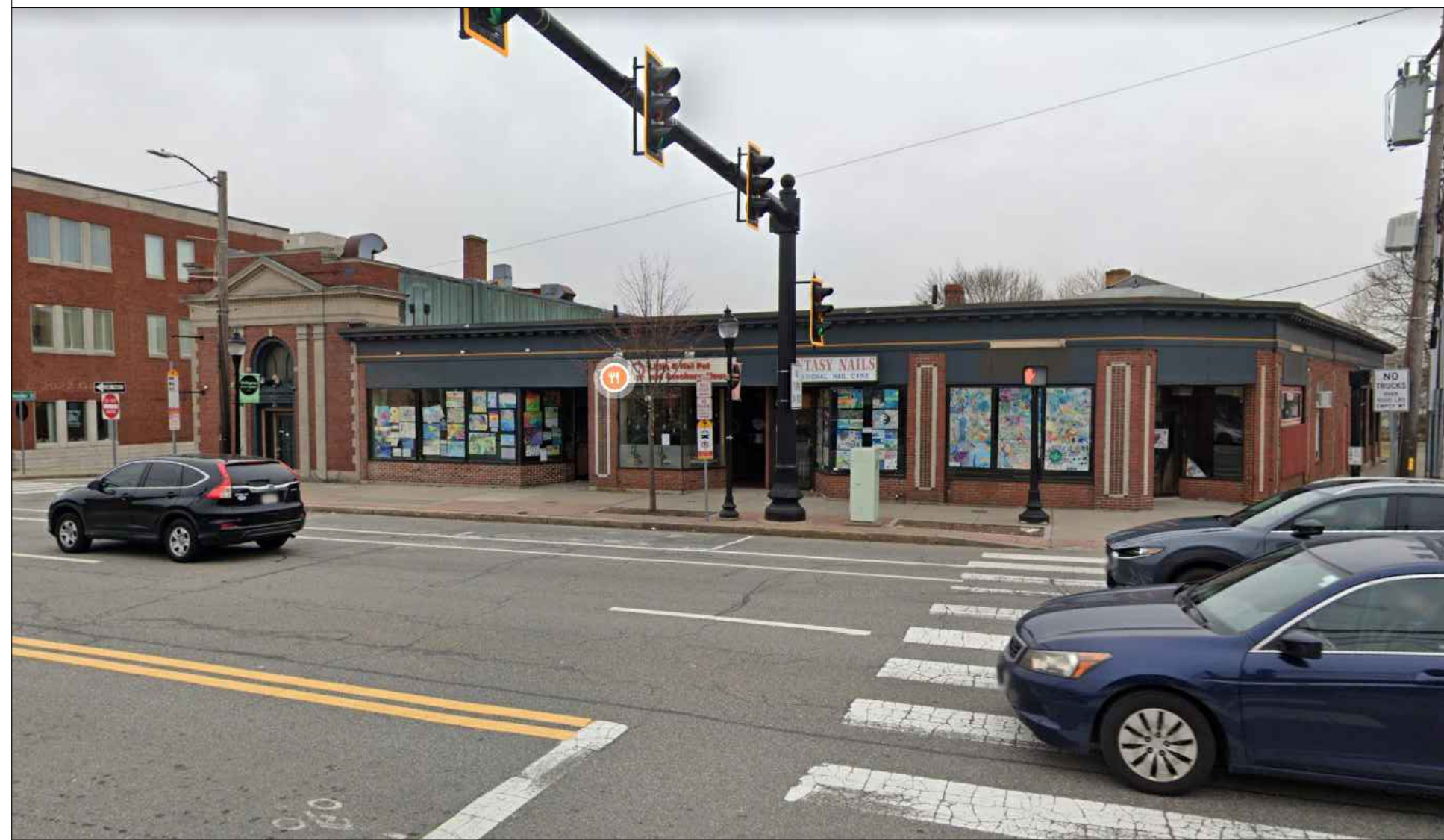
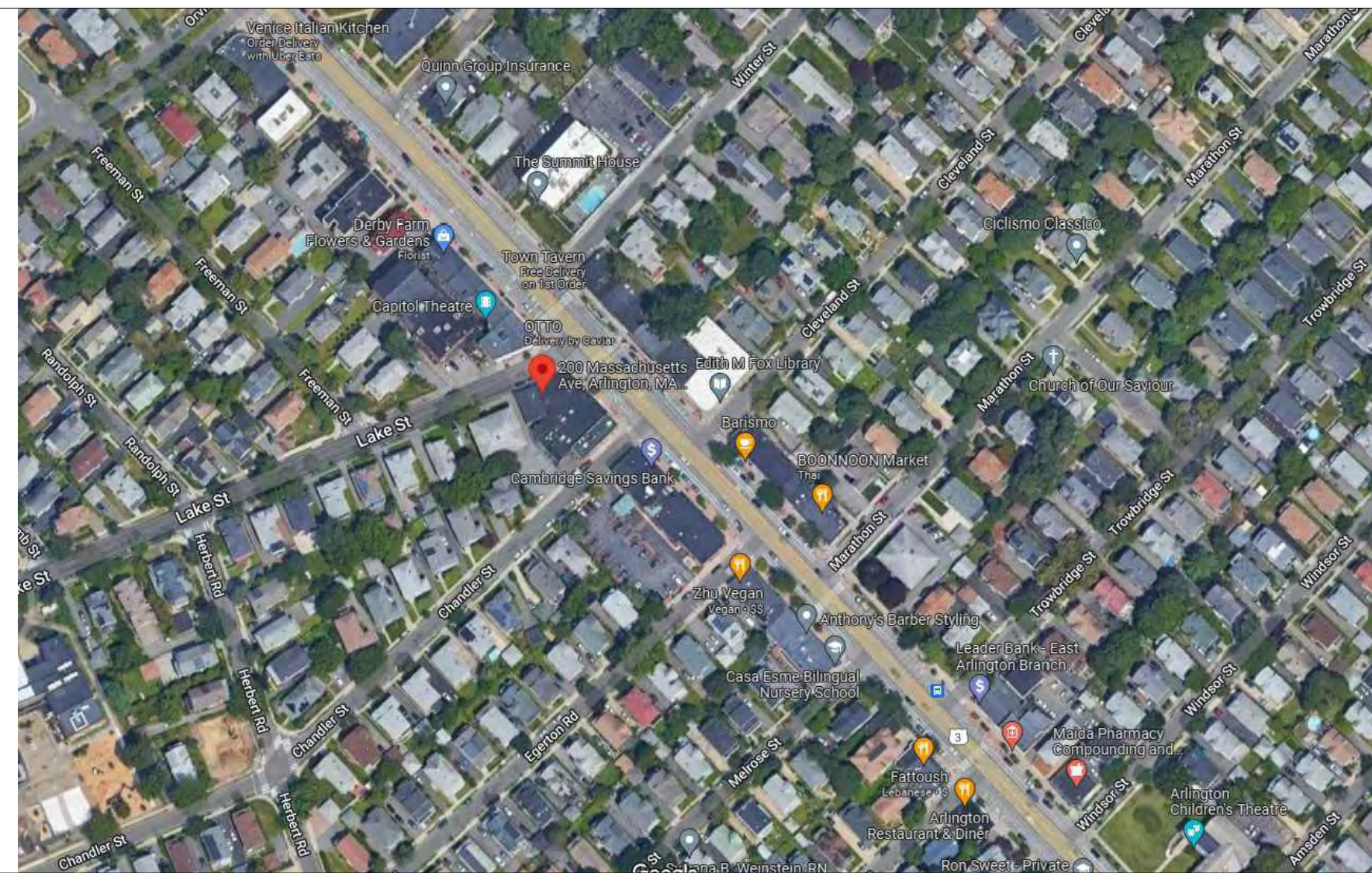


# PROPOSED MIXED-USE BUILDING :

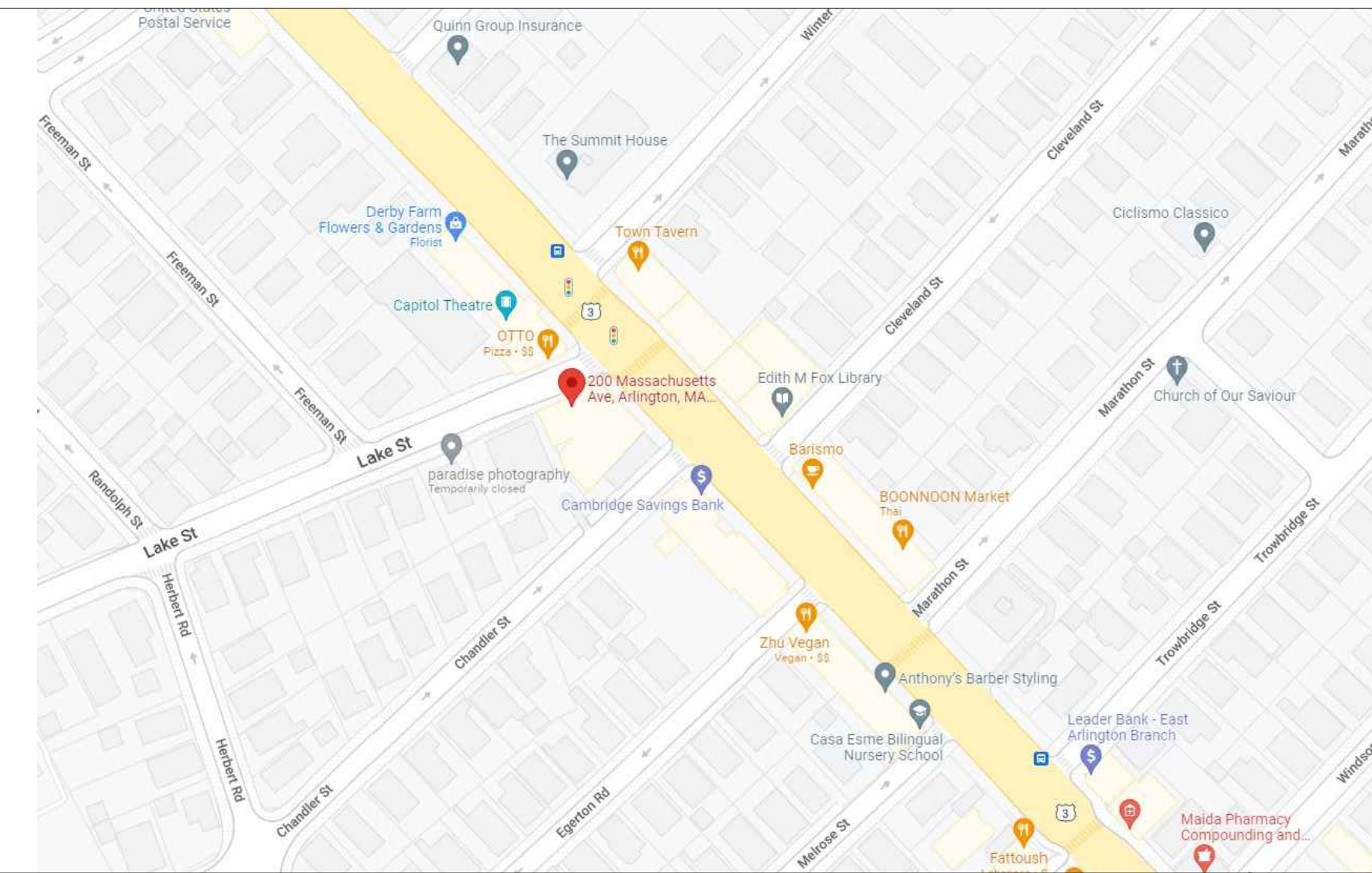
# 190-200 Massachusetts Ave, Arlington, MA



EXISTING SITUATION



AERIAL VIEW



LOCUS MAP

ARCHITECTURAL VISUALIZATION

**ZONING SUMMARY**  
 ZONE: B3 DISTRICT  
 MIN. LOT AREA: -  
 MIN. FRONTAGE: 50'  
 USABLE OPEN SPACE: 20%  
 MAX. HEIGHT: 60'  
 PROPOSED: ~48'  
 MAX. STORIES: 5 STORIES  
 PROPOSED: 4 STORIES  
 MAX. FAR: 3  
 PROPOSED FAR: 2.77

SETBACK REQUIREMENTS:  
 • FRONT: 0'  
 • SIDE: 0' (5'+2'+2')  
 • REAR: (H+L)/6

PARKING SPACE DIMENSIONS  
 • OPEN 8'-6"X18"  
 • COMPACT 8'X16' (20% MAX.)  
 • PARALLEL 8'X22"  
 • AISLE 24'

PROPOSED SETBACKS:  
 FRONT: 0"  
 SIDE: 7'-6"  
 REAR: 7'-6"

**PROJECT SUMMARY**  
 ZONE: B3 DISTRICT  
 LOT AREA: 11,134 SF.  
 FRONTAGE: 102'  
 PROPOSED OPEN SPACE: 28%  
 PROPOSED HEIGHT: 45'  
 PROPOSED STORIES: 4  
 PROPOSED FAR: 2.90  
 PROPOSED GFA: 32,366 SF.

**GRADE LEVEL**  
 RETAIL TENANT A 2730 SF  
 RETAIL TENANT B 1542 SF  
**TOTAL 4772 SF**

**2nd. LEVEL**  
 RESIDENTIAL UNIT 201 623 SF  
 RESIDENTIAL UNIT 202 646 SF  
 AFFORDABLE UNIT 203 417 SF  
 RESIDENTIAL UNIT 204 672 SF  
 AFFORDABLE UNIT 205 830 SF  
 RESIDENTIAL UNIT 206 742 SF  
 RESIDENTIAL UNIT 207 776 SF  
 RESIDENTIAL UNIT 208 692 SF  
 RESIDENTIAL UNIT 209 558 SF  
 RESIDENTIAL UNIT 210 743 SF  
**TOTAL 6699 SF**

**3rd. LEVEL**  
 RESIDENTIAL UNIT 301 623 SF  
 RESIDENTIAL UNIT 302 646 SF  
 RESIDENTIAL UNIT 303 417 SF  
 AFFORDABLE UNIT 304 672 SF  
 RESIDENTIAL UNIT 305 830 SF  
 RESIDENTIAL UNIT 306 742 SF  
 AFFORDABLE UNIT 307 776 SF  
 RESIDENTIAL UNIT 308 692 SF  
 RESIDENTIAL UNIT 309 558 SF  
 RESIDENTIAL UNIT 310 743 SF  
**TOTAL 6699 SF**

**4TH. LEVEL**  
 RESIDENTIAL UNIT 401 543 SF  
 RESIDENTIAL UNIT 402 585 SF  
 RESIDENTIAL UNIT 403 560 SF  
 RESIDENTIAL UNIT 404 440 SF  
 RESIDENTIAL UNIT 405 830 SF

RESIDENTIAL UNIT 406 742 SF  
 RESIDENTIAL UNIT 407 776 SF  
 AFFORDABLE UNIT 408 692 SF  
 RESIDENTIAL UNIT 409 558 SF  
 RESIDENTIAL UNIT 410 743 SF  
**TOTAL 5822 SF**

**ARCHITECT:**  
 DAVID BARSKY - ARCHITECT  
 320 Nevada Street,  
 Newton, MA 02460  
 MAX. 617.448.5872

**CIVIL P.E.:**  
 Allen & Major Associates  
 100 Commerce Way,  
 Woburn, MA 01801

SHEET	SHEET TITLE	DATE
A-000	COVER SHEET	12.21.2022
<b>ARCHITECTURAL</b>		
A-001	GENERAL NOTES	12.21.2022
A-100	PARKING LEVEL/BASEMENT PLAN	12.21.2022
A-101	1-ST LEVEL FLOOR PLAN	12.21.2022
A-102	2-ND LEVEL FLOOR PLAN	12.21.2022
A-103	3-RD LEVEL FLOOR PLAN	12.21.2022
A-104	4TH LEVEL FLOOR PLAN	12.21.2022
A-105	ROOF PLAN	12.21.2022
A-300	ELEVATIONS	12.21.2022
AV	ARCHITECTURAL VISUALIZATION	12.21.2022
AV	ARCHITECTURAL VISUALIZATION	12.21.2022
AS	SHADOW STUDY	12.21.2022



ARCHITECTURAL VISUALIZATION IN CONTEXT

SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
05	12.21.2022	ISSUED FOR REVIEW	
04	12.14.2022	ISSUED FOR INFORMATION	
03	12.01.2022	ISSUED FOR INFORMATION	
02	11.09.2022	ISSUED FOR INFORMATION	
01	10.31.2022	ISSUED FOR INFORMATION	0

ARCHITECT'S SEAL:

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CLIENT INFORMATION  
 SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
 190-200 Massachusetts Ave  
 Arlington, MA 02474

DRAWING TITLE  
 COVER SHEET

SCALE	1/8"=1'-0"	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	A-000
VERIFIED BY			



ARCHITECTURAL ABBREVIATIONS

<b>A</b>	AB ANCHOR BOLT ACFL ACoustical FLOOR ACG ACoustical GROUND ACT ACoustical CEILING TILE AD AREA DRAIN ADD ADDENDUM ADL ADDITIONAL ADJ ADJUSTABLE ADJ ADJACENT ADMIN ADMINISTRATION AFF ABOVE FINISH FLOOR AHU AIR HANDLING UNIT ALT ALTERNATE ALUM ALUMINUM ANUN ANNUNCIATOR AP ACCESS PANEL APC ARCHITECTURAL PRECAST CONCRETE APROX APPROXIMATE ARCH ARCHITECTURAL AUTO AUTOMATIC AWT ACOUSTICAL WALL TREATMENT	<b>B</b>	BA BUILDING ACCESSORY BBD BULLETIN BOARD BC BRICK COURSES BD BOARD BFE BOTTOM FOOTING ELEVATION BGR BUMPER GUARD BIT BITUMINOUS BKT BRACKET BLDG BUILDING BLKG BLOCKING BLT BORROWED LIGHT BLW BELOW BM BEAM BO BY OWNER BOP BY OWNER FUTURE BOT BOTTOM BR BRICK BRG BEARING BRL BRICK LEDGE BSMT BASEMENT BTWN BETWEEN BUR BUILT-UP ROOFING	<b>C</b>	CD COILING DOOR CG COILING GRILLE CL CENTER LINE CLS CEILING CLR CLEAR CM CONSTRUCTION MANAGER CMU CONCRETE MASONRY UNIT CNA CLEANOUT CO CASED OPENING COL COLUMN COMB COMBINATION-ED CONC CONCRETE CONF CONFERENCE CONN CONNECT-ED/H-ION CONST CONSTRUCTION CONT CONTINUOUS CONTR CONTRACTOR COORD COORDINATE CORR CORRIDOR CPT CARPET CT CERAMIC TILE CTR CENTER CTRS COUNTERSUNK CUH CURTAIN WALL CW COLD WATER CYL CYLINDER	<b>D</b>	D DEMO DEPR DEPRESSION DEPT DEPARTMENT DET DETAILS DF DRINKING FOUNTAIN DIA DIAMETER DAG DIAGONAL DIF DIFFUSER DM DIMENSION DISP DISPENSER DST DISTRIBUTION BOT BOTTOM DVT DUMMAY JOINT DN DOWN DNT DEMOUNTABLE PARTITION DP DATA PROCESSING DR DOOR DS DOWNSPOUT DWB DUMBWATER DW DRAWING DWS DOWELS	<b>E</b>	EJT EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EQ ELECTRICAL OUTLET EP EXPLOSION PROOF EQ EQUIP ES END SECTION EWC ELECTRIC WATER COOLER EVA EXCAVATED-ED/H-ION EXH EXHAUST AIR EXIST EXISTING EXP EXPANSION EFC EXHAUST FAN EIFS EXTERIOR INSULATION AND FINISH SYSTEM EJL ELEVATION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR EMERG EMERGENCY ENCL ENCLOSURE ENTR ENTRANCE EQ ELECTRICAL OUTLET EP EXPLOSION PROOF EQ EQUIP ES END SECTION EWC ELECTRIC WATER COOLER EVA EXHAUST AIR EXH EXHAUST HOOD EXIST EXISTING EXP EXPANSION EXT EXTERIOR	<b>F</b>	FRMG FRAMING FS FULL SIZE FS FLOOR FINISH FS TOP FLOOR FINISH FT FOOT/FEET FTR FLOOR TUBES RADIATION FLUR FLURRING FUT FUTURE	<b>G</b>	GA GAUGE GAL GALLONS GALV GALVANIZED GB GRAB BAR GB GRADE BEAM GC GENERAL CONTRACTOR GEN GENERATOR GEN GENERAL GL GLASS GMU GLASS MASONRY UNIT GR GRADE GWB GYPSUM BOARD GWBK GYPSUM BLUE BOARD W/ PLASTER SKIM COAT GYP SHGT GYPSUM SHEATHING	<b>H</b>	H HIGH HB HOSE BIB HD HAND DRYER HDCP HANDICAP HDR HEADER HDW HARDWARE HM HOLLOW METAL HORIZ HORIZONTAL HPT HIGHPOINT HR HANDRAIL HT HEIGHT HTR HEATER HVAC HEATING, VENTILATING, AIR CONDITIONING HW HOT WATER HWD HARDWOOD	<b>I</b>	IC INTERCOM ID INSIDE DIAMETER IN INCH INSUL INSULATION INT INTERIOR ISO ISOLATION	<b>J</b>	JAN JANITOR JB JUNCTION BOX JST JOIST JT JOINT	<b>K</b>	KO KNOCK OUT	<b>L</b>	L ANGLE LAV LAVATORY LFT FOUND LCD LINEAR CEILING DIFFUSER LF LINE FIGURED LNL LINEAR LKR LOCKER LLV LONG LEG VERTICAL LVC LINEAR WOOD CEILING	<b>M</b>	M MIDDLE MAN MANUAL MATL MATERIAL MAX MAXIMUM MBO MARKER BOARD MCD MEDICINE CABINET MCU MODULAR COOLING UNIT MECH MECHANICAL MEMB MEMBRANE MET METAL MEZZ MEZZANINE MFR MANUFACTURER MH MANHOLE MISC MISCELLANEOUS MIN MINIMUM MIR MIRROR MISC MISCELLANEOUS MO MASONRY OPENING MONO MONOLITHIC MFC METAL FAN CEILING MPU MULTI-PURPOSE UNIT MOUNT MOUNTED MTR MOTOR MULL MULLION	<b>N</b>	NA NOT APPLICABLE NC NOT IN CONTRACT NO NUMBER NOM NOMINAL NRG NOISE REDUCTION COEFFICIENT NT NOTE NTS NOT TO SCALE	<b>O</b>	OC ON CENTER OD OUTSIDE DIAMETER OFF OFFICE OH OVERHEAD OP OPERABLE PARTITION OPTR OPERATOR OPNG OPENING OPP OPPOSITE ORD OVERFLOW ROOF DRAIN	<b>P</b>	PART PARTITION PB PUSH BUTTON PC PRECAST CONCRETE PCO PAPER CUP DISPENSER PED PEDESTAL PLATE PLATE PL PROPERTY LINE PLAM PLASTER PLG PLUMBING PLW PLYWOOD PNL PANEL PR PAIR PRELIM PRELIMINARY PRES PLASTIC RESIN PRESS PRESSURE FRM FRAMING PROJ PROJECTION PRV POWER ROOF VENTILATOR PNT PAINT FTC PAPER TOWEL CABINET PTR PRINTER PVC POLYVINYL CHLORIDE	<b>Q</b>	QT QUARRY TILE	<b>R</b>	R RADIUS R RISER RA RETURN AIR RAD RADIATION RS RESILIENT BASE RD ROOF DRAIN REC RECESSED REC RELOCATE EXISTING REF REFERENCE REPR REFRIGERATOR REG REGISTER REIN REINFORC-ED/H-ING REMO REMOVE REQD REQUIRED RET RETAINING REV REVERSE RV REVISE RF RESILIENT FLOOR RH ROOF HATCH RM ROOM RO ROUGH OPENING RS ROUGH SLAB RWC RAIN WATER CONDUCTOR	<b>S</b>	S SINK SCH SCHEDULE SD SHOWER DRAIN SD SMOKE DAMPER SDISP SOAP DISPENSER SECT SECTION SECRET SECRETARY SF STORE FRONT SF SQUARE FOOT SHD SHOWER HEAD SHT SHEET SHT SHEATHING SIM SIMILAR SMT SEALER SNT SILL SLEVE SLEEVE SM SURFACE MOUNTED SNC SANITARY NAPKIN CABINET SND SANITARY NAPKIN DISPOSER SOG SLAB ON GRADE SPC STANDPIPE SPECIFICATIONS SFR SINGLE PLY ROOF SQ SQUARE SQ YD SQUARE YARD SRV SERVICE RECEPTOR SRV SERVICE SINK SST STAINLESS STEEL ST STREET ST STONE TILE STC SOUND TRANSMISSION STD STANDARD STL STEEL STN STONE STNL STONE LEDGE STOR STORAGE STRUCT STRUCTURAL	<b>T</b>	T TOP TAN TANGENT TBD TACKBOARD TC TIME CLOCK TCAB TOWEL CABINET TDISP TISSUE DISPENSER TRD TRENCH DRAIN TEL TELEPHONE TEMP TEMPERATURE TER TERRAZZO TG TONGUE & GROOVE TGL THRESHOLD TFG TEMPERED PLATE GLASS TPh TOILET PAPER HOLDER TR TREAD TRANSF TRANSFORMER TS TUBE SECTION TV TELEVISION TYP TYPICAL	<b>U</b>	U URINAL LIC UNDERCUT UFD UNDER FLOOR DUCT UG UNDERGROUND UH UNIT HEATER UNFIN UNFINISHED UNO UNLESS NOTED OTHERWISE US UTILITY SHELF UTIL UTILITY	<b>V</b>	VC VALVE CABINET VENT VENTILATION VERT VERTICAL VEST VESTIBULE VR VAPOR RETARDER VTR VENT THROUGH ROOF	<b>5</b>	STS STEEL STRUCTURE SUVP SUPERVISOR SUSP SUSPENDED SW STEEL WINDOWS SW SWITCH SWD SOFTWOOD SYM SYMMETRICAL	<b>W</b>	W WIDTH W WIDE FLANGE W WITH W/O WITHOUT WC WATER CLOSET WC WALL COVERING WD WOOD W/O WINDOW WG WALL GUARD WH WALL HOOK WHC WHEELCHAIR WHTR WATER HEATER WP WATERPROOF WR WASTE RECEPTACLE WS WEATHERSTRIP WSCT WAINSCOT WT WINDOW TREATMENT WT WEIGHT WW WOOD WINDOW WWF WELDED WIRE FABRIC
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**SYMBOLS**

	LEVEL LINE, CONTROL OR DATUM ELEVATION		DETAIL REFERENCE DRAWING NUMBER
	REVISION NUMBER		EXTERIOR ELEVATION NUMBER
	PARTITION TYPE		INTERIOR ELEVATION KEY
	CASEWORK TYPE		ROOMSPACE NUMBER
	INTERIOR WINDOW TYPE		DOOR NUMBER
	WINDOW TYPE		DASH AND DOT CENTER LINE
	COLUMN REFERENCE GRID		DASH AND DOUBLE DOT LINES PROPERTY LINES, BOUNDARY LINES
	BUILDING SECTION REFERENCE DRAWING NUMBER		WALL SECTION REFERENCE DRAWING NUMBER
	SECTION DETAIL REFERENCE DRAWING NUMBER		DIMENSION LINE
	BREAK LINE TO BREAK OFF PARTS OF A DRAWING		DOTTED LINE HIDDEN OR CONSTRUCTION ABOVE, BEYOND

**INDICATION OF MATERIALS**

EARTH	EARTH COMPACT FILL	POROUS FILL GRAVEL
CONCRETE	CONCRETE	SAND MORTAR
MASONRY	BRICK	CONCRETE MASONRY UNIT
STONE	RUBBLE	MARBLE
METAL	STEEL/IRON	ALUMINUM
WOOD	WOOD SHIM	CONTINUOUS BLOCKING
	PLYWOOD	FINISH
GLASS	GLASS	GLASS BLOCK
INSULATION	BATT/ LOOSE FILL	RIGID
	FIRE SAFING	
FINISHES	GYPSUM WALL BOARD	ACOUSTICAL TILE

- GENERAL NOTES**
- GENERAL CONDITIONS : THE GENERAL CONDITIONS FOR THIS CONTRACT SHALL BE AIA DOCUMENT A201 (1987 EDITION) EXCEPT AS HEREIN AMENDED.
  - SCOPE : WORK TO INCLUDE DEMOLITION AND CONSTRUCTION AS INDICATED ON THE DRAWINGS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
  - CODES : ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND ARCHITECT AGAINST ANY CLAIM OR LIABILITY ARISING FROM ANY SUCH CODE OR REGULATION.
  - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
  - QUALITY : WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURERS SPECIFICATIONS.
  - COORDINATION OF THE WORK : THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTORS INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
  - MECHANICAL TRADES : THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
  - EXAMINATION OF THE SITE AND DOCUMENTS : THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
  - SEPARATE CONTRACTS : THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
  - GUARANTEE : ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
  - TRASH REMOVAL : PRIOR TO STARTING WORK, THE GENERAL CONTRACTOR SHALL PROVIDE A CONSTRUCTION DUMPSTER AND PICKUP SERVICE FOR ALL CONSTRUCTION DEBRIS (DUMPSTER LOCATION TO BE COORDINATED WITH THE OWNER). AT THE END OF EACH DAY, THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE AND OR WITHIN THE BUILDING. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR THE REMOVAL AND BACK CHARGE THE CONTRACTOR.
  - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
  - ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
  - THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE ARCHITECT SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
  - IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES /DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
  - ALL WORK IS NEW UNLESS OTHERWISE NOTED.
  - ALL WALLS AND CEILINGS TO BE 5/8in FIRE CODE OR 1/2in GYPSUM BOARD, 5/8in MOISTURE RESISTANT TYPE X OR 5/8in CEMENT BOARD. FINISH AND TEXTURE TO BE SELECTED BY OWNER. MATERIAL AS MANUFACTURED BY U.S. GYPSUM OR EQUAL FINISH (CEMENT ACCESSORIES AND TAPE OR SKIM COAT). ALL JOINTS AND NAIL HEADS READY FOR PAINT, TILE, WOOD TRIM, VVC, OR PANELING.
  - STORAGE : THE CONTRACTOR SHALL PROVIDE ON SITE WEATHER PROTECTED STORAGE SPACE, I.E.: TRAILER. STORAGE OF CONSTRUCTION MATERIALS IN THE EXISTING BUILDING WILL NOT BE PERMITTED.
  - PROTECTION : THE CONTRACTOR SHALL PROTECT ALL PUBLIC AND ADJACENT AREAS FROM DAMAGE DURING CONSTRUCTION.
  - TEMPORARY SERVICES : THE CONTRACTOR WILL PAY FOR EXISTING SERVICES (WATER, TELEPHONE AND ELECTRICITY) AND WILL TURN OVER THESE SERVICES TO THE OWNER UPON FINAL ACCEPTANCE OF THIS PROJECT.
  - THE CONTRACTOR SHALL VERIFY LOCATION AND ACTUAL DEPTH OF ALL EXISTING SANITARY PIPING, STORM DRAINS, GAS AND WATER MAINS, ELECTRICAL LINES AND PIPES. HE IS ALSO ADVISED TO VERIFY ACTUAL INVERTS OF SANITARY AND STORM LINES BY HAND DUG TEST PITS WELL IN ADVANCE OF TRENCHING AND CONSTRUCTION. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT. ALL NECESSARY PERMITS AND APPROVALS MUST BE OBTAINED FROM PROPER AUTHORITIES.
  - ARCHITECTURAL, MECHANICAL, ELECTRICAL, ELEVATOR, & SPRINKLER : EACH CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
  - ALL WORK IS NEW UNLESS OTHERWISE NOTED.
  - DAMAGE : THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING BUILDING, WALLS, CEILINGS, FLOORS, FURNITURE AND FURNISHINGS. DAMAGED SURFACES DUE TO CONSTRUCTION TO BE PATCHED, REPAIRED AND/OR REPLACED AS REQUIRED AND BLEND TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO OWNER.
  - THE GENERAL CONTRACTOR SHALL PREPARE A BOOKLET CONTAINING : LIST OF SUBCONTRACTORS USED ON THIS JOB WITH NAMES, ADDRESSES AND TELEPHONE NUMBERS. ALL WARRANTIES AND INSTRUCTION MANUALS FOR EQUIPMENT AND MATERIALS INSTALLED WILL BE ISSUED TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF BUILDING, AND PRESENT BOOKLET TO OWNER PRIOR TO FINAL ACCEPTANCE OF OWNER.
  - CARPET AND/OR TILE : CARPET AND/OR TILE AS SELECTED AS PER DRAWINGS.
  - HANDICAPPED REQUIREMENTS : THE GENERAL CONTRACTOR WILL ACQUAINT HIMSELF WITH THE ARCHITECTURAL ACCESS BOARD (AAB) CODE FOR THE STATE OF MASSACHUSETTS AND THE ADA (AMERICANS WITH DISABILITIES ACT) TO ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE.
  - SPRINKLER HEAD LOCATION : REFER TO N.F.P.A. STANDARDS. SPRINKLER HEADS TO BE LOCATED PER CODE. SHOP DRAWINGS ARE REQUIRED TO BE SUBMITTED TO THE CONTRACTOR FOR APPROVAL PRIOR TO INSTALLATION.
  - THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, INSERTS, BOXES, HANGERS, ETC.
  - ALL INTERIOR FINISHES AