVE DATE**  
JUNE 4, 2010

Federal Emergency Management Agency

1021 & 1025 MASSACHUSETTS AVENUE  
ARLINGTON, MASSACHUSETTS  
DATE: 4-27-2022  
PROJECT No: 21-32

REVISIONS	DESCRIPTION
DATE	BY

**PATRIOT Engineering**  
35 BEDFORD STREET, SUITE 4  
LEXINGTON, MASSACHUSETTS 02420  
T: (978) 726-2654  
www.patriot-eng.com



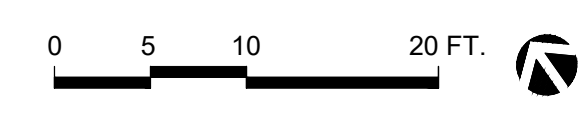
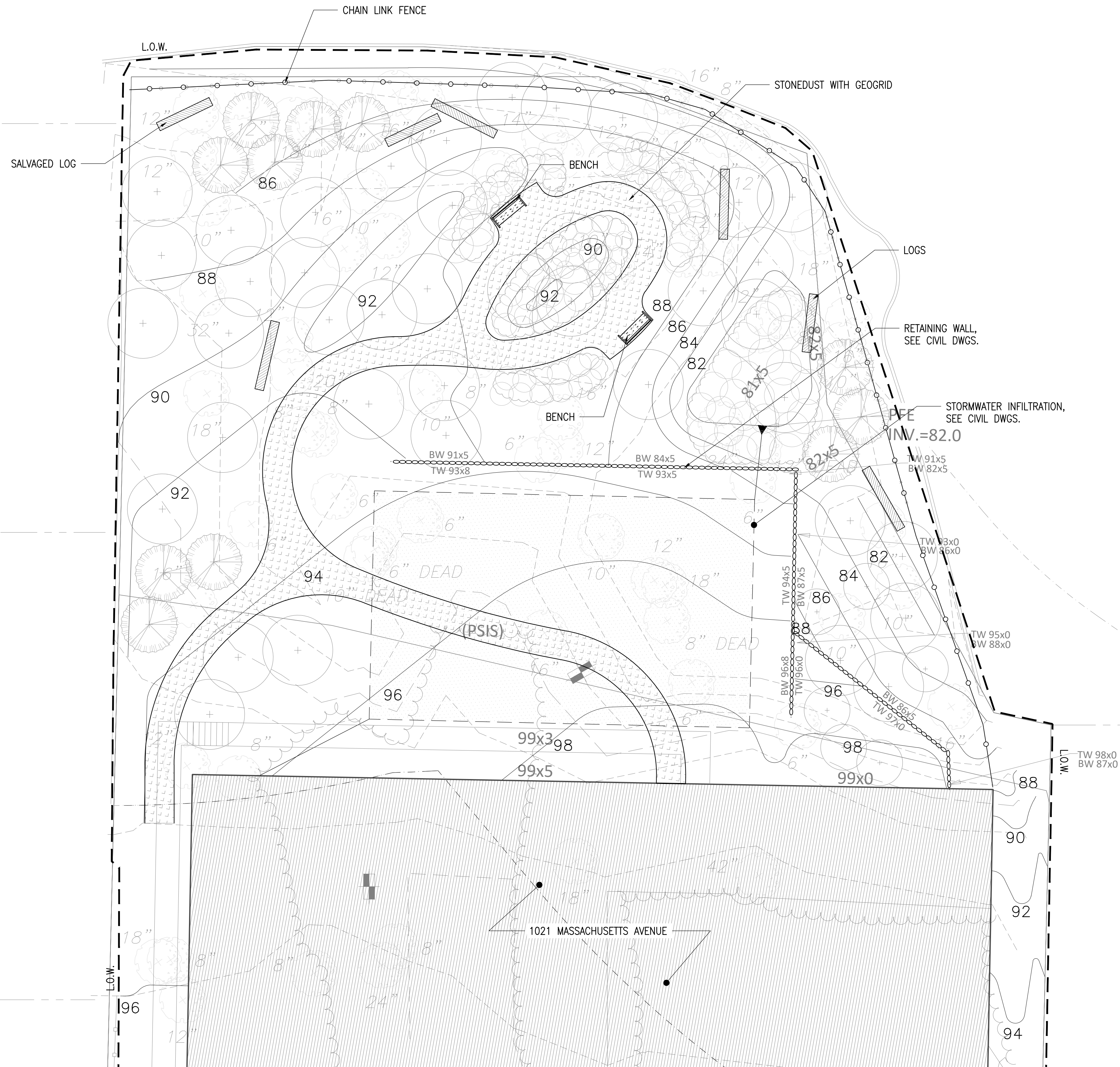
FEMA FLOOD MAP  
LOCATED IN  
ARLINGTON, MA  
(MIDDLESEX COUNTY)  
PREPARED FOR  
MAJ INVESTMENT, LLC





LEGEND

— L.O.W. — LIMIT OF WORK LINE



1021 MASSACHUSETTS AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

NO.	REVISION	DATE

**kzla**  
 Kyle Zick Landscape Architecture, Inc.  
 36 Bronnfield Street Suite 202 Boston, MA 02108 617 451-1018 Tel www.kyiezick.com

DRAFT CONSTRUCTION DOCUMENT SET

Job Number:  
 Project: ARLINGTON RES.  
 Drawn By: YL Checked By: KZ  
 Date: APRIL 08, 2022  
 Scale: 1"=10'-0"  
 Drawing Title:

