



TOWN OF ARLINGTON
REDEVELOPMENT BOARD

Application for Special Permit In Accordance with Environmental Design
Review Procedures (Section 3.4 of the Zoning Bylaw)

Docket No. 3723

PLANNING & COMMUNITY
DEVELOPMENT

2022 OCT 12 P 2:42

- 1. Property Address 22-24 Belknap Street
Name of Record Owner(s) 22-24 BELKNAP STREET LLC
Address of Owner 13 TECH CIRCLE
2. Name of Applicant(s) James Rissling, LR Designs, Inc.
Address 63 Allston Street, Cambridge MA
Status Relative to Property Architect
3. Location of Property 008 0002 0004
Assessor's Block Plan, Block, Lot No.
4. Deed recorded in the Registry of deeds, Book 77934, Page 243
- or - registered in Land Registration Office, Cert. No., in Book, Page
5. Present Use of Property two dwelling residence
6. Proposed Use of Property two dwelling residence
7. Permit applied for in accordance with 5.4.2.B.6 Large Additons
the following Zoning Bylaw section(s)
8. Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request.

TOWN ENGINEER'S OFFICE
10/12/22 1:44:02 PM

(In the statement below, strike out the words that do not apply)

The applicant states that 22-24 Belknap Street is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 22-24 Belknap Street which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years.

Signature of Applicant(s)

13 TECH CIRCLE NATICK, MA, 01760 617-996-6728
Address Phone



Town of Arlington Redevelopment Board
 Application for Special Permit in accordance with
 Environmental Design Review (Section 3.4)

Required Submittals Checklist

Two full sets of materials and one electronic copy are required. A model may be requested. Review the ARB's Rules and Regulations, which can be found at arlingtonma.gov/arb, for the full list of required submittals.

- Dimensional and Parking Information Form (see attached)
- Site plan of proposal
- Model, if required
- Drawing of existing conditions
- Drawing of proposed structure
- Proposed landscaping. May be incorporated into site plan
- Photographs
- Impact statement
- NA Application and plans for sign permits
- Stormwater management plan (for stormwater management during construction for projects with new construction)

FOR OFFICE USE ONLY

- Special Permit Granted Date: _____
- Received evidence of filing with Registry of Deeds Date: _____
- Notified Building Inspector of Special Permit filing Date: _____

**TOWN OF ARLINGTON
REDEVELOPMENT BOARD**

**Petition for Special Permit under Environmental Design Review (see Section 3.4 of the
Arlington Zoning Bylaw for Applicability)**

For projects subject to Environmental Design Review, (see Section 3.4), please submit a statement that completely describes your proposal, and addresses each of the following standards.

1. **Preservation of Landscape.** The landscape shall be preserved in its natural state, insofar as practicable, by minimizing tree and soil removal, and any grade changes shall be in keeping with the general appearance of neighboring developed areas.
2. **Relation of Buildings to Environment.** Proposed development shall be related harmoniously to the terrain and to the use, scale, and architecture of existing buildings in the vicinity that have functional or visual relationship to the proposed buildings. The Arlington Redevelopment Board may require a modification in massing to reduce the effect of shadows on abutting property in an R0, R1 or R2 district or on public open space.
3. **Open Space.** All open space (landscaped and usable) shall be so designed as to add to the visual amenities of the vicinity by maximizing its visibility for persons passing the site or overlooking it from nearby properties. The location and configuration of usable open space shall be so designed as to encourage social interaction, maximize its utility, and facilitate maintenance.
4. **Circulation.** With respect to vehicular, pedestrian and bicycle circulation, including entrances, ramps, walkways, drives, and parking, special attention shall be given to location and number of access points to the public streets (especially in relation to existing traffic controls and mass transit facilities), width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, access to community facilities, and arrangement of vehicle parking and bicycle parking areas, including bicycle parking spaces required by Section 8.13 that are safe and convenient and, insofar as practicable, do not detract from the use and enjoyment of proposed buildings and structures and the neighboring properties.
5. **Surface Water Drainage.** Special attention shall be given to proper site surface drainage so that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Available Best Management Practices for the site should be employed, and include site planning to minimize impervious surface and reduce clearing and re-grading. Best Management Practices may include erosion control and storm water treatment by means of swales, filters, plantings, roof gardens, native vegetation, and leaching catch basins. Storm water should be treated at least minimally on the development site; that which cannot be handled on site shall be removed from all roofs, canopies, paved and pooling areas and carried away in an underground drainage system. Surface water in all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicular or pedestrian traffic, and will not create puddles in the paved areas.

In accordance with Section 3.3.4, the Board may require from any applicant, after consultation with the Director of Public Works, security satisfactory to the Board to insure the maintenance of all storm water facilities such as catch basins, leaching catch basins, detention basins, swales, etc. within the site. The Board may use funds provided by such security to conduct maintenance that the applicant fails to do. The Board may adjust in its sole discretion the amount and type of financial security such that it is satisfied that the amount is sufficient to provide for the future maintenance needs.

6. **Utility Service.** Electric, telephone, cable TV and other such lines and equipment shall be underground. The proposed method of sanitary sewage disposal and solid waste disposal from all buildings shall be indicated.
7. **Advertising Features.** The size, location, design, color, texture, lighting and materials of all permanent signs and outdoor advertising structures or features shall not detract from the use and enjoyment of proposed buildings and structures and the surrounding properties. Advertising features are subject to the provisions of Section 6.2 of the Zoning Bylaw.

8. **Special Features.** Exposed storage areas, exposed machinery installations, service areas, truck loading areas, utility buildings and structures, and similar accessory areas and structures shall be subject to such setbacks, screen plantings or other screening methods as shall reasonably be required to prevent their being incongruous with the existing or contemplated environment and the surrounding properties.
9. **Safety.** With respect to personal safety, all open and enclosed spaces shall be designed to facilitate building evacuation and maximize accessibility by fire, police, and other emergency personnel and equipment. Insofar as practicable, all exterior spaces and interior public and semi-public spaces shall be so designed as to minimize the fear and probability of personal harm or injury by increasing the potential surveillance by neighboring residents and passersby of any accident or attempted criminal act.
10. **Heritage.** With respect to Arlington's heritage, removal or disruption of historic, traditional or significant uses, structures, or architectural elements shall be minimized insofar as practicable, whether these exist on the site or on adjacent properties.
11. **Microclimate.** With respect to the localized climatic characteristics of a given area, any development which proposes new structures, new hard-surface ground coverage, or the installation of machinery which emits heat, vapor, or fumes, shall endeavor to minimize, insofar as practicable, any adverse impact on light, air, and water resources, or on noise and temperature levels of the immediate environment.
12. **Sustainable Building and Site Design.** Projects are encouraged to incorporate best practices related to sustainable sites, water efficiency, energy and atmosphere, materials and resources, and indoor environmental quality. Applicants must submit a current Green Building Council Leadership in Energy and Environmental Design (LEED) checklist, appropriate to the type of development, annotated with narrative description that indicates how the LEED performance objectives will be incorporated into the project. [LEED checklists can be found at <http://www.usgbc.org/DisplayPage.aspx?CMSPageID=220b>]

In addition, projects subject to Environmental Design Review must address and meet the following Special Permit Criteria (see Section 3.3.3 of the Zoning Bylaw):

1. The use requested is listed as a special permit in the use regulations for the applicable district or is so designated elsewhere in this Bylaw.
2. The requested use is essential or desirable to the public convenience or welfare.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.
4. The requested use will not overload any public water, drainage or sewer system or any other municipal system to such an extent that the requested use or any developed use in the immediate area or in any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.
5. Any special regulations for the use as may be provided in this Bylaw are fulfilled.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health, morals, or welfare.
7. The requested use will not, by its addition to a neighborhood, cause an excess of the particular use that could be detrimental to the character of said neighborhood.

TOWN OF ARLINGTON
 Dimensional and Parking Information
 for Application to
 The Arlington Redevelopment Board

Docket No. 3723

Property Location 22-24 Belknap Street

Zoning District R-2

Owner: _____

Address: _____

Present Use/Occupancy: No. of Dwelling Units:
 two dwelling residence

Uses and their gross square feet:
 4,376+400 gsf

Proposed Use/Occupancy: No. of Dwelling Units:
 two dwelling residence

Uses and their gross square feet:
 5,600+400 gsf

	Present Conditions	Proposed Conditions	Min. or Max. Required by Zoning for Proposed Use
Lot Size	10,440	10,440	min. 6,000
Frontage	50	50	min. 60
Floor Area Ratio	--	--	max. NA
Lot Coverage (%), where applicable	16.8	20	max. 35
Lot Area per Dwelling Unit (square feet)	--	--	min. NA
Front Yard Depth (feet)	16.8	20.8	min. 20
Side Yard Width (feet) right side	16	12.6	min. 10
left side	14	11.2	min. 10
Rear Yard Depth (feet)	61.5	58.8	min. 20
Height			min.
Stories	2 1/2	2 1/2	stories 2 1/2
Feet	32.9	34.8	feet 35
Open Space (% of G.F.A.)	131	93.7	min. 10
Landscaped (square feet)	6,303	5,767	(s.f.)
Usable (square feet)	2,442	2,442	(s.f.) 1,800
Parking Spaces (No.)	4	4	min. 2
Parking Area Setbacks (feet), where applicable			min.
Loading Spaces (No.)	0	0	min. 0
Type of Construction	V-B		
Distance to Nearest Building	17.1	17.1	min.

22-24 Belknap Street, Arlington, MA: Impact Statement Regarding Special Permit for a Large Addition

The proposed project is the renovation and configuration of an existing two-family residence from a top and bottom duplex into a side-by-side duplex. The Large Addition consists of additions to the sides and an increased attic, or half story. The two-family residence is an allowed use, the increased size will provide larger units for families, while not increasing traffic or burden on public services. The lots on this section of Belknap Street are larger. The larger units will be in harmony with other structures and uses within the vicinity of the immediate neighborhood.

Environmental Design Review:

Preservation of Landscape: 22-24 Belknap Street is an existing two-family residence that backs onto the Minuteman Bikeway. The rear property line is at the crest of a hill approximately eleven feet above the bikeway. There is an existing vegetated slope, approximately 20 feet measured horizontally, between the property line and the bikeway. There are no significant grade changes proposed and the residential scale landscape shall be maintained and enhanced with preferred species.

Relation of Building to Environment: The project consists of addition to the sides and an enlarged attic, increasing the massing in keeping with other adjacent structures. All Setbacks shall conform to the requirements. The new interior layout will take advantage of vistas of Spy Pond and the visual connection to the bikeway.

Open Space: The Open Space is residential and private in nature; the difference in elevation and the vegetated buffer between the bikeway allows some visual connection while maintaining the experience of nature on this section of the bikeway.

Circulation: The property's proximity to the bikeway access at Linwood Street is a convenient and attractive feature. Vehicular access to the site from Belknap Street shall remain unchanged.

Surface Water Drainage: Surface water shall be controlled during construction to prevent erosion or damage to the slope down to the bikeway. After construction, roof runoff shall be directed to new in ground structures.

Utilities: Existing overhead utilities may be put underground if feasible. The existing sewer connection will be evaluated and maintained.

There are no advertising features as part of the completed project.

Special Features: All features shall be residential in nature.

Safety: The new layouts featuring two side-by-side dwelling units will encourage physical and visual access of the surrounding yards and parking areas. The yard will remain fenced in to limit unwanted access into and through the site.

Microclimate: The additions to the existing house still leave much of the site open for landscape and outdoor enjoyment.

Sustainable Building and Site Design: The renovation and additions will be executed using best practices, durable materials and efficient systems resulting in efficient and practically new construction dwellings.

Special Permit Criteria:

1. The use requested is listed as a Special Permit in Section 5.4.2.B.6 Large Additions.
2. The requested use is essential or desirable to the public convenience or welfare: The larger dwelling units and generous lot will be desirable to families, and long-term ownership.
3. The requested use will not create undue traffic congestion or unduly impair pedestrian safety: The intensity of use, or occupancy, does not change from the existing two-family residence.
4. The requested use will not overload any public water, drainage, or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety, or the general welfare: There is no increase in the number of households and therefore will not result in an increased burden on systems and services.
5. Any special regulations for the use as may be provided in this Bylaw are fulfilled: The increase in area will conform to the required setbacks, allowed height, and lot coverage.
6. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare: The increased structure will be in keeping with adjacent structures which are also larger multi-family structures on similarly larger lots and shall not be detrimental to the health or welfare of the neighborhood.
7. The requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood: The use remains a two-family residence, the massing and character of the structures will be similar to others in the vicinity.



STREET VIEW OF 22-24 BELKNAP STREET



VIEW OF REAR OF 22-24 BELKNAP



STREET VIEW OF 28-30 BELKNAP STREET



STREET VIEW OF 18-20 BELKNAP STREET



STREET VIEW OF 13-15 BELKNAP STREET



VIEW TOWARD BIKEWAY FROM BACKYARD



VIEW FROM BIKEWAY LOOKING NORTH TO 22-24 BELKNAP



VIEW FROM BIKEWAY LOOKING SOUTH TO 22-24 BELKNAP



VIEW FROM BIKEWAY LOOKING SOUTH TO 22-24 BELKNAP



VIEW FROM BIKEWAY LOOKING SOUTH TO 22-24 BELKNAP

Revisions:		
#	Description	date

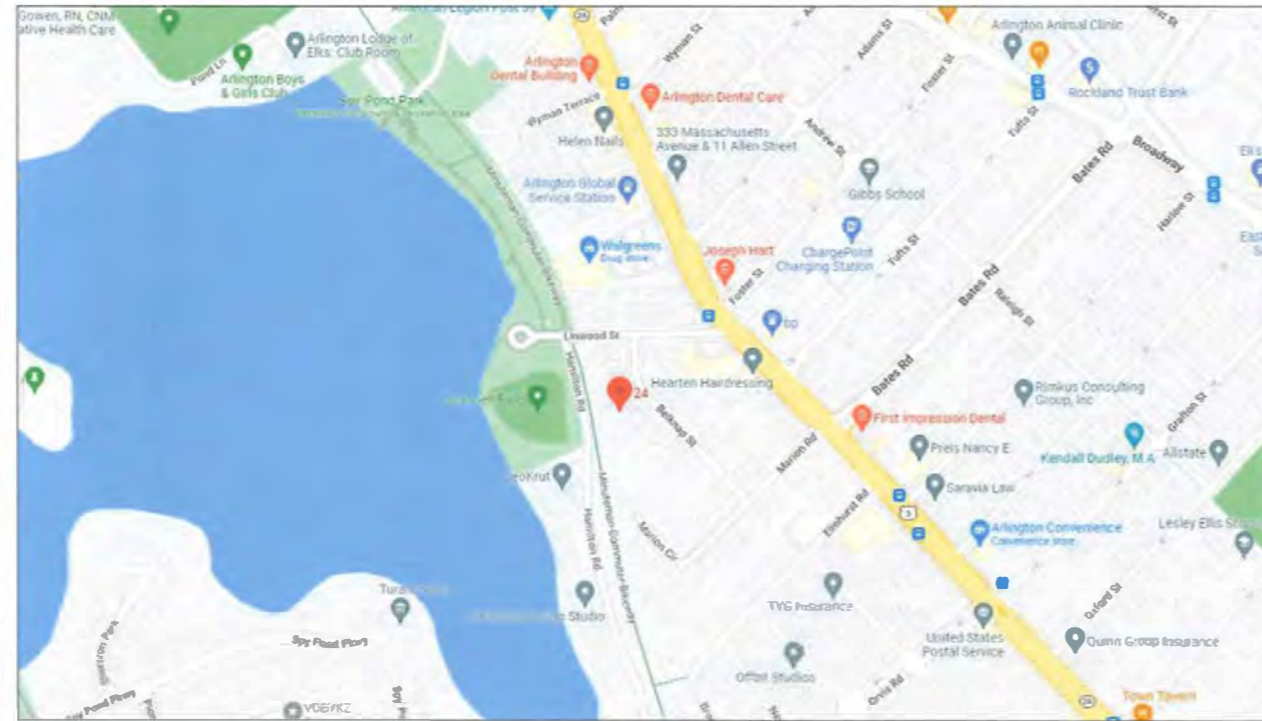
Project #	22018
Scale	NONE
Date	OCT. 12, 2022
Drawing #	P1.2



22-24 BELKNAP STREET - FRONT



22-24 BELKNAP STREET - REAR



PROJECT LOCATION:
22-24 Belknap Street
Arlington, MA
 ZONING DISTRICT RESIDENCE 2 (R2)

PROJECT DESCRIPTION:
 THE PROJECT IS THE FULL RENOVATION OF A TWO-FAMILY HOUSE. THE EXISTING STRUCTURE CONTAINS 4,376 GROSS SQUARE FEET. THE RENOVATION INCLUDES AN ADDITIONS ON EACH SIDE, MODIFICATIONS OF THE INTERIOR LAYOUT, NEW KITCHENS & BATHROOMS. WORK MAY INCLUDE RE-FRAMING THE EXISTING STRUCTURE, AS NECESSARY. NEW WORK WILL CONFORM TO ALL SETBACKS.

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:
LIVE LOADS 30lb. s/SF (BEDROOMS)
 40lb. s/SF (OTHER ROOMS)
GROUND SNOW LOAD 40lb. s/SF
WIND LOAD 127MPH



LIST OF DRAWINGS

	SPECIAL PERMIT
ISSUED	OCT 12, 2022
COVER	●
Z0.1 ZONING INFORMATION	●
Z0.2 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 ENLARGED PROPOSED PLANS	●
A1.4 ENLARGED PROPOSED PLANS	●
A1.5 ENLARGED PROPOSED PLANS	●
A1.6 ENLARGED PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED WALL DETAILS	●
S1.1 FOUNDATION PLAN	●

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR (2018 IECC)

Building Envelope- Climate Zone 5 Group R	R402.1.2
Roofs	
Attic and other	R-49
Walls, Above Grade	
Wood framed & other	R-20 or 13+5ci
Walls, Below Grade	
Crawlspace Walls	R-15/19
Basement Walls	R-15/19
Floors	
Joist/Framing	R-30
Slab Floors	
Unheated slabs	R-10 for 24 in. below
Fenestration	
Fenestration	U-0.30
Skylights	U-0.55
Opaque Doors	
Swinging	U-0.37
Non-swinging	R-4.75



Project Title:
22-24 Belknap Street
Arlington, MA

PROJECT INFORMATION

Revisions:	date
# Description	
Project #	22018
Scale:	none
Date:	OCT. 12, 2022
Drawing #	COVER

ZONING DATA PER §6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA

	ZONING DISTRICT - R2	ALLOWED/REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A	MINIMUM LOT SIZE (S.F.)	6,000	±10,440 (R)	NO CHANGE	CONFORMS
B	MIN. FRONTAGE (FT)	60	50 (R)	NO CHANGE	EXISTING NON-CONF.
C	FLOOR AREA RATIO MAX. (FAR)	NA	--	--	NA
D	LOT COVERAGE MAX. (%) 1,356 SF+400 SF / 10,440 SF = 16.8 1,682 SF+400 SF / 10,440 SF = 19.9	35	16.8	20	CONFORMS
E	MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--	NA
F	MIN. FRONT YARD (FT)	20	16.8	20.8	CONFORMS
G	MIN. SIDE YARD - RIGHT	10	16	12.6	CONFORMS
	MIN. SIDE YARD - LEFT	10	14	11.2	CONFORMS.
H	MIN. REAR YARD (FT)	20	61.5	58.8	CONFORMS
I	MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.9	2 1/2 / 34.8	CONFORMS
J	OPEN SPACE: MIN. LANDSCAPED AREA (%)	10	131	93.7	CONFORMS
K	OPEN SPACE: MIN. USABLE AREA (%)	30	51	40	CONFORMS
§6.1.4	MIN. NO. OF PARKING SPACES	4	4	NO CHANGE	CONFORMS

USEABLE OPEN SPACE CALCULATION:

EXISTING GROSS AREA		=	
BASEMENT	1,221	=	1,221 GSF
1ST FLOOR	1,221	=	1,221 GSF
2ND FLOOR	1,221+112	=	1,344 GSF
ATTIC	601(R)	=	601 GSF
TOTAL		=	4,376 GSF

PROPOSED GROSS AREA (EXCLUDING PROPOSED UNENCLOSED PORCHES PER § 2.)		=	
BASEMENT	1,221-19+398	=	1,600 GSF
1ST FLOOR	1,221-19+406	=	1,608 GSF
2ND FLOOR	1,221-112-19+406	=	1,608 GSF
ATTIC	601+183	=	787 GSF
TOTAL		=	5,600 GSF

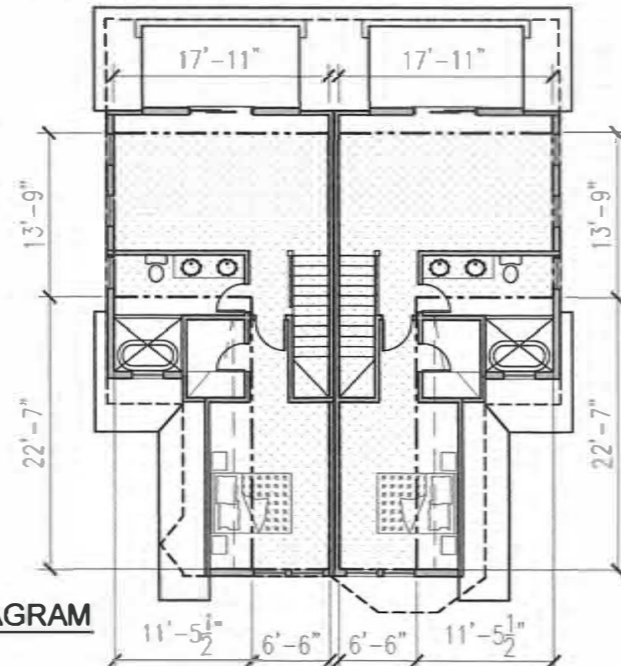
REQUIRED USEABLE, OPEN SPACE
5,600+400 x 0.30 = 1,800 GSF

PROPOSED USEABLE OPEN SPACE: 2,442 SF

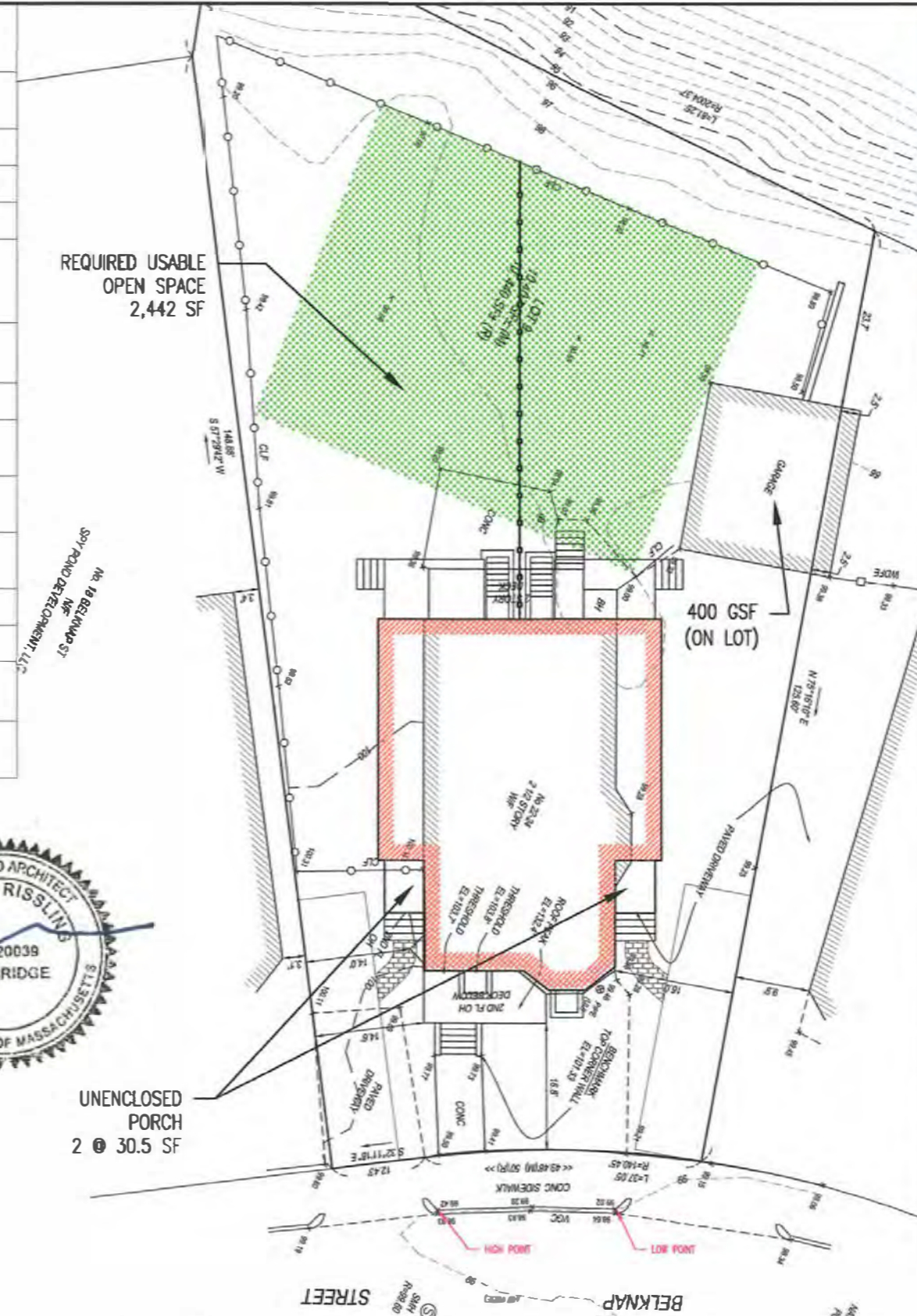
1,800 SF REQUIRED < 2,442 SF PROPOSED

HALF-STORY CALCULATION:

GROSS AREA		=	
2ND FLOOR	1,608 X .49	=	787 GSF
TOTAL ALLOWED > 7'		=	787 GSF
784 GSF PROPOSED		<	787 GSF ALLOWED

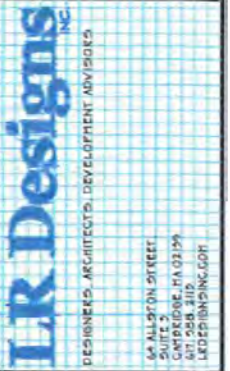


ATTIC DIAGRAM
1 = 16'



SITE DIAGRAM
1 = 20'

BASED ON SURVEY BY: SUMMIT SURVEYING, INC
NEWBURYPORT, MA
DATE: NOVEMBER 22, 2021



Project Title:
**22-24 Belknap Street
Arlington, MA**

Drawing Title:
**ZONING INFORMATION
SPECIAL PERMIT**

Revisions:
Description date

Project # 22018

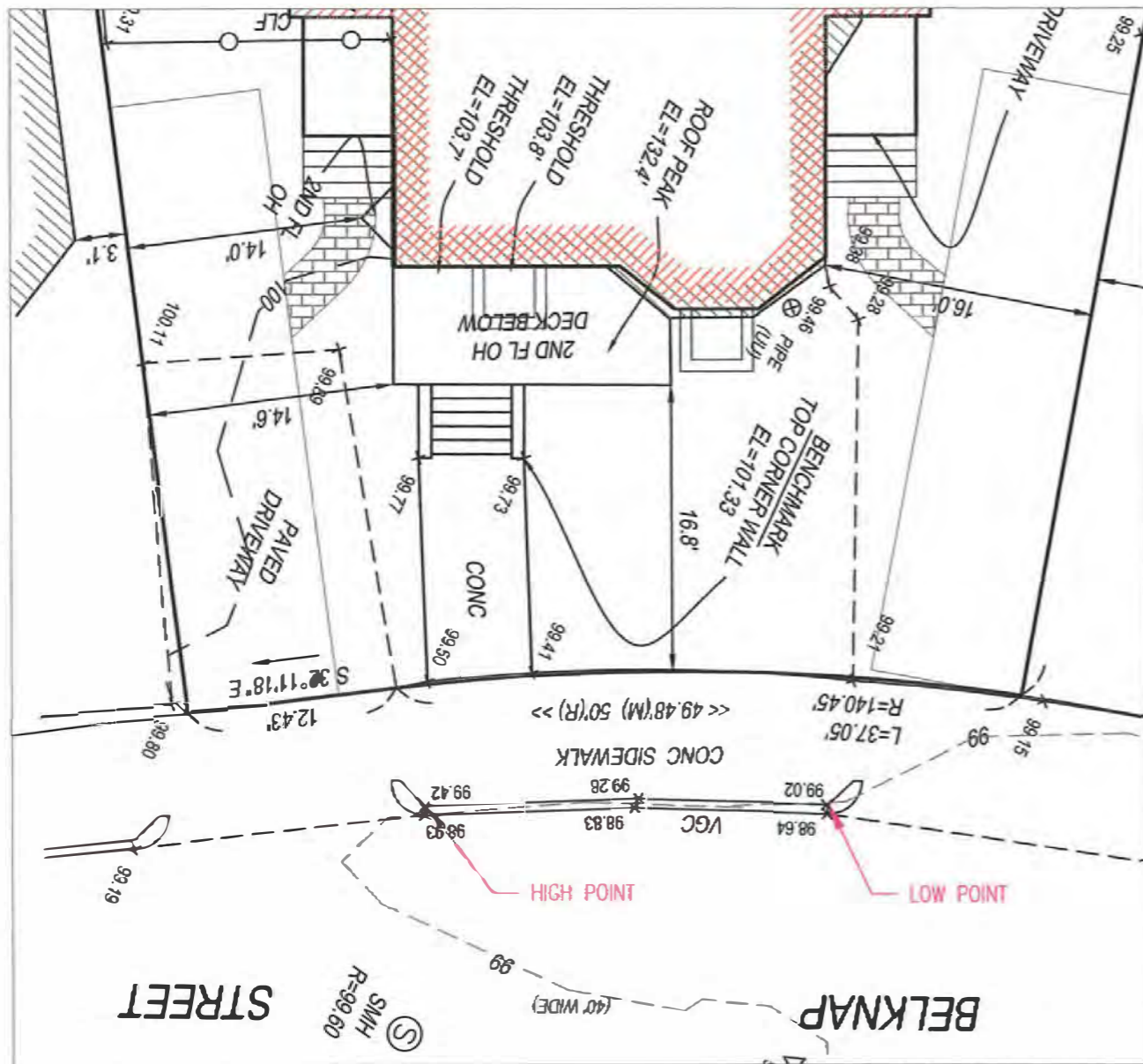
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Date: OCT. 12, 2022

Drawing # **Z0.1**

LARGE ADDITION CALCULATION: §5.4.2.B.6

DEMO 112+57 = 169 GSF
 PROPOSED 812+55 = 867 GSF
 TOTAL ADDITON 698 GSF



BUILDING HEIGHT CALCULATION:
 AVERAGE GRADE OF CURB LINE ABUTTING PROPERTY
 $99.02 + 99.42 = 198.44 / 2 = 99.22'$

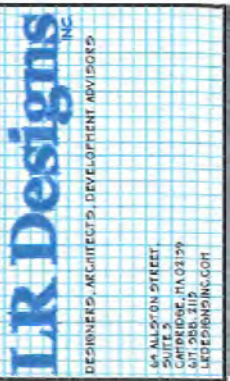
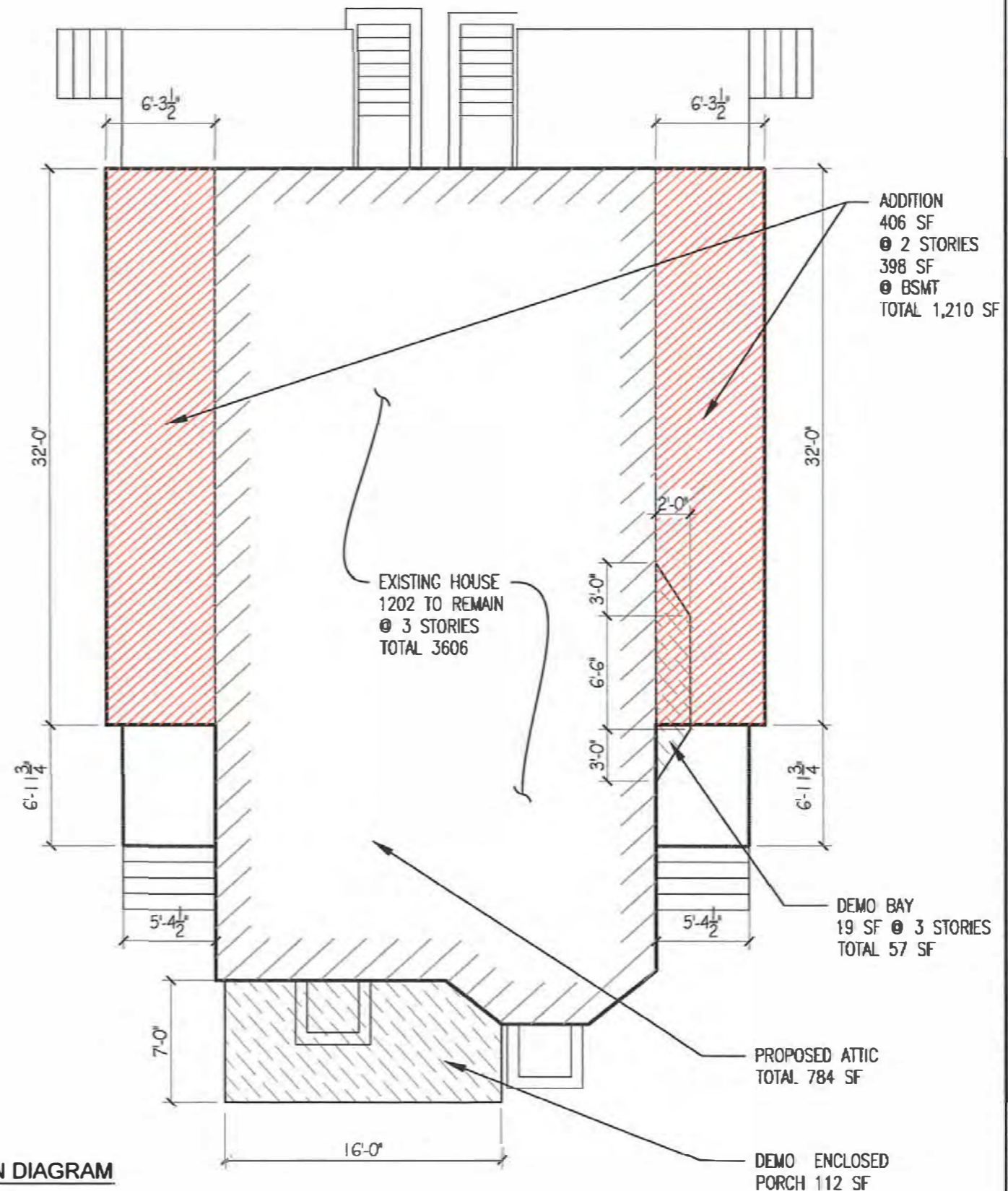
ELEVATION OF PROPOSED RIDGE = 134.06'

$134.06 - 99.22 = 34.84'$

$34.84' < 35'$ MAX. ALLOWED



ADDITION DIAGRAM
 $1/8" = 1'-0"$



Project Title:
 22-24 Belknap Street
 Arlington, MA

Drawing Title:
 ZONING INFORMATION

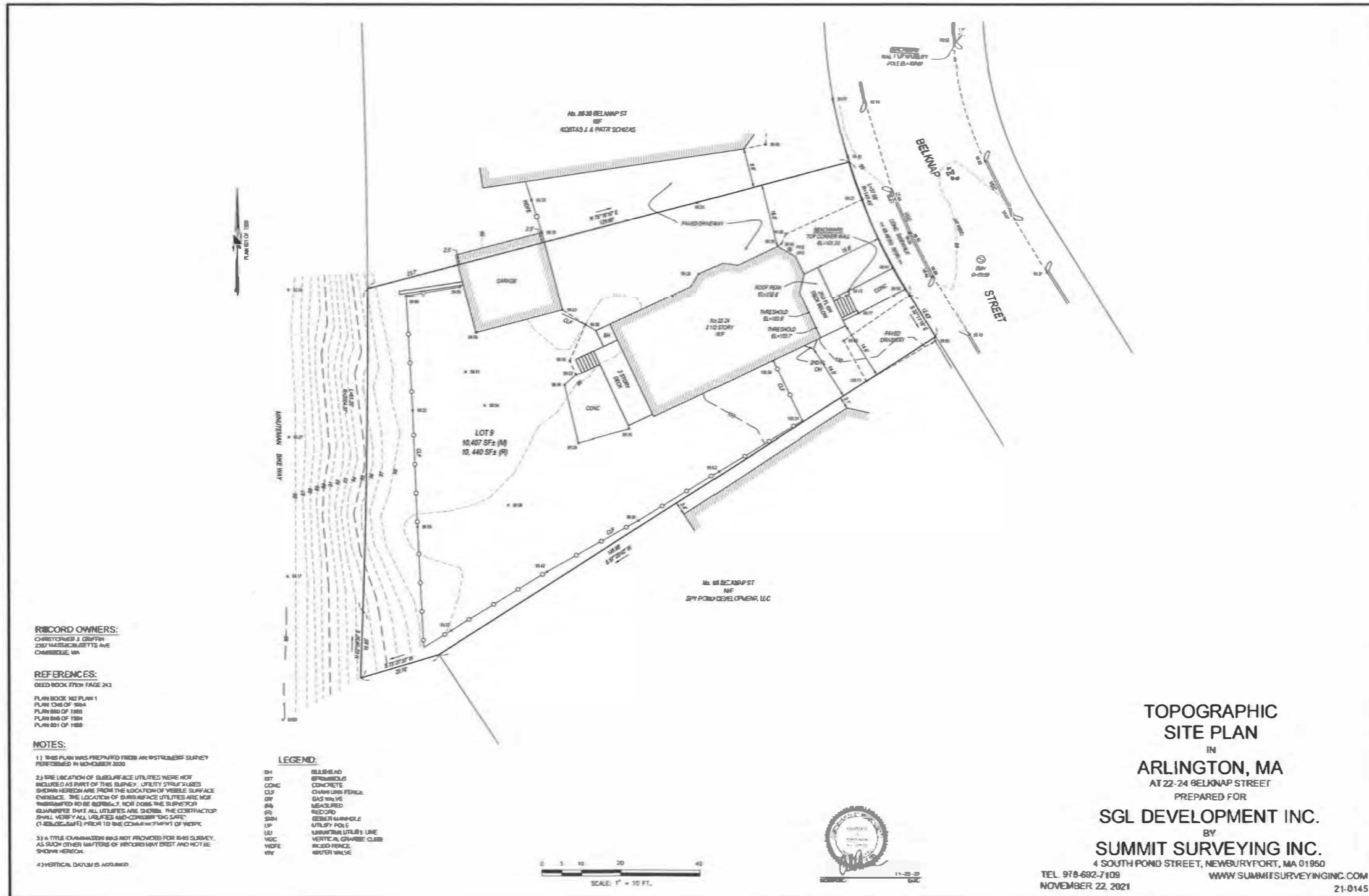
Revisions:
 # Description date

Project #
 22018

Scale:
 1/8" = 1'-0"

Date:
 OCT. 12, 2022

Drawing #
 Z0.2



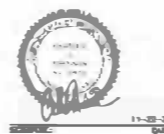
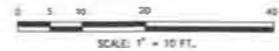
RECORD OWNERS:
 CHRISTOPHER J. GRIFFIN
 2387 MASSACHUSETTS AVE
 CHAMBERLAIN, MA

REFERENCES:
 DEED BOOK 7723 PAGE 243
 PLAN BOOK 302 PLAN 1
 PLAN 036 OF 1994
 PLAN 003 OF 1999
 PLAN 003 OF 1999
 PLAN 001 OF 1999

NOTES:
 1) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY PERFORMED IN NOVEMBER 2020.
 2) THE LOCATION OF SUBSURFACE UTILITIES WERE NOT INCLUDED AS PART OF THIS SURVEY. UTILITY STRUCTIONS SHOWN HEREON ARE FROM THE LOCATION OF VISIBLE SURFACE ENTRANCES. THE LOCATION OF SUBSURFACE UTILITIES ARE NOT INTENDED TO BE GUARANTEED, NOR DOES THE SURVEYOR GUARANTEE THAT ALL UTILITIES ARE SHOWN. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONSIDER THE SAFETY OF ALL UTILITIES FROM TO THE COMMENCEMENT OF WORK.
 3) A TITLE COMMITMENT WAS NOT PROVIDED FOR THIS SURVEY. AS SUCH OTHER MATTERS OF RECORD MAY EXIST AND NOT BE SHOWN HEREON.
 4) VERTICAL DATUM IS ADJACENT.

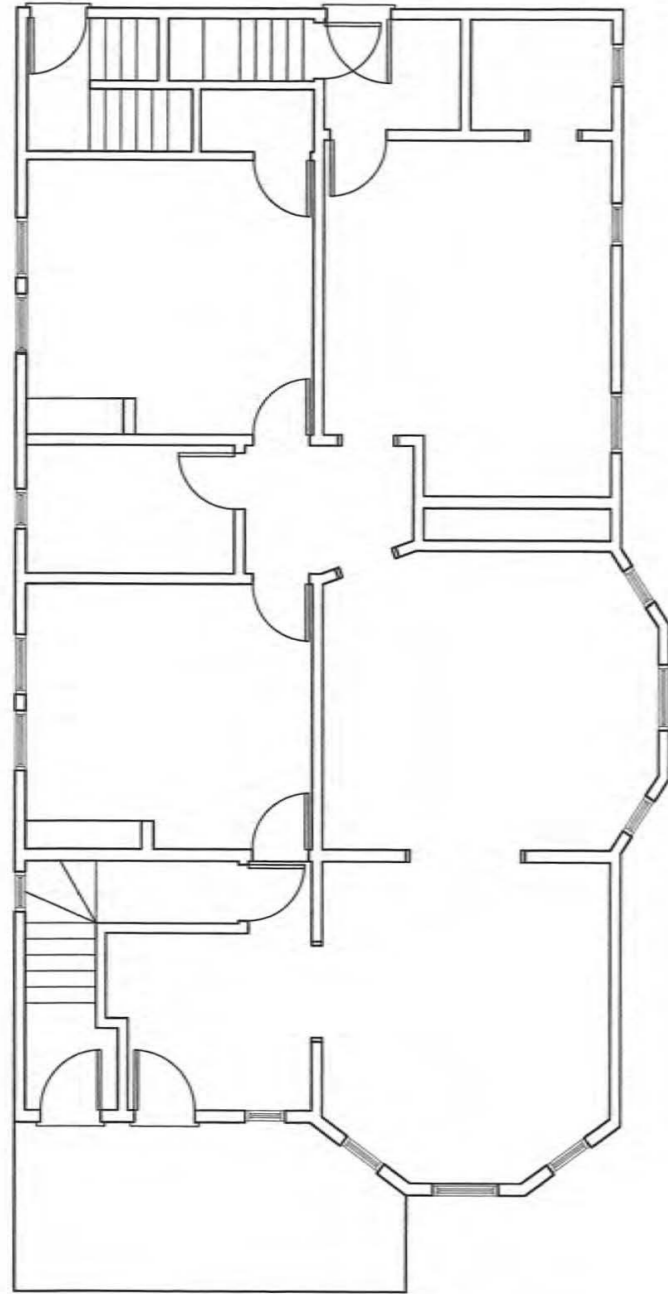
LEGEND:

- BM BENCHMARK
- BT BRICKS
- CONC CONCRETE
- CLF CHAIN LINK FENCE
- GF GAS VALVE
- MA MEASURED
- RE RECORD
- SM SEWER MANHOLE
- UP UTILITY POLE
- LU LUBRICATING (LUB) LINE
- VCL VERTICAL CURB
- VF VERTICAL CURB
- WF WATER VALVE

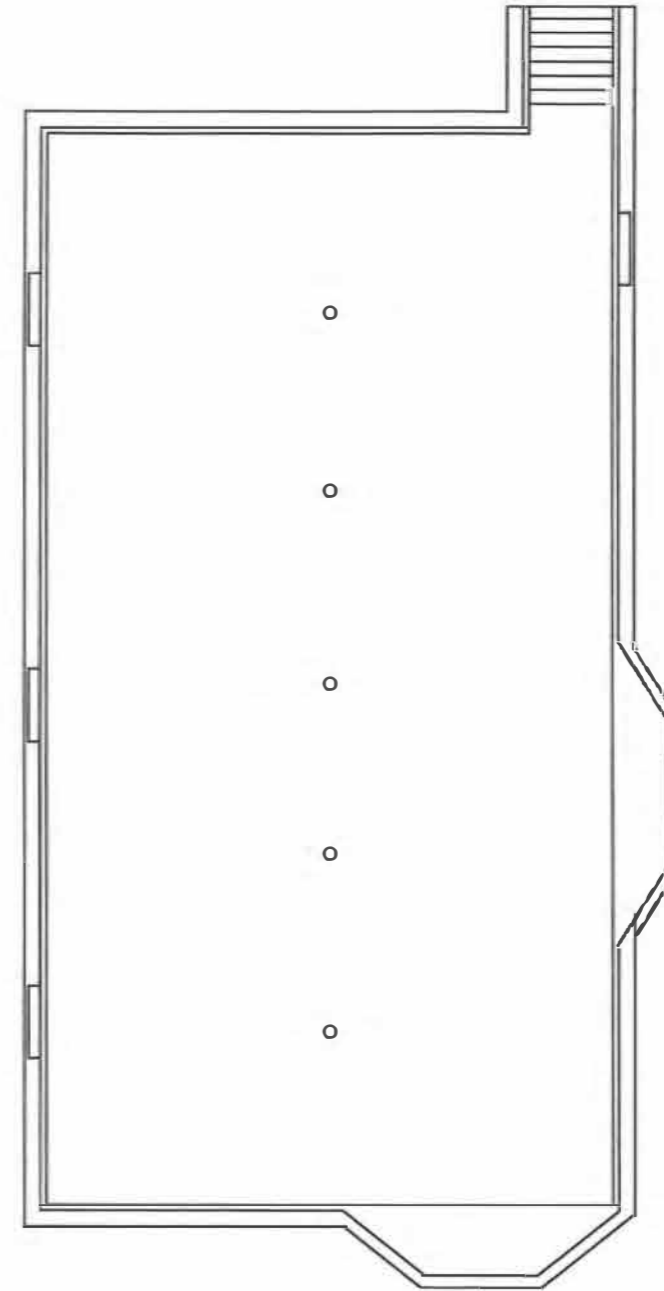


**TOPOGRAPHIC
 SITE PLAN**
 IN
ARLINGTON, MA
 AT 22-24 BELKNAP STREET
 PREPARED FOR
SGL DEVELOPMENT INC.
 BY
SUMMIT SURVEYING INC.
 4 SOUTH POND STREET, NEWBURYPORT, MA 01960
 TEL. 978-682-7109
 NOVEMBER 22, 2021
 WWW.SUMMITSURVEYINGINC.COM
 21-0145

SITE PLAN
 1" = 30'



FIRST FLOOR PLAN
1/8" = 1'-0"



BASEMENT PLAN
1/8" = 1'-0"

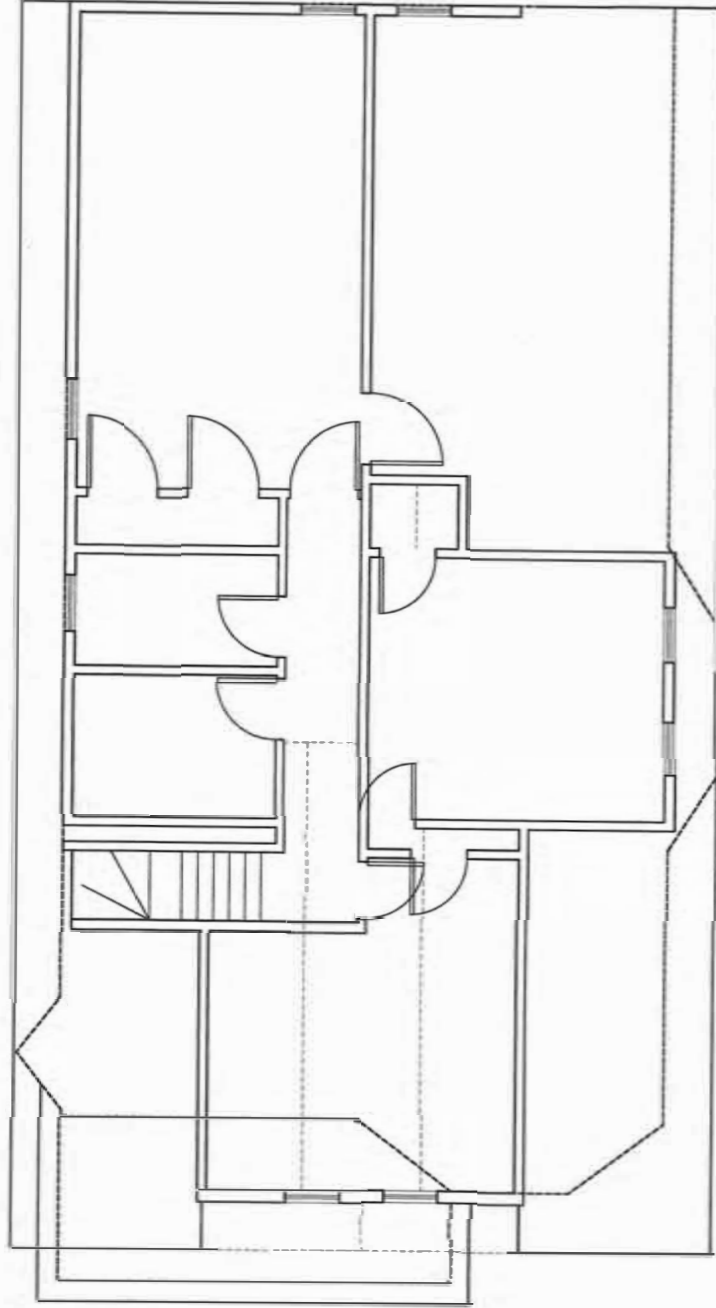


Project Title:
**22-24 Belknap Street
Arlington, MA**

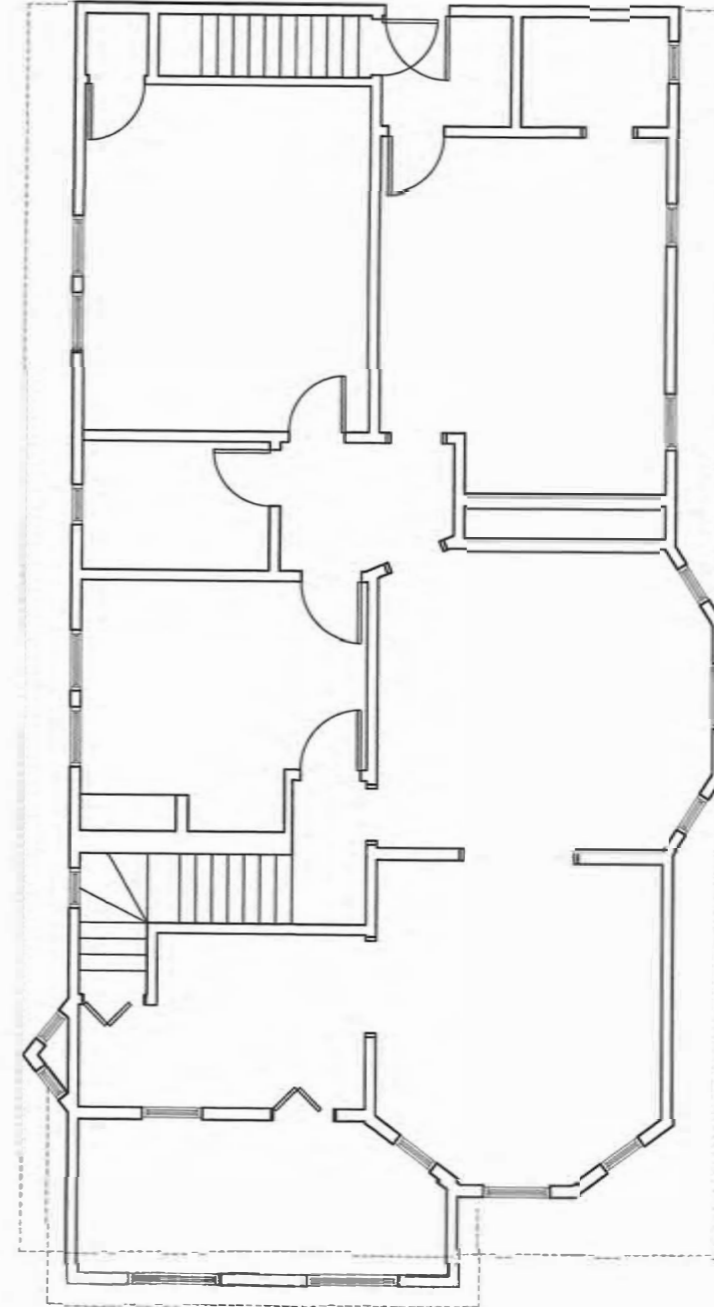
Drawing Title:
**EXISTING CONDITIONS:
FLOOR PLANS**

Revisions:		
#	Description	date

Project # 22018
Scale: 1/8" = 1'-0"
Date: OCT. 12, 2022
Drawing # **EX1.1**



ATTIC PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



Project Title:
**22-24 Belknap Street
Arlington, MA**

Drawing Title:
**EXISTING CONDITIONS:
FLOOR PLANS**

Revisions:		
#	Description	date

Project #: 22018
Scale: 1/8" = 1'-0"
Date: OCT. 12, 2022
Drawing#: **EX1.2**

Revisions:		
#	Description	date

Project # 22018
 Scale: 1/8" = 1'-0"
 Date: OCT. 12, 2022
 Drawing # **EX2.1**



LEFT SIDE ELEVATION
 1/8 = 1'-0"

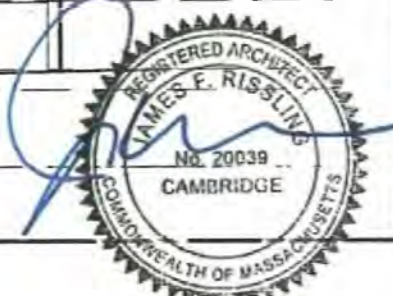
FRONT ELEVATION
 1/8 = 1'-0"

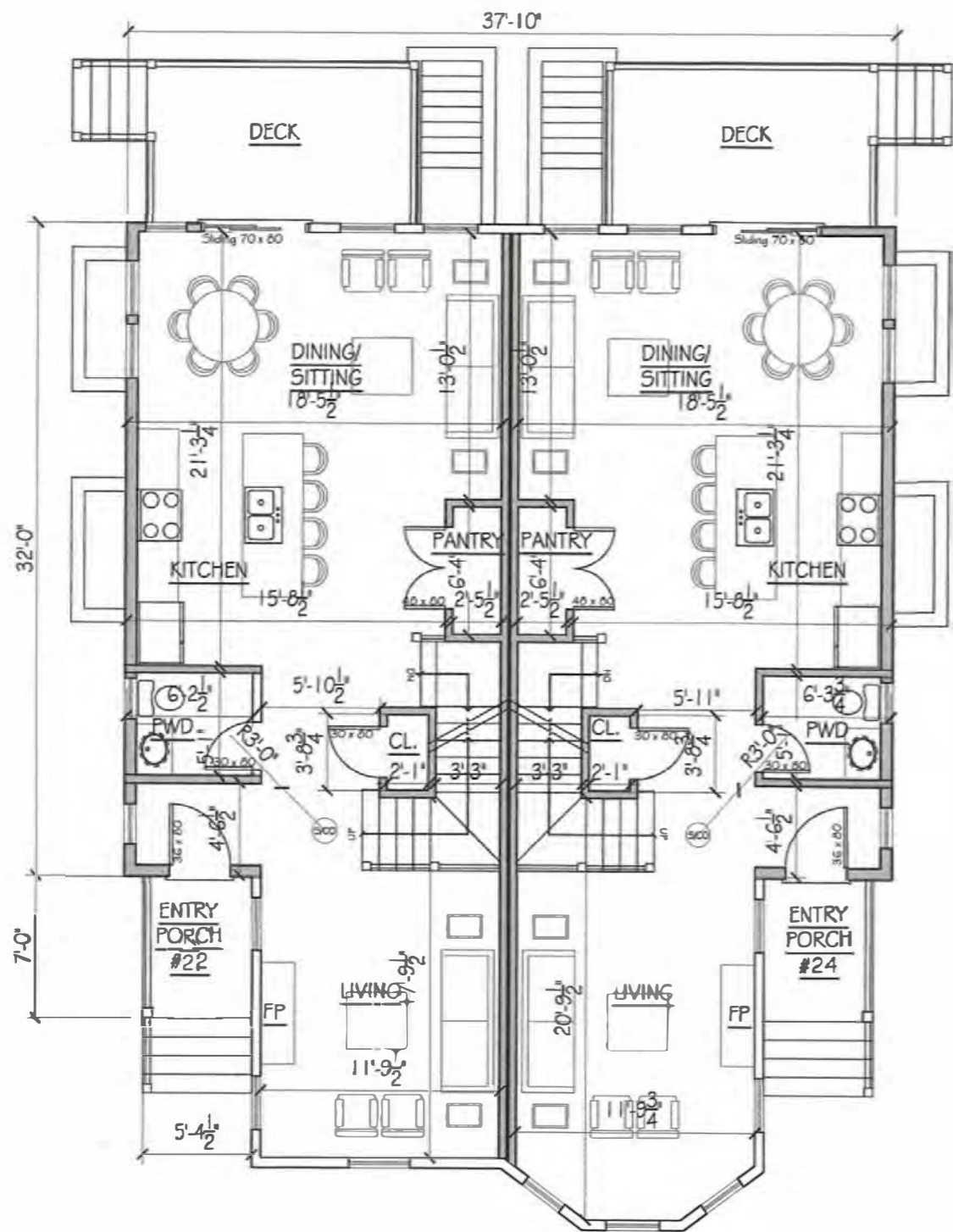


RIGHT SIDE ELEVATION
 1/8 = 1'-0"

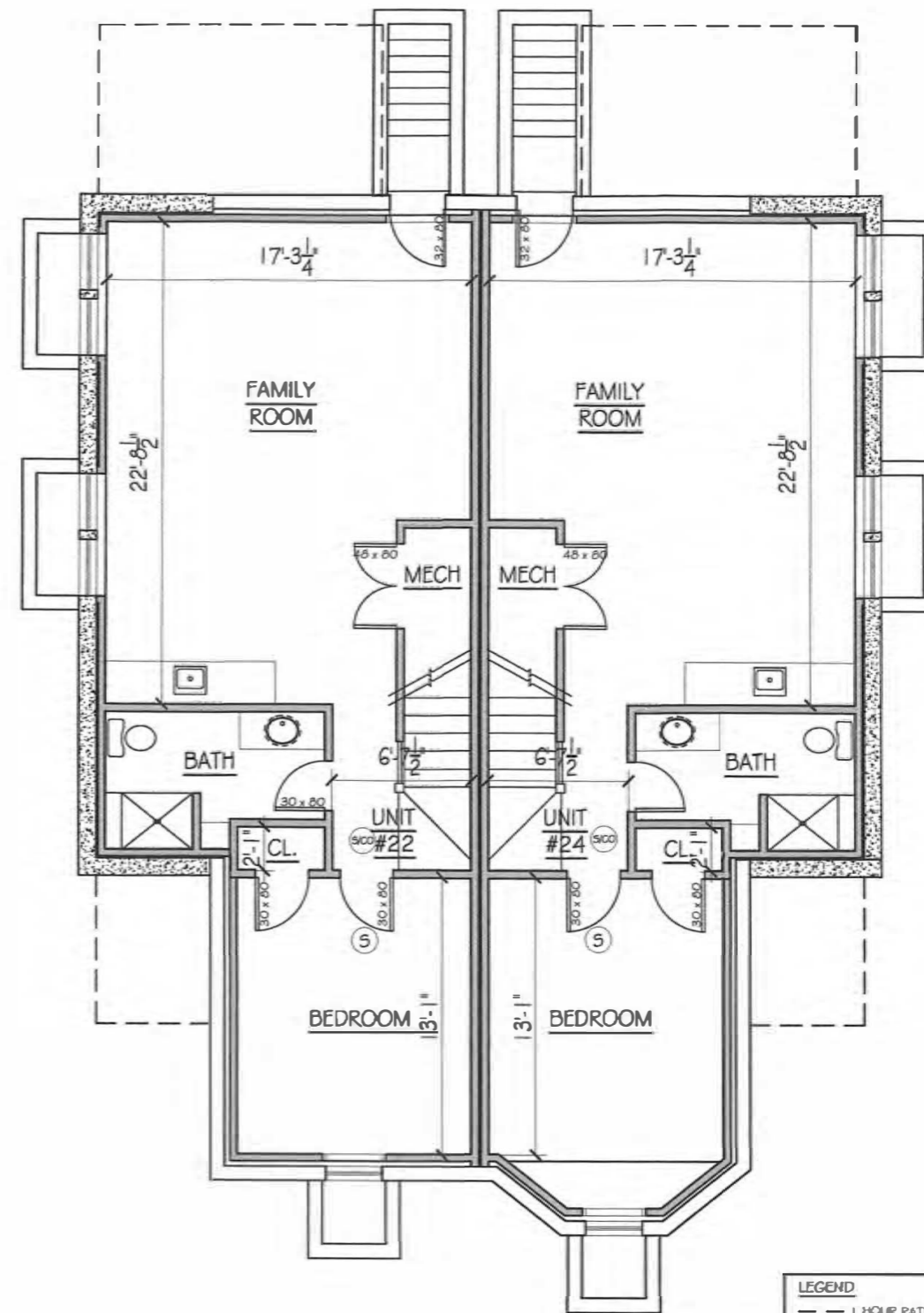


REAR ELEVATION
 1/8 = 1'-0"





FIRST FLOOR PLAN
1/8" = 1'-0"



BASEMENT PLAN
1/8" = 1'-0"

LEGEND

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- EXISTING WALL
- ⊙ SMOKE CARBON MONOXIDE DETECTOR
- ⊙ SMOKE DETECTOR
- ⊙ HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF EXISTING FINISH TO FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.



Project Title:
**22-24 Belknap Street
Arlington, MA**

Drawing Title:
**PROPOSED RENOVATIONS:
FLOOR PLANS**

Revisions:	#	Description	date

Project # 22018

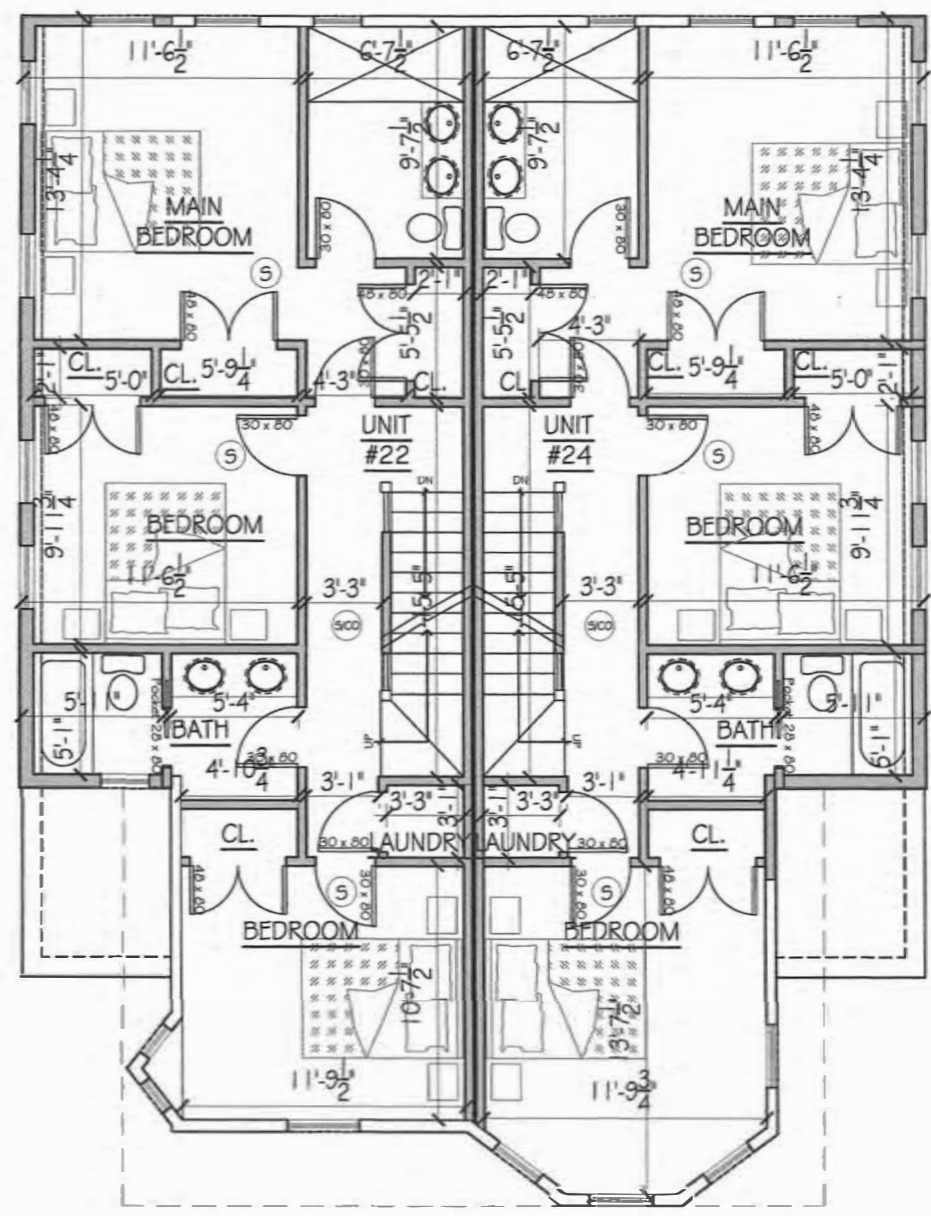
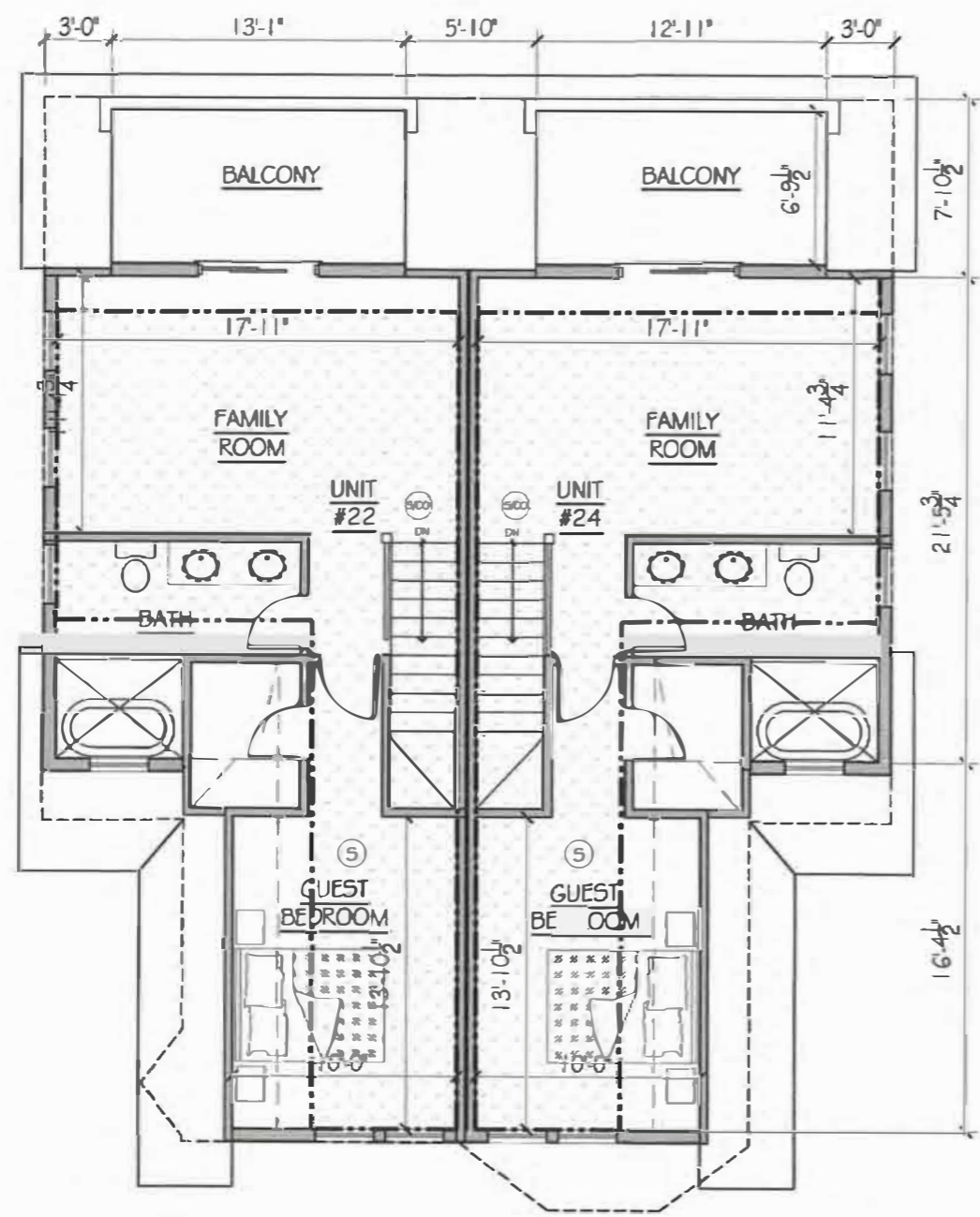
Scale: 1/8" = 1'-0"

Date: OCT. 12, 2022

Drawing # **A1.1**

Revisions:	#	Description	date

Project #	22018
Scale:	1/8" = 1'-0"
Date:	OCT. 12, 2022
Drawing #	A1.2



- LEGEND**
- 1 HOUR RATED ASSEMBLY
 - ▬ PROPOSED NEW WALL
 - ▬ EXISTING WALL
 - ⊙ SMOKE/CARBON MONOXIDE DETECTOR
 - ⊙ SMOKE DETECTOR
 - ⊙ HEAT DETECTOR

NOTE ON DIMENSIONS:
 DIMENSIONS ARE FROM FACE OF EXISTING FINISH TO FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.



LEFT SIDE ELEVATION
1/8" = 1'-0"

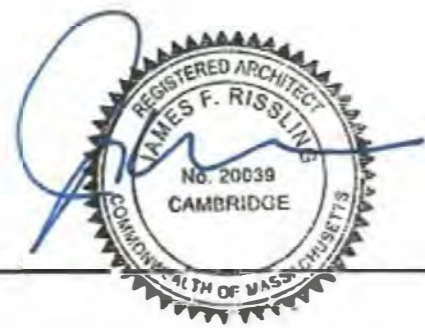
FRONT ELEVATION
1/8" = 1'-0"

Project Title:
**22-24 Belknap Street
Arlington, MA**

Drawing Title:
**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS**

#	Description	date

Project # 22018
Scale: 1/8" = 1'-0"
Date: OCT. 12, 2022
Drawing # **A2.1**



Project Title:
**22-24 Belknap Street
 Arlington, MA**

Drawing Title:
**PROPOSED RENOVATIONS:
 EXTERIOR ELEVATIONS**

Revisions:		
#	Description	date

Project # 22018

Scale: 1/8" = 1'-0"

Date: OCT. 12, 2022

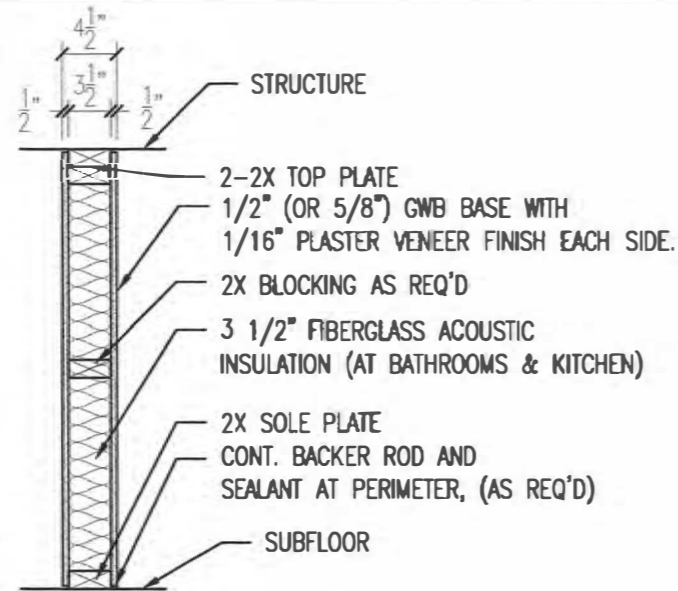
Drawing # **A2.2**



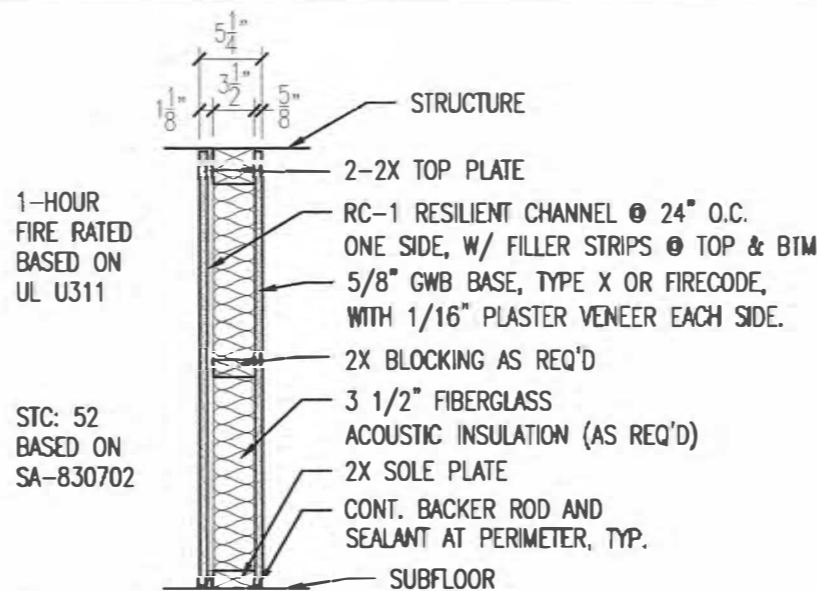
RIGHT SIDE ELEVATION
 1/8" = 1'-0"

REAR ELEVATION
 1/8" = 1'-0"

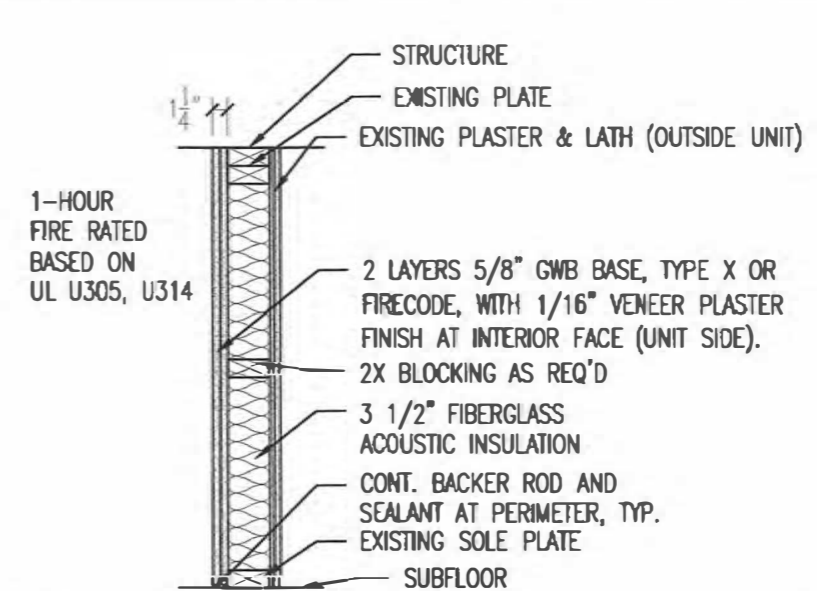




1 INTERIOR PARTITION
3/4" = 1'-0"



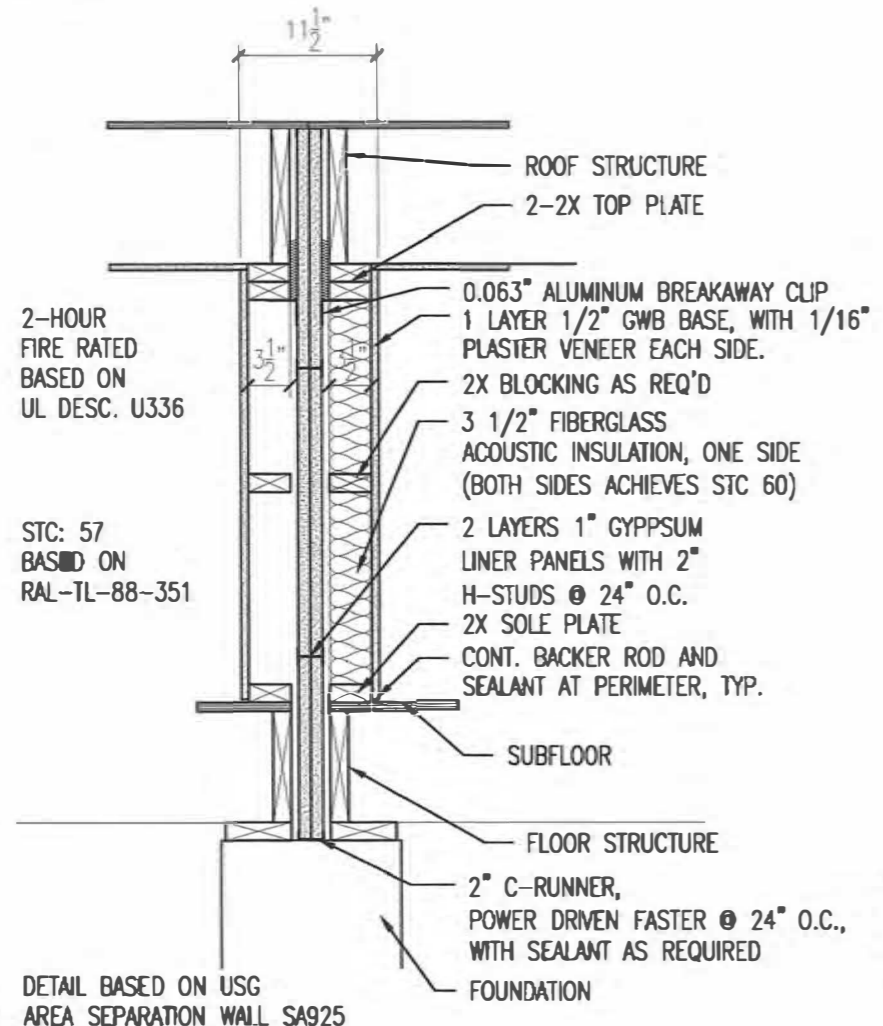
2 1-HOUR PARTITION: OPT #1
3/4" = 1'-0"



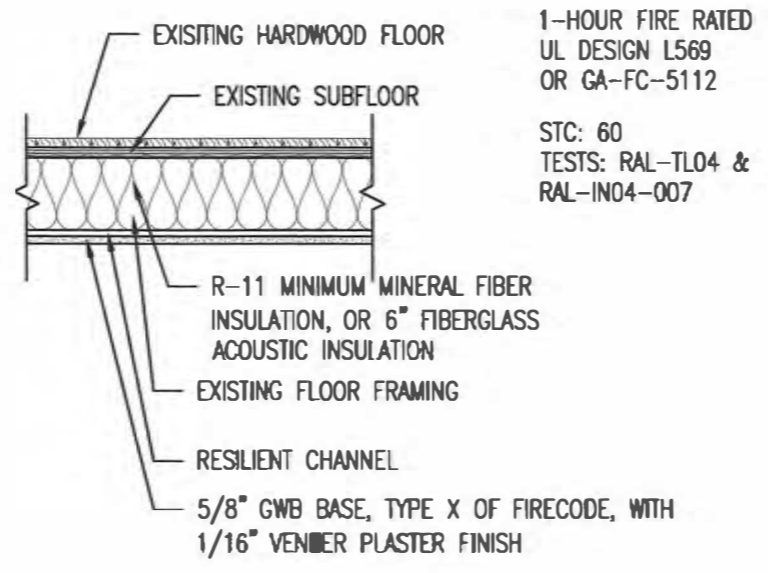
3 EXISTING PARTITION: 1-HOUR
3/4" = 1'-0"

- NOTES ON ONE-HOUR PARTITIONS:**
- DOORS IN ONE-HOUR WALLS SHALL HAVE 20 MIN. RATING MINIMUM.
 - FILL ALL GAPS IN EXISTING FRAMING WITH FULL DEPTH MEMBERS.
 - FIRESTOP ALL PENETRATIONS.

- PARTITION NOTES:**
- ALL ASSEMBLIES SHALL BE CONSTRUCTED PER DESIGNATED UL TESTED ASSEMBLY.
 - AT ALL FIRE PARTITION ASSEMBLIES, GYPSUM BOARD SHALL BE TYPE "X", FIRECODE BY USG, OR EQUAL.
 - USE ACOUSTICAL SEALANT AT TOP AND BOTTOM OF ALL PARTITIONS REQUIRING SOUND RATING.
 - USE RATED SEALANT AT FIRE RATED PARTITIONS. USE RATED ACOUSTICAL SEALANT AT RATED ACOUSTICAL PARTITIONS.
 - AT ALL FIRE RATED WALLS TO BE FINISHED IN TILE, USE 5/8" CEMENT BOARD SHEATHING (DUROCK, OR APPROVED EQUAL), MAINTAINING REQUIRED FIRE RATING.
 - AT ALL TUB LOCATIONS AT DEMISING OR FIRE SEPARATION WALLS, EXTEND 5/8" FIRE CODE GYPSUM OR 5/8" CEMENT BOARD SHEATHING TO SUBFLOOR BEHIND FIXTURE, MAINTAINING NOTED FIRE RATING ASSEMBLY.
 - PROVIDE SOLID BLOCKING TO SUPPORT CABINETS, TOILET ACCESSORIES AND FIXTURES REQUIRED FOR THE FINAL INTENT OF THE DESIGN.
 - AT BATHROOMS USE MOISTURE RESISTANT GYPSUM OR CEMENT BOARD.
 - EXTERIOR WALLS SHALL BE FILLED COMPLETELY WITH INSULATION IF EXISTING FINISHES ARE REMOVED
 - INSULATION SHALL BE:
 - SPRAY FOAM AT EXTERIOR
 - FIBERGLASS AT INTERIOR WALLS AND CEILING



4 2-HOUR AREA SEPARATION WALL
3/4" = 1'-0"

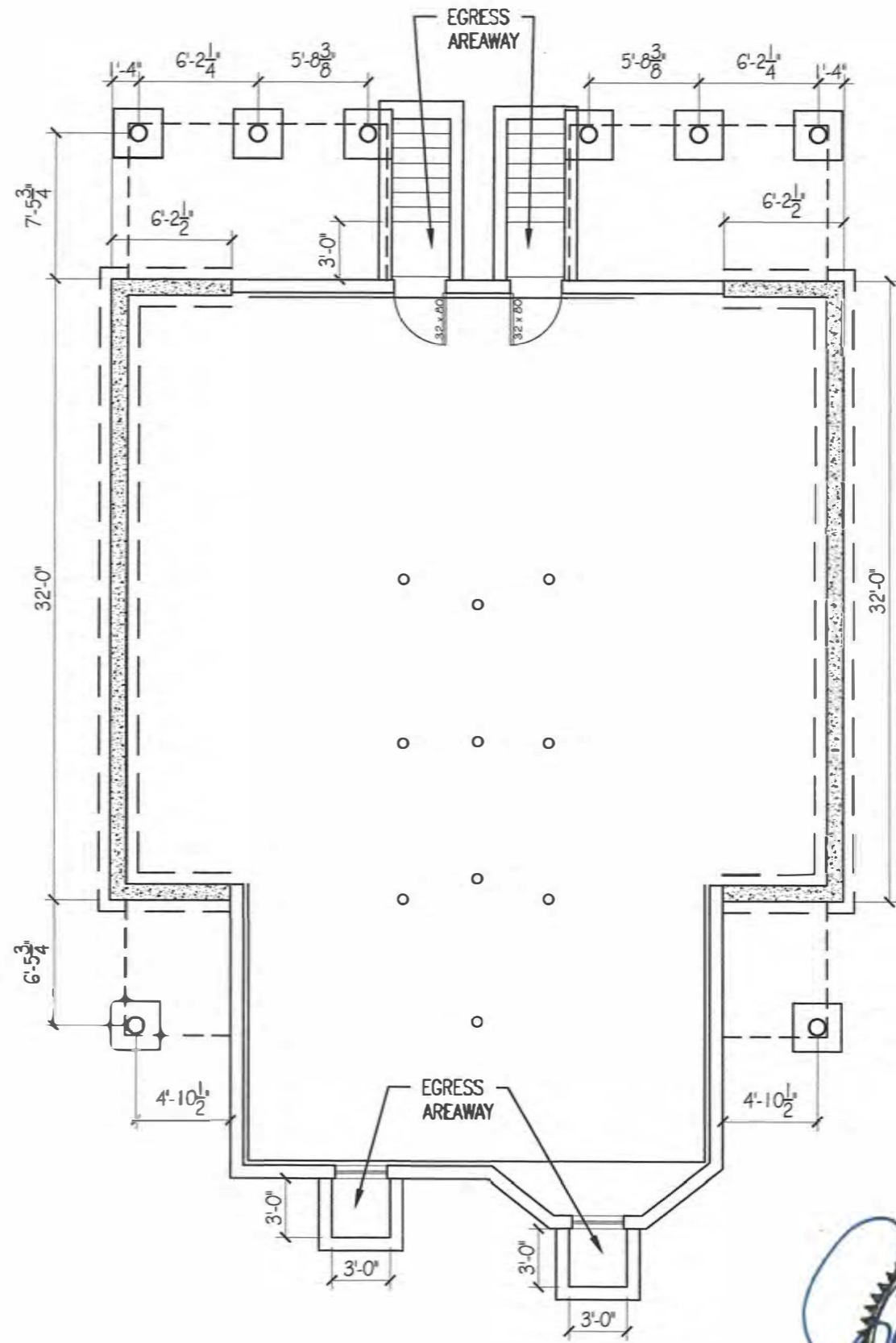


5 TYP. FLOOR/CEILING BETWEEN UNITS
3/4" = 1'-0"

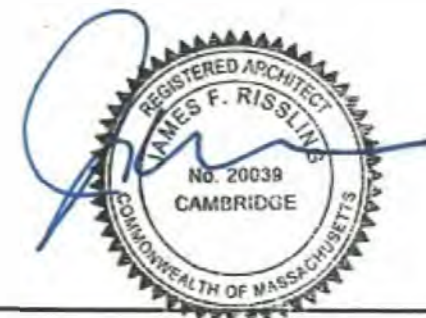
Revisions:		
#	Description	date

Project # 22018
Scale: 3/4" = 1'-0"
Date: OCT. 12, 2022
Drawing # **A3.1**





FOUNDATION PLAN
1/8" = 1'-0"



Revisions:		
#	Description	date

Project # 22018

Scale: 1/8" = 1'-0"

Date: OCT. 12, 2022

Drawing # **S1.1**