LAYOUT AND MATERIAL PLAN

L2



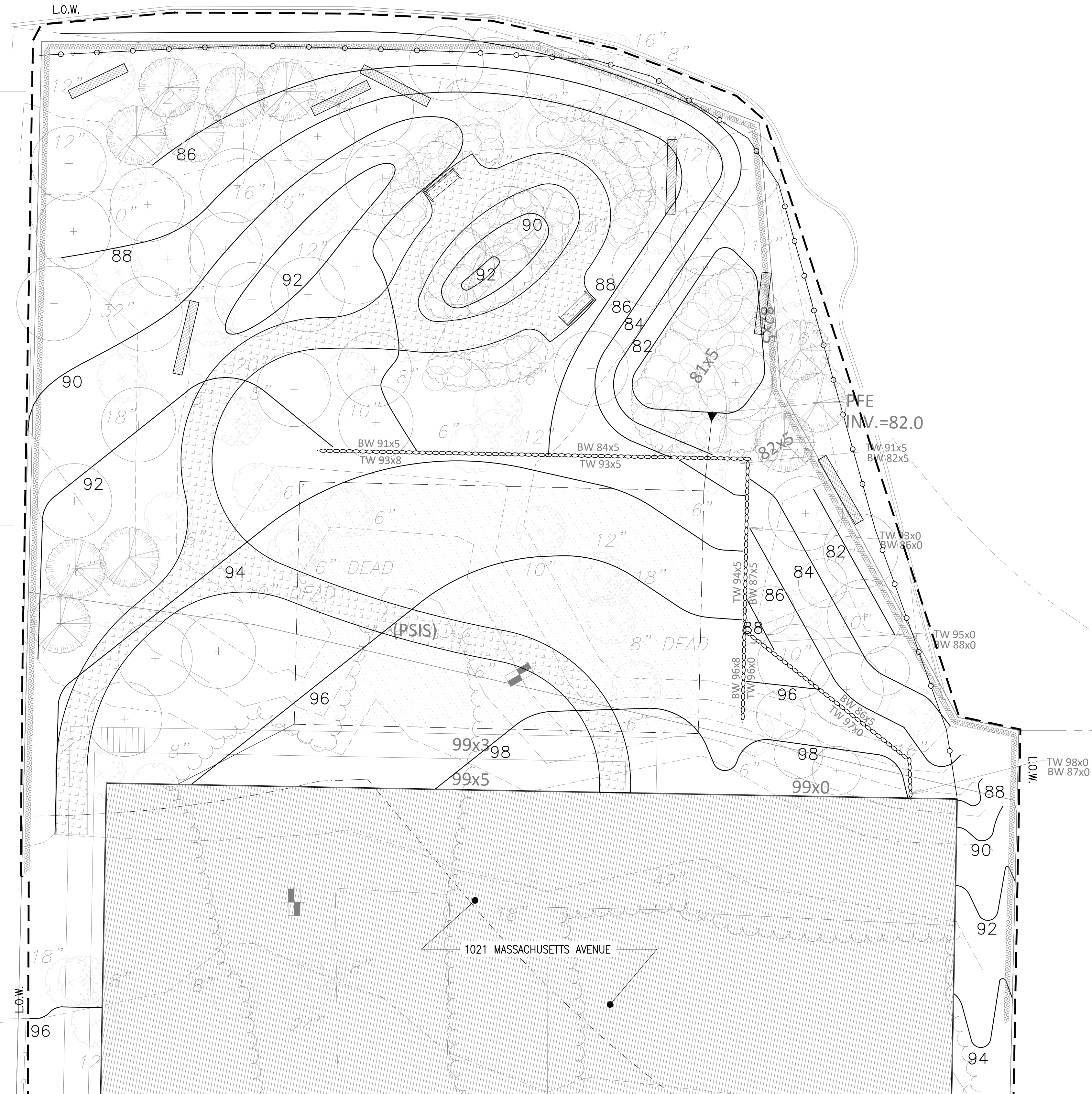
1021  
MASSACHUSETTS  
AVENUE

ARLINGTON, MASSACHUSETTS

XXXXXX

LEGEND

- L.O.W. - LIMIT OF WORK LINE
- 88 PROPOSED CONTOUR, TYP.
- 90 EXISTING CONTOUR, TYP.



NO.	REVISION	DATE

**kzla**  
Kylie Zick Landscape Architecture, Inc.  
36 Bronnfield Street Suite 202 Boston, MA 02108 617 451-1018 Tel www.kyiezick.com

DRAFT CONSTRUCTION  
DOCUMENT SET

Job Number:  
Project: ARLINGTON RES.  
Drawn By: YL Checked By: KZ  
Date: APRIL 08, 2022  
Scale: 1"=10'-0"  
Drawing Title:

GRADING PLAN

L3



LEGEND

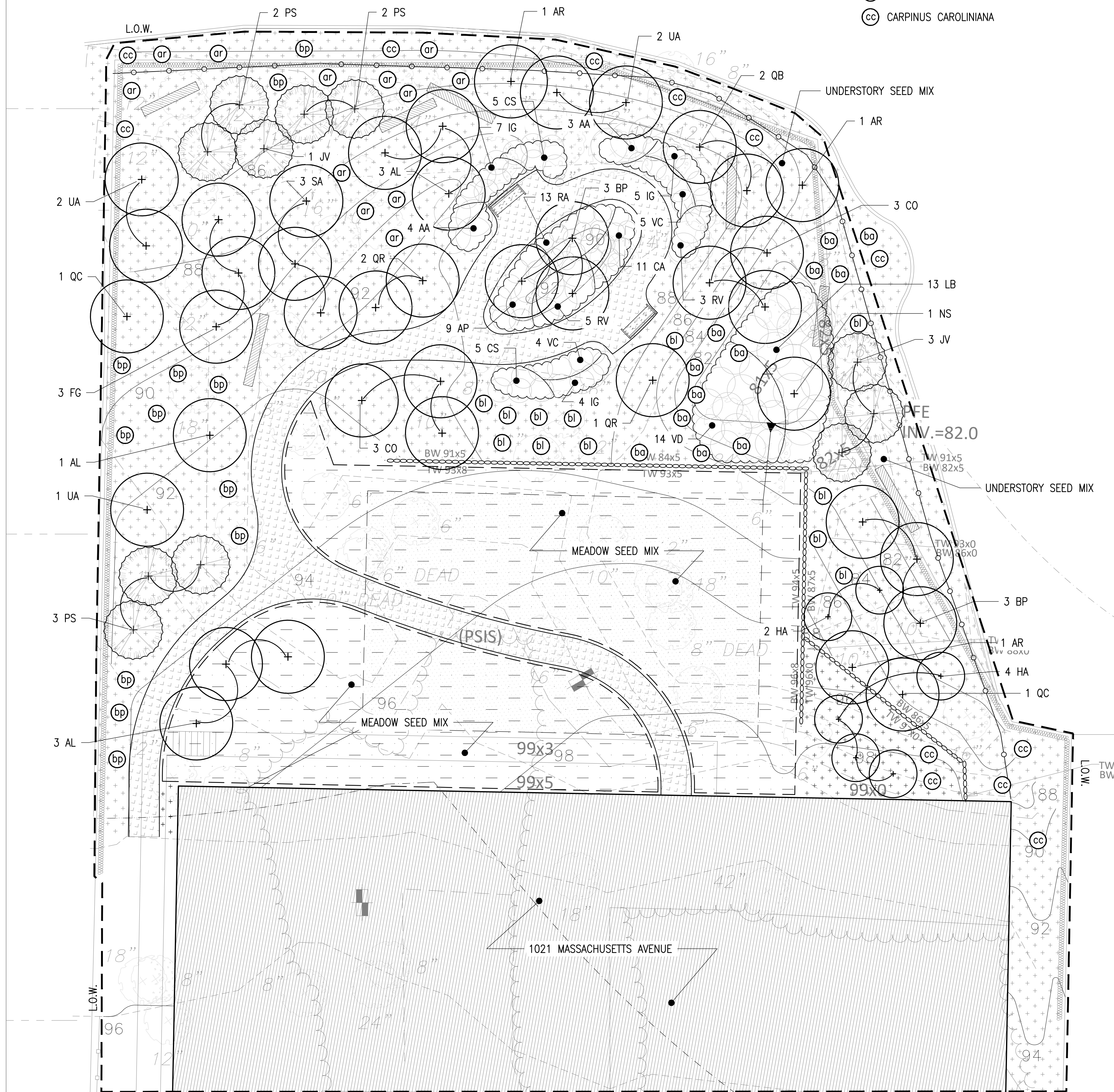
- L.O.W. - LIMIT OF WORK LINE
- + DECIDUOUS TREE, TYP.
- - EVERGREEN TREE, TYP.
- ▨ MEADOW SEED MIX
- ▨ NEW ENGLAND SHOWY WILDFLOWER MIX
- ▨ UNDERSTORY SEED MIX
- ▨ NEW ENGLAND ROADSIDE MATRIX UPLAND SEED MIX
- ⊞ SHRUBS/PERENNIALS

TREE SEEDLINGS

- ⊞ AR ACER RUBRUM
- ⊞ BA BETULA ALLEGHANIENSIS
- ⊞ BL BETULA LENTA
- ⊞ BP BETULA POPULIFOLIA
- ⊞ CC CARPINUS CAROLINIANA

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES:
<b>DECIDUOUS TREES</b>						
AR	3	ACER RUBRUM	RED MAPLE	2" CAL.	-	SPRING DIG ONLY
AL	7	AMELANCHIER CANADENSIS L. MEDIK.	SHADBLOW SERVICEBERRY	12' HT.	-	MULTI-STEM
BP	6	BETULA Papyrifera	PAPER BIRCH	12' HT.	-	MULTI-STEM
CO	6	CARYA OVATA	SHAGBARK HICKORY	1" CAL.	-	-
FG	3	FAGUS GRANDIFLORA	AMERICAN BEECH	1" CAL.	-	SPRING DIG ONLY
HA	6	HAMAMELUS X INTERMEDIA 'ARNOLD PROMISE'	WITCHHAZEL	8" B&B	-	CLUMP FORM
NS	1	NYSSA SYLVATICA	SOURGUM	2" CAL.	-	SPRING DIG ONLY
QB	2	QUERCUS BICOLOR	SWAMP WHITE OAK	2" CAL.	-	SPRING DIG ONLY
QC	2	QUERCUS COCCINEA	SCARLET OAK	2" CAL.	-	SPRING DIG ONLY
QR	3	QUERCUS RUBRA	RED OAK	2" CAL.	-	SPRING DIG ONLY
SA	3	SASSAFRAS ALBIDUM	SASSAFRAS	1" CAL.	-	-
UA	5	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2" CAL.	-	SPRING DIG ONLY
<b>TREE SEEDLINGS</b>						
ar	12	ACER RUBRUM	RED MAPLE	4" HT.	-	-
ba	12	BETULA ALLEGHANIENSIS	YELLOW BIRCH	4" HT.	-	-
bl	12	BETULA LENTA	SWEET BIRCH	4" HT.	-	-
bp	12	BETULA POPULIFOLIA	GRAY BIRCH	4" HT.	-	-
cc	12	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	4" HT.	-	-
<b>EVERGREEN TREES</b>						
JV	4	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	6" HT.	-	-
PS	7	PINUS STROBUS	EASTERN WHITE PINE	6" HT.	-	-
<b>SHRUBS</b>						
AA	7	ARONIA ARBUTIFOLIA	RED CHOKEBERRY	36" HT.	5'-0" O.C.	-
AP	9	AESCULUS PARVIFLORA	BOTTLEBRUSH BUCKEYE	36" HT.	4'-0" O.C.	-
CA	11	CLETHRA ALNIFOLIA	SUMMERSWEET	24" HT.	3'-0" O.C.	-
CS	10	CORNUS SERICEA	REDTWIG DOGWOOD	36" HT.	4'-0" O.C.	-
IG	16	ILEX GLABRA	INKBERRY	3 GAL.	4'-0" O.C.	-
LB	13	LINDERA BENZOIN	SPICEBUSH	36" HT.	6'-0" O.C.	-
RA	13	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	24" SPREAD	3'-0" O.C.	-
RV	8	ROSA VIRGINIANA	VIRGINIA ROSE	36" HT.	5'-0" O.C.	-
VC	9	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	24" HT.	4'-0" O.C.	-
VD	14	VIBURNUM DENTATUM	ARROWWOOD	36" HT.	5'-0" O.C.	-



NO.	REVISION	DATE

**kzla**  
 Kyle Zick Landscape Architecture, Inc.  
 36 Bronfield Street Suite 202  
 Boston, MA 02108  
 617 451-1018 Tel  
 www.kyzezick.com

DRAFT CONSTRUCTION DOCUMENT SET

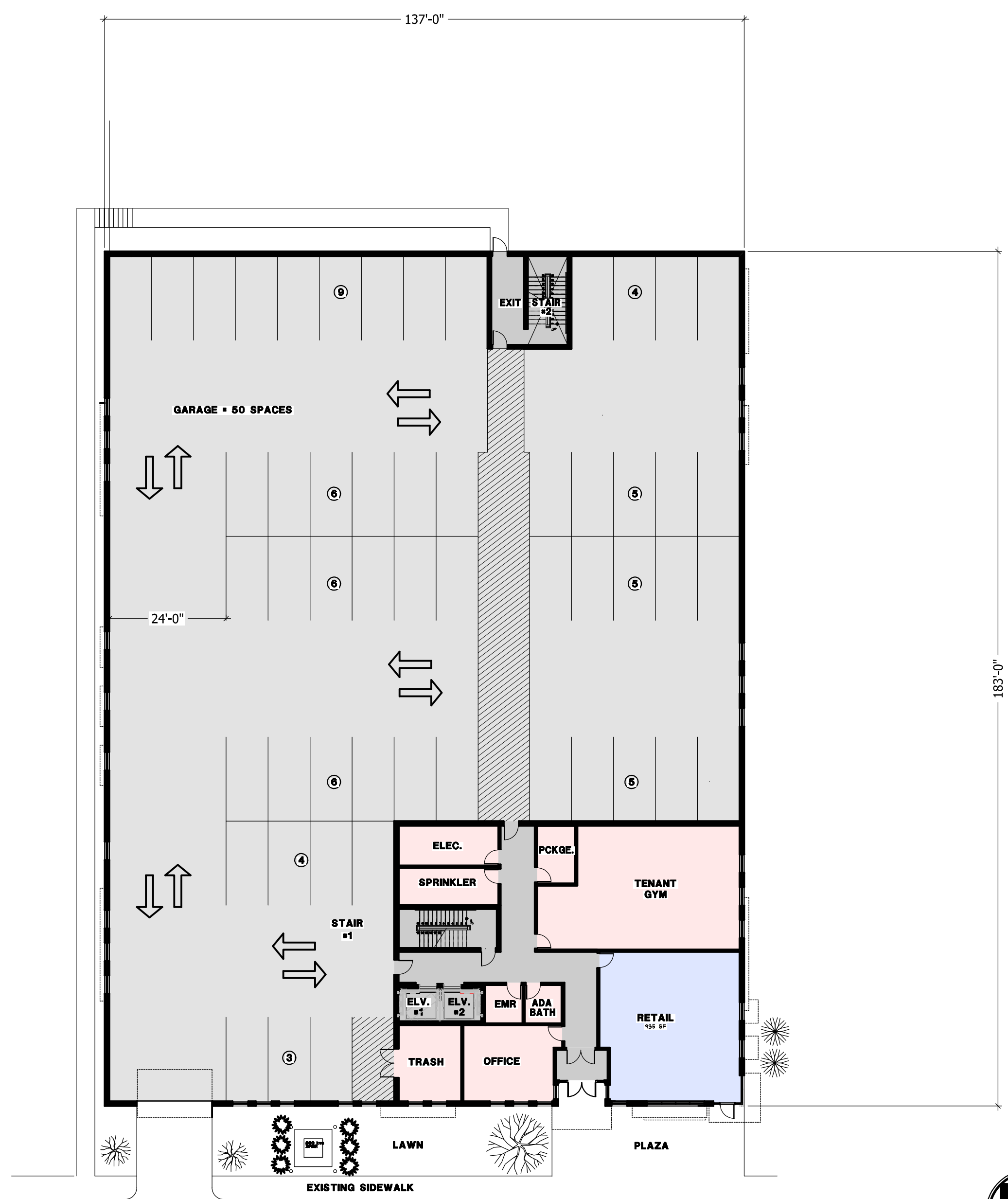
Job Number:  
 Project: ARLINGTON RES.  
 Drawn By: YL      Checked By: KZ  
 Date: APRIL 08, 2022  
 Scale: 1"=10'-0"  
 Drawing Title:

PLANTING PLAN

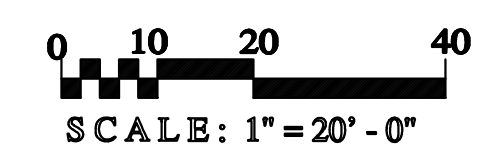
# Attachment 3.2

Graphic Representations of  
Project/Preliminary Architectural  
Plans

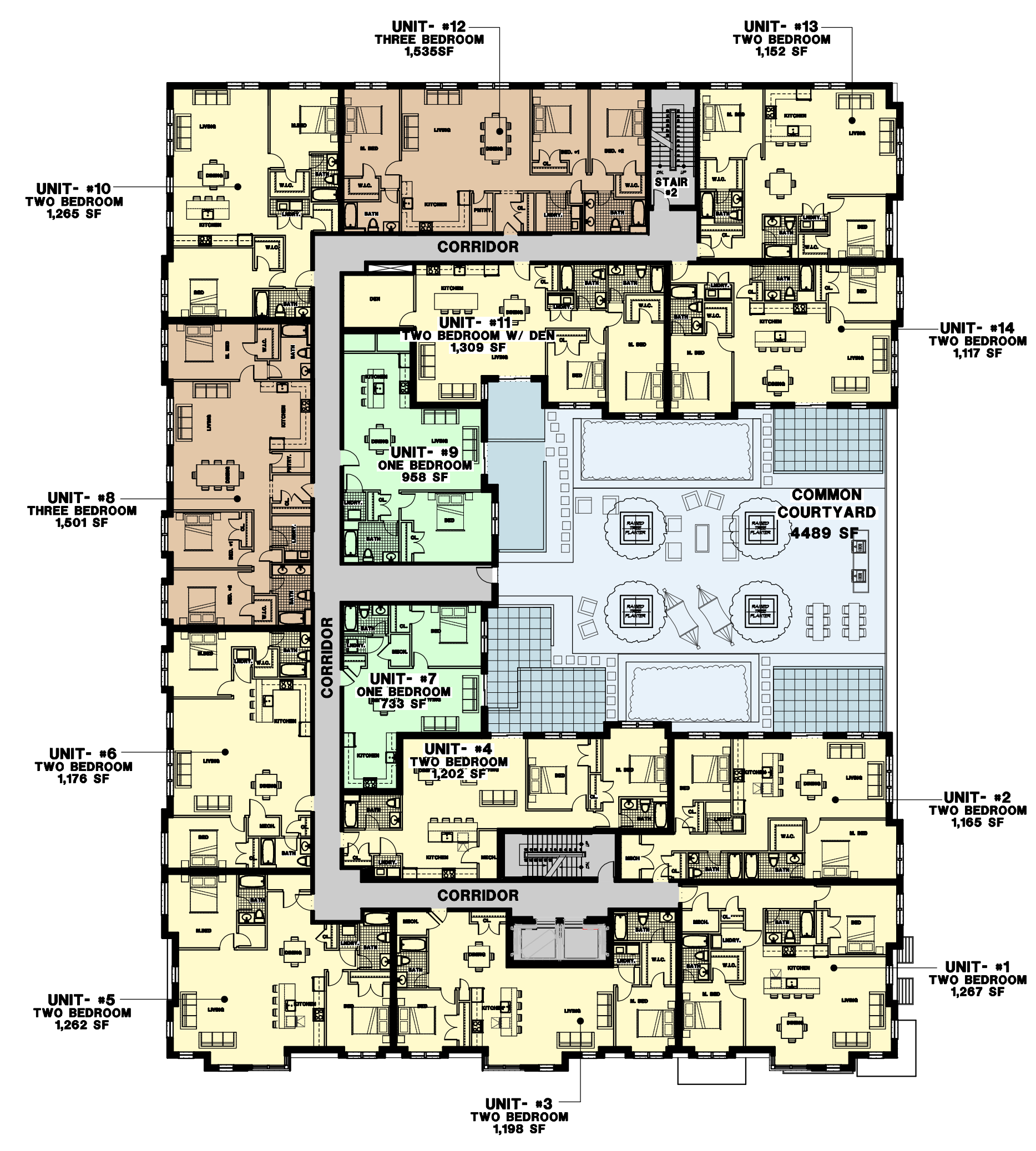




**GROUND FLOOR PLAN**

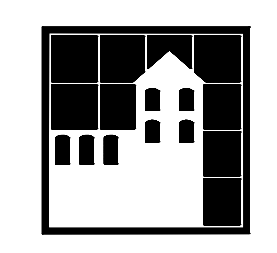
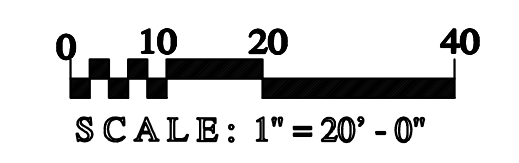


- MIXED USE
- CIRCULATION
- GARAGE
- COMMON SPACE
- UNIT OUTSIDE SPACE
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON OUTSIDE SPACE



**14 UNITS**  
GROSS AREA - 20,601 S.F.

**2nd FLOOR PLAN**



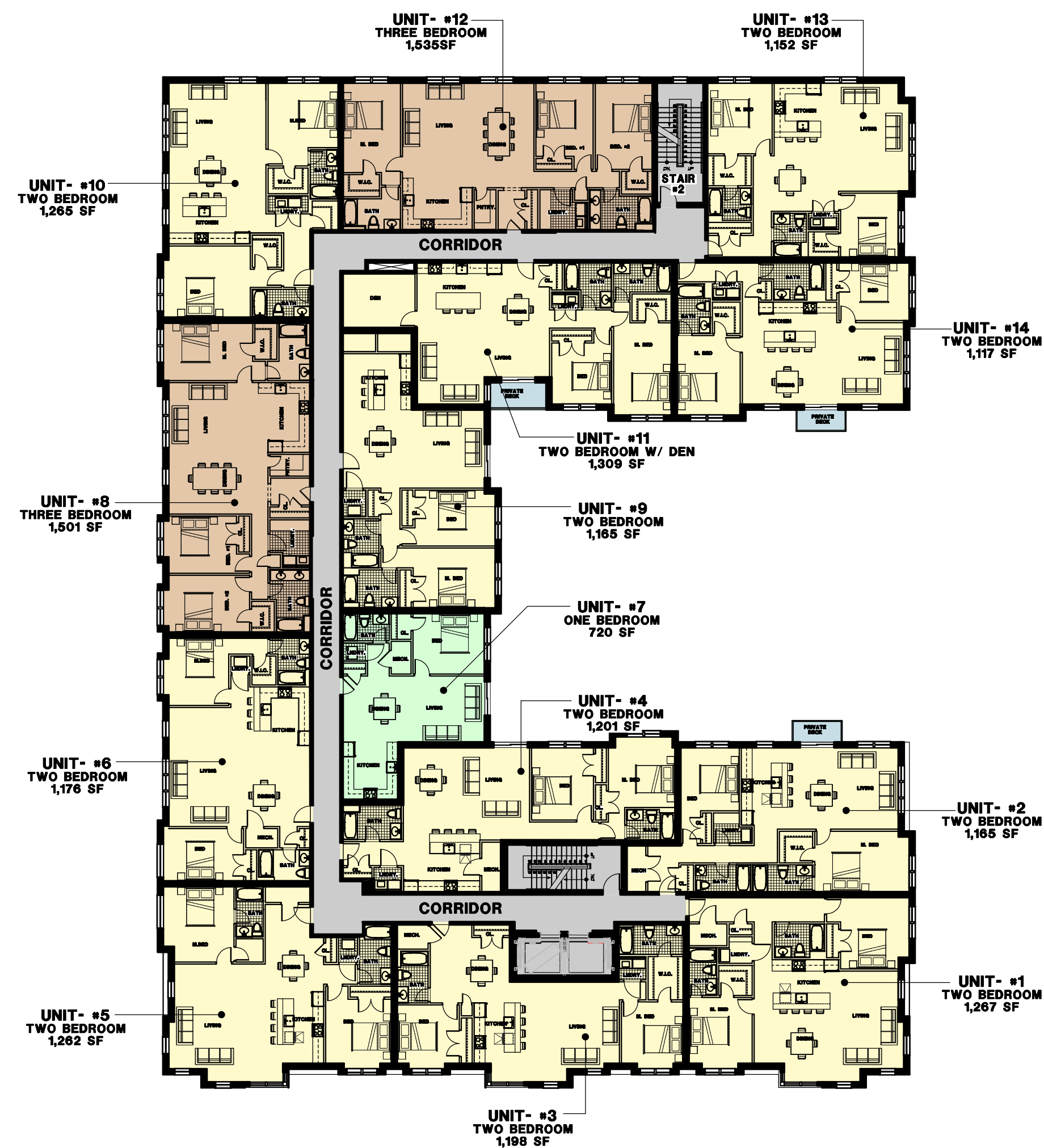
**HARRISON MULHERN ARCHITECTS**  
611 Main Street  
Winchester, MA 01890  
v. 781-729-3700 f. 781-729-3672  
email: cmulhern@hmarchitects.com

**MASS AVE. CONDOMINIUMS**  
1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA  
MARCH 03, 2022



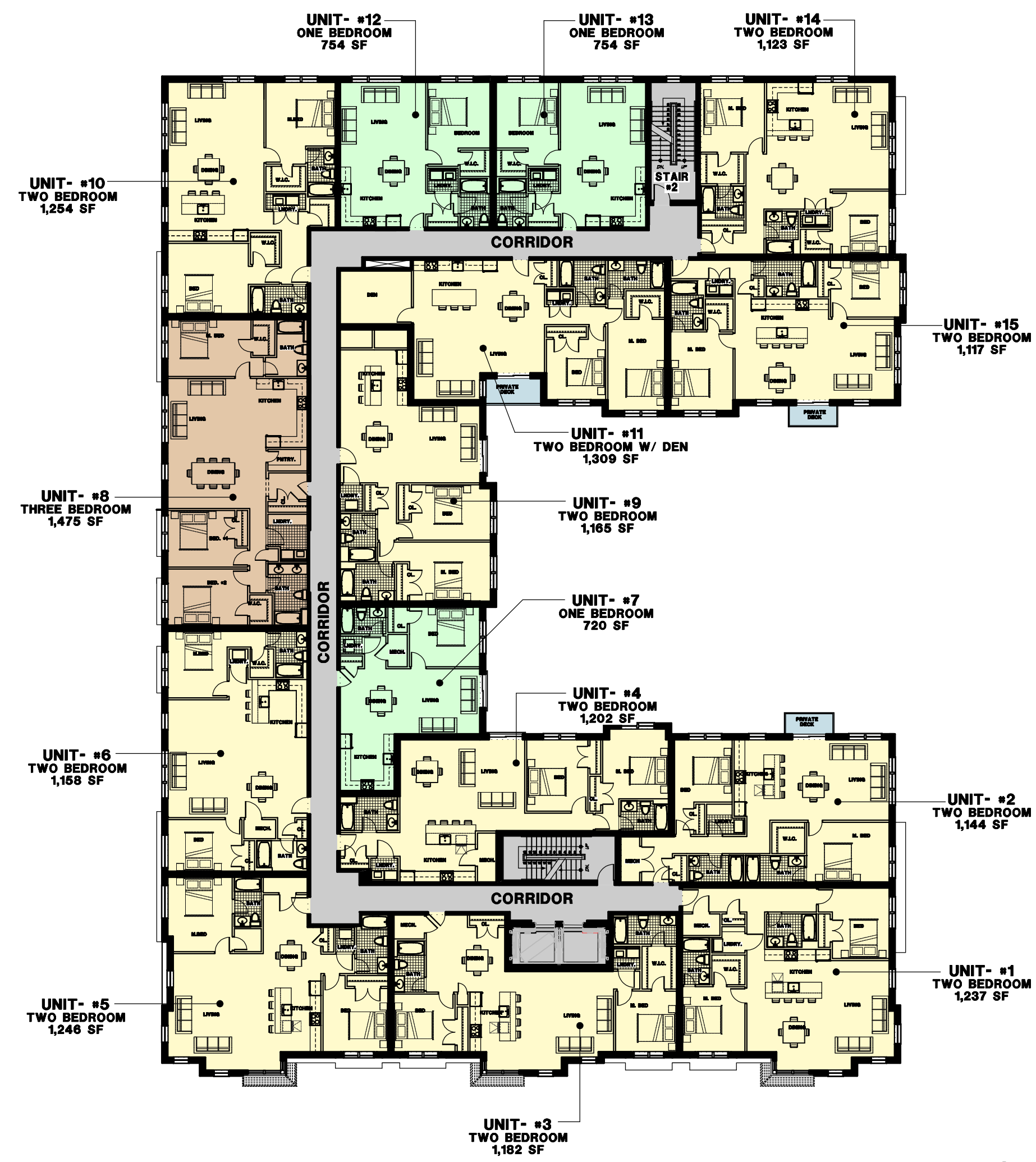
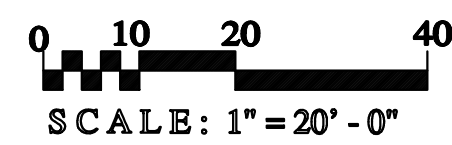
SHEET #  
**A1.1**





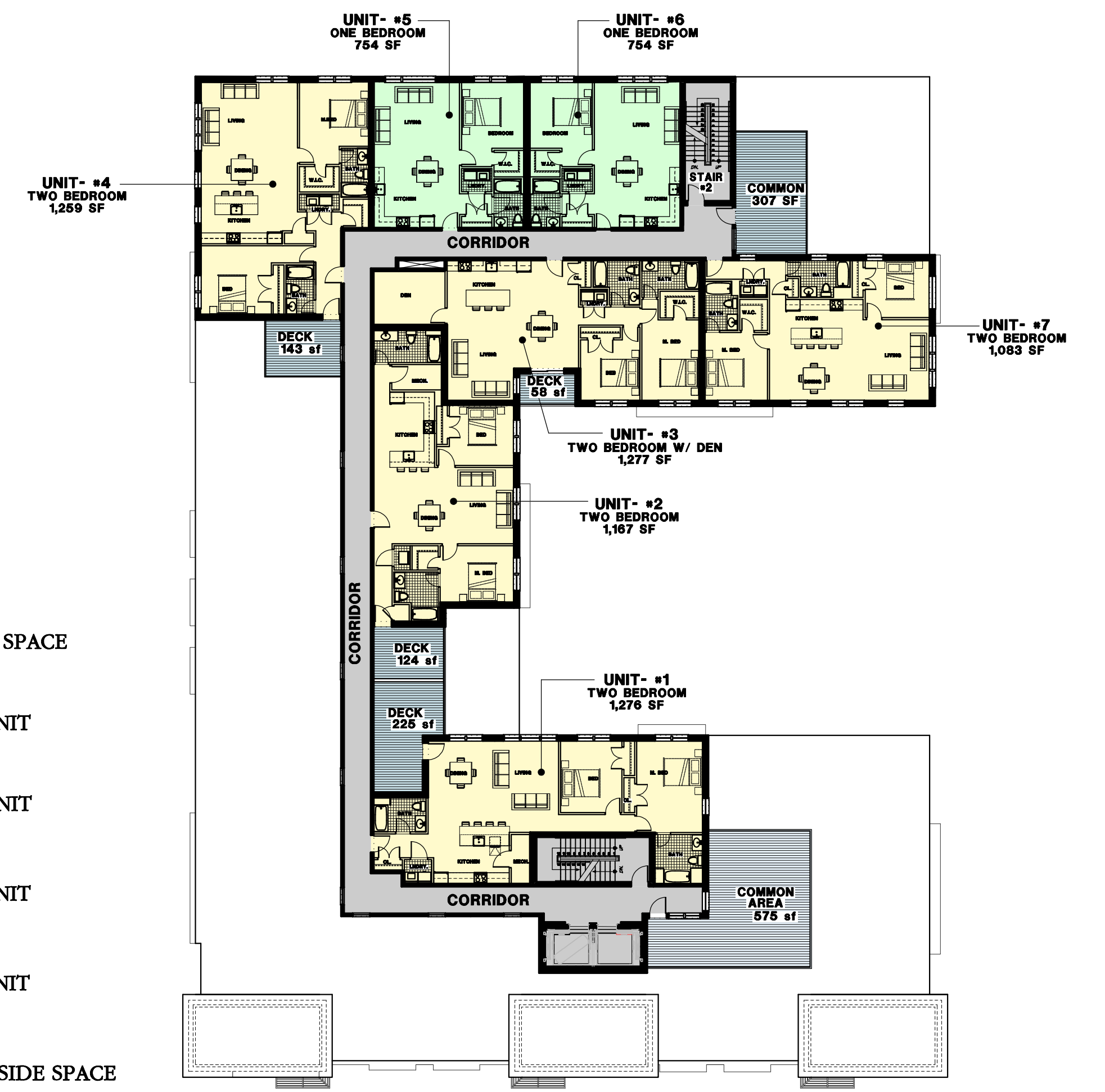
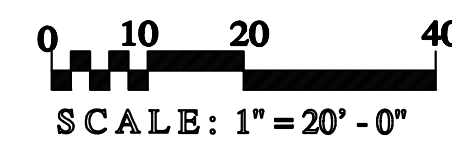
**14 UNITS**  
GROSS AREA - 20,601 S.F.

**3rd FLOOR PLAN**



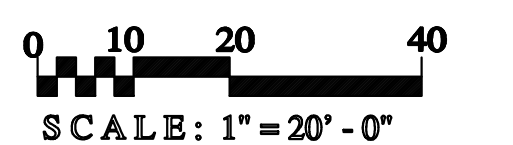
**15 UNITS**  
GROSS AREA - 20,410 S.F.

**4th FLOOR PLAN**

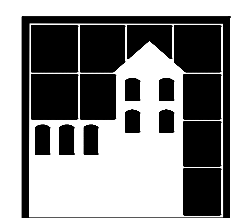


**7 PENTHOUSE UNITS**  
GROSS AREA - 10,463 S.F.

**5th FLOOR PLAN**



- CIRCULATION
- UNIT OUTSIDE SPACE
- 1 BEDROOM UNIT
- 2 BEDROOM UNIT
- 3 BEDROOM UNIT
- 3 BEDROOM UNIT
- COMMON OUTSIDE SPACE



**HARRISON MULHERN ARCHITECTS**  
611 Main Street  
Winchester, MA 01890  
v. 781-729-3700 f. 781-729-3672  
email: cmulhern@hmarchitects.com

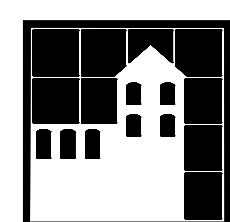
**MASS AVE. CONDOMINIUMS**  
1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA

MARCH 03, 2022



SHEET #  
**A1.2**





**HARRISON MULHERN ARCHITECTS**  
611 Main Street  
Winchester, MA 01890  
v. 781-729-3700 f. 781-729-3672  
email: cmulhern@hmarchitects.com

**MASS AVE. CONDOMINIUMS**  
1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA

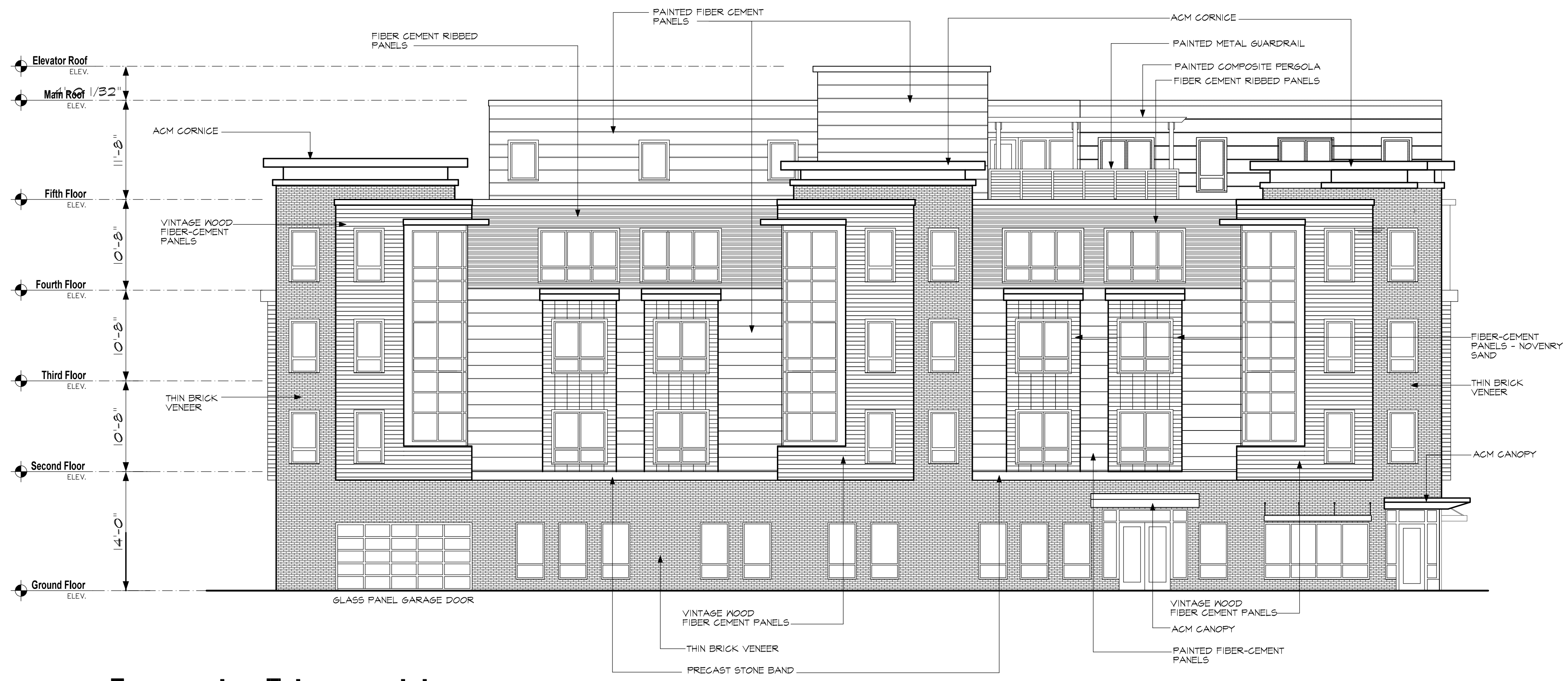
August 27 2021



SHEET #

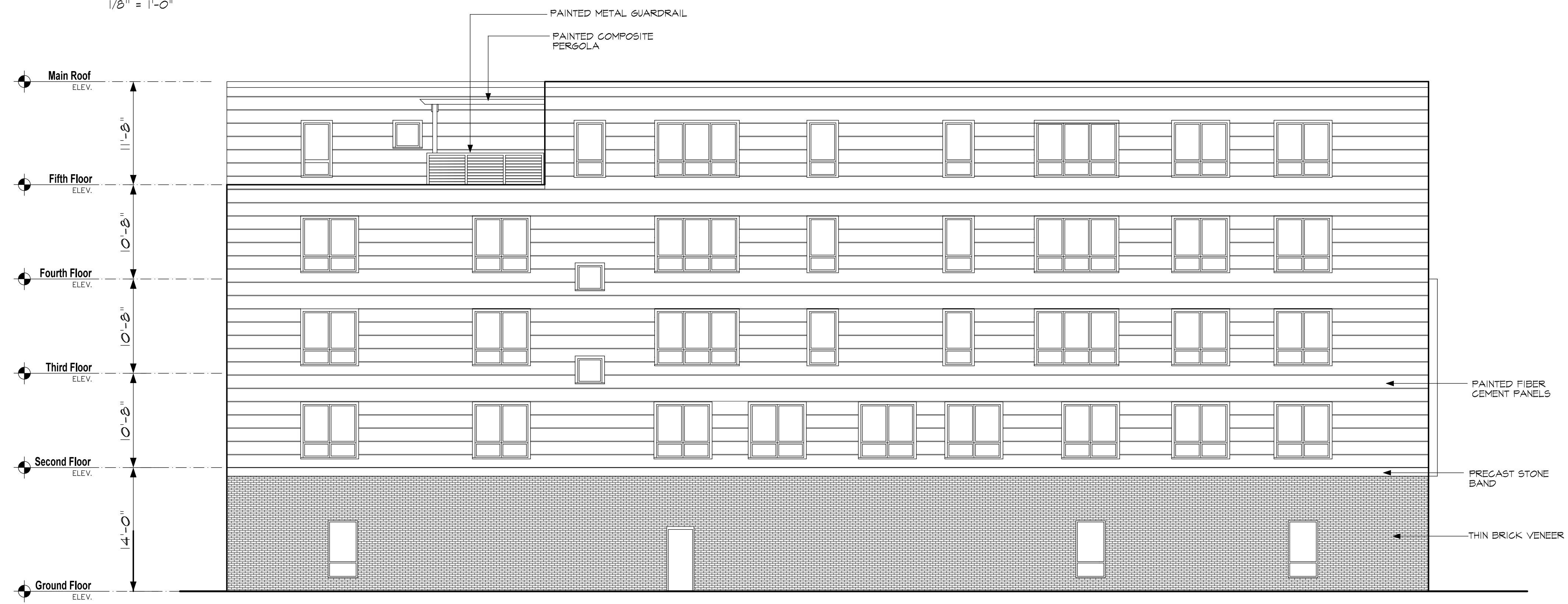
**A1.3**





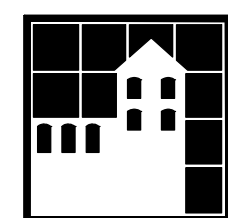
**Front Elevation**

1/8" = 1'-0"



**Rear Elevation**

1/8" = 1'-0"



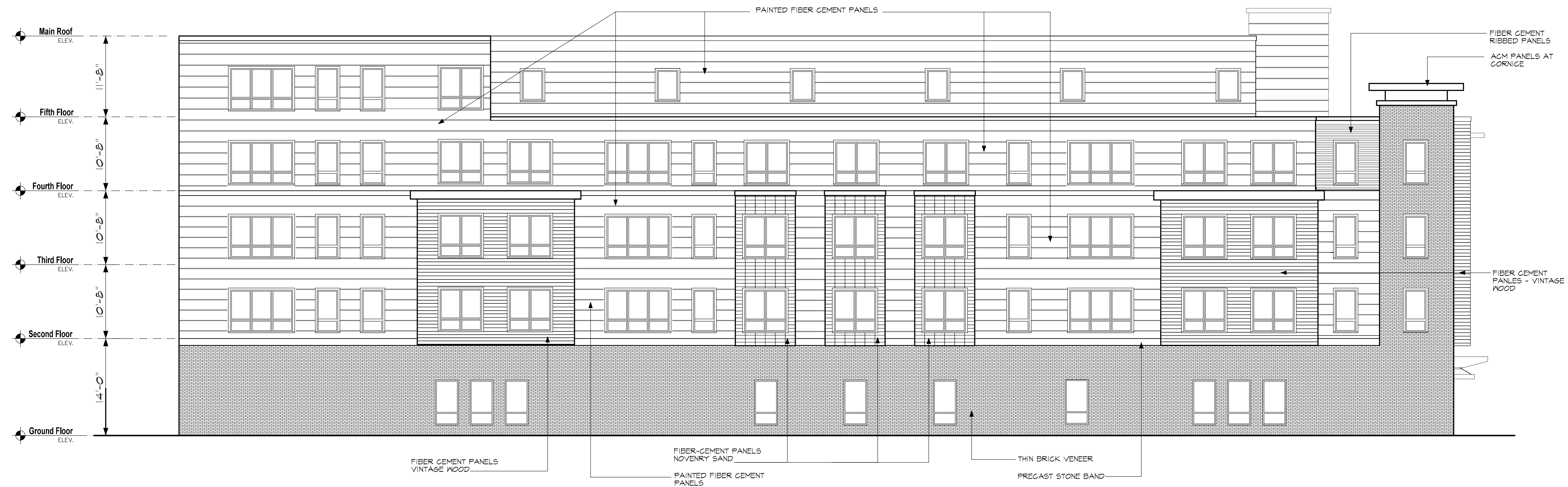
**HARRISON MULHERN ARCHITECTS**  
 611 Main Street  
 Winchester, MA 01890  
 v. 781-729-3700 f. 781-729-3672  
 email: cmulhern@hmarchitects.com

**MASS AVE. CONDOMINIUMS**  
 1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA

MARCH 29, 2022

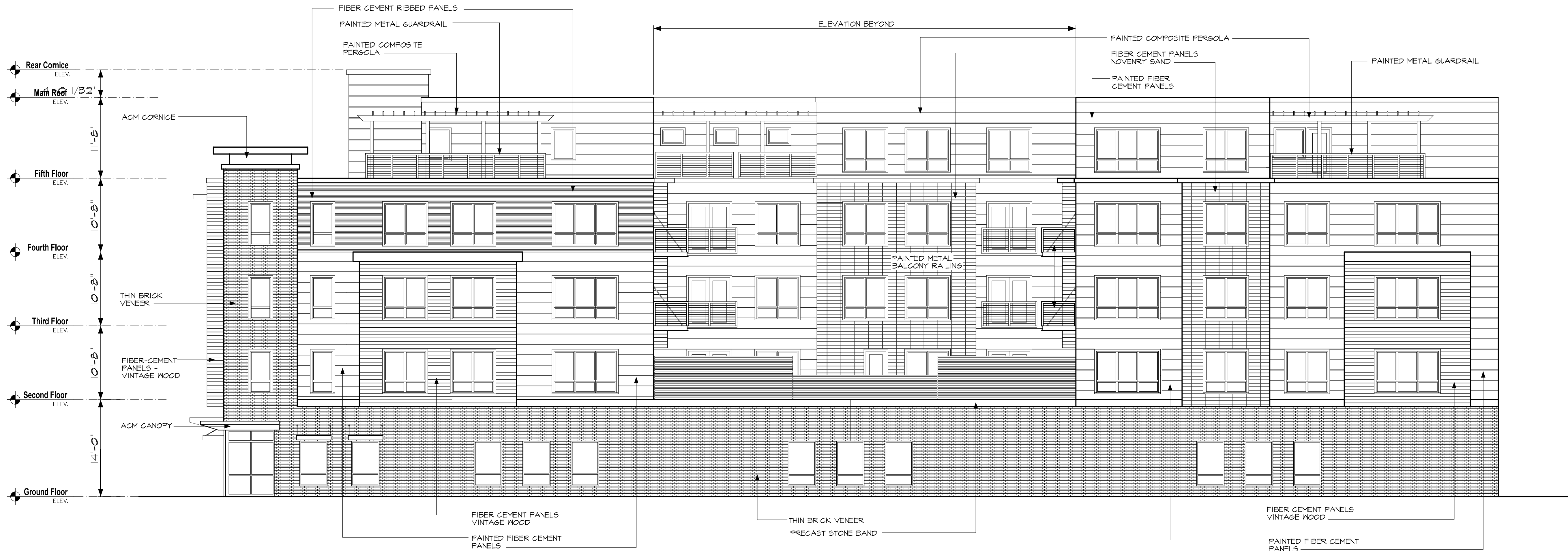


**SHEET #**  
**A2.1**



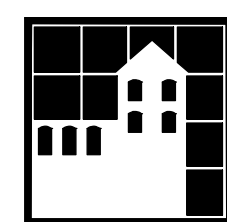
**Left Elevation**

1/8" = 1'-0"



**Right Elevation**

1/8" = 1'-0"



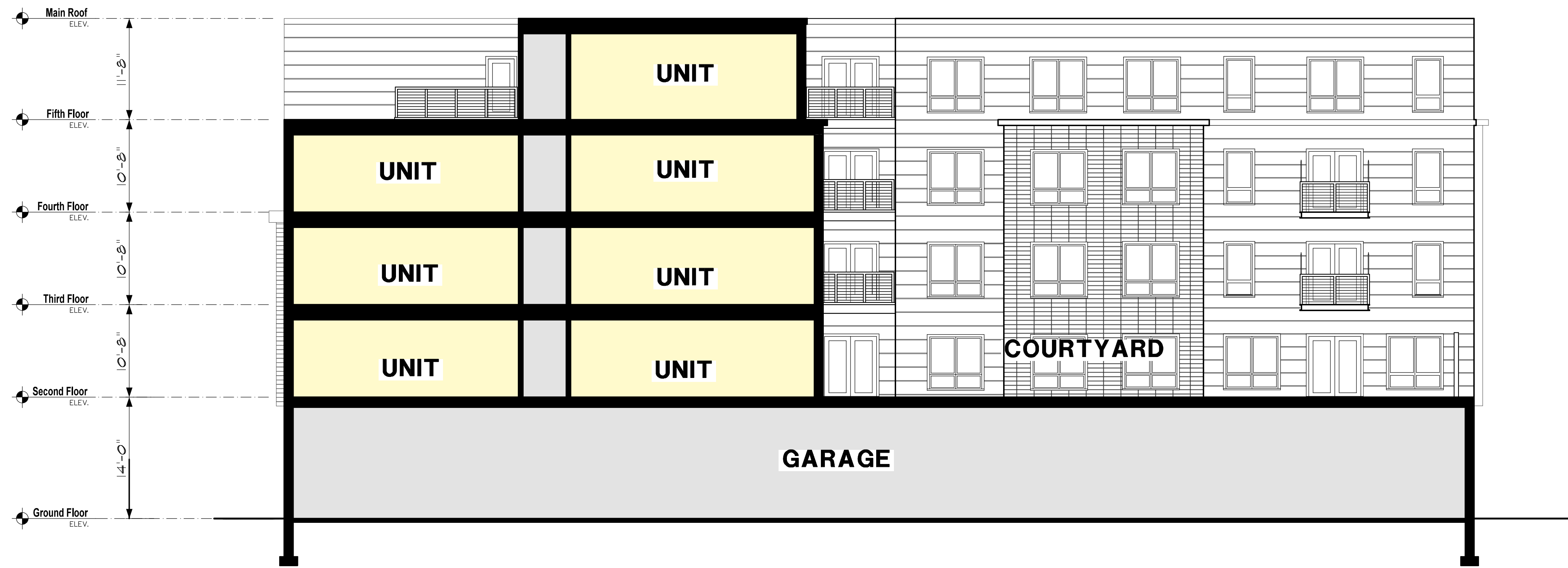
**HARRISON MULHERN ARCHITECTS**  
 611 Main Street  
 Winchester, MA 01890  
 v. 781-729-3700 f. 781-729-3672  
 email: cmulhern@hmarchitects.com

**MASS AVE. CONDOMINIUMS**  
 1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA

MARCH 29, 2022

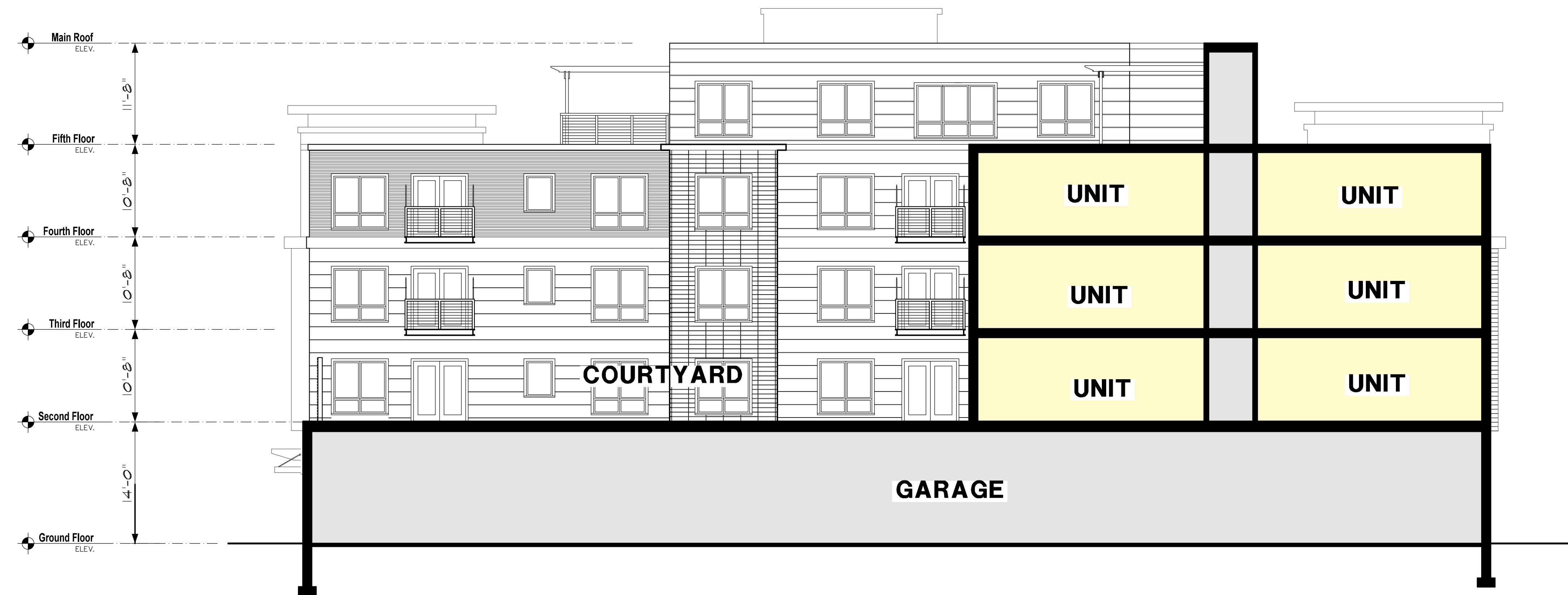


**SHEET #**  
**A2.2**



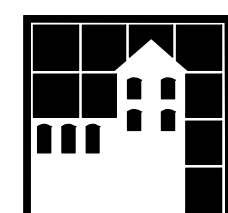
**Section / Elevation**

1/8" = 1'-0"



**Section / Elevation**

1/8" = 1'-0"



**HARRISON MULHERN ARCHITECTS**  
 611 Main Street  
 Winchester, MA 01890  
 v. 781-729-3700 f. 781-729-3672  
 email: cmulhern@hmarchitects.com

**MASS AVE. CONDOMINIUMS**  
 1021-1025 MASSACHUSETTS AVENUE, ARLINGTON MA

MARCH 29, 2022



SHEET #

**A2.3**







# Attachment 3.3

## Narrative Description of Design Approach

## 1021 Massachusetts Avenue

This project consists of four residential floors above a ground level housing Lobby, Retail, and Parking areas. This 'podium' style residential building is typical in this area in direct response to zoning and building code constraints. The residential floors have a C-shaped layout surrounding an open courtyard at the second level, maximizing daylighting and views for the residential units. Additional shared outdoor spaces are located at the setback areas of the fifth level.

The proposed building is sited on a section of Massachusetts Avenue featuring a mix of commercial and residential buildings from one to four stories in height. This building respects the established building line and enlivens the sidewalk with a modest retail plaza. Siting the building towards the street allows the development of an urban park space at the rear sloping down towards Mill Brook. The fifth floor is held back to reduce the height at the street and create additional outdoor living areas.

The elevation designs break down scale of the building with multi-layered planes and a variety of materials. The front divides into three tower-like forms highlighted with dark brick and punctuated with wood look projecting bays. Cantilevered sun shades at the third floor honor the scale of the older adjacent buildings, while the towers themselves are capped with deep profile metal cornices, creating an interesting profile against the sky.

The building features a dark brick base on all sides, with glass storefronts and garage door at the street. The upper stories are clad with brick, composite siding in a variety of colors and textures, curtainwall glazing, and tall operable windows. By breaking down the building scale with towers, bays, and canopies, and cladding with a combination of different materials, colors and textures, the building design enriches its neighborhood with a fresh modern design.

# Attachment 3.4

## Tabular Zoning Analysis

- Waiver for Multi-family Use
- Dimensional Waivers in Yellow:

**Dimensional requirements:**

Minimum Lot Area: 5,000 sf  
 Minimum Lot Area per Unit: N/A for mixed-use  
 Minimum Lot Frontage: 50 ft  
 Front Yard Setback: 20ft  
 Side Yard Setback: 10 ft  
 Rear Yard Setback: 20 ft  
 Landscaped Open Space (Section 5.3.21):<sup>1</sup> 10%  
 Usable Open Space (Section 5.3.21):<sup>2</sup> 20%  
 Maximum Lot Coverage: N/A  
 Maximum Height: 35 ft or 3 stories  
 Maximum FAR: .75

**Project specifications:**

~46,000 sf  
 N/A  
 ~ 160 feet  
 ~11.8 feet  
 ~8.7 feet  
 ~ 100 feet  
 > 10%  
 > 20%  
 N/A  
 61' 8" or 5 stories  
 ~ 2

- Waiver for Parking (1 space for unit)

---

<sup>1</sup> Landscaped Open Space is defined as “Open space designed and developed for pleasant appearance in trees, shrubs, ground covers and grass, including other landscaped elements such as natural features of the site, walks and terraces, and also including open areas accessible to and developed for the use of the occupants of the building located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes.”

<sup>2</sup> Usable Open Space is defined as “The part or parts of a lot designed and developed for outdoor use by the occupants of the lot for recreation, including swimming pools, tennis courts, or similar facilities, or for garden or for household service activities such as clothes drying; which space is at least 75% open to the sky, free of automotive traffic and parking, and readily accessible by all those for whom it is required. Such space may include open area accessible to and developed for the use of the occupants of the building, and located upon a roof not more than 10 feet above the level of the lowest story used for dwelling purposes. Open space shall be deemed usable only if at least 75% of the area has a grade of less than 8%, and no horizontal dimension is less than 25 feet. For newly constructed single-, two-family, and duplex dwellings with surface parking, no horizontal dimension shall be less than 20 feet.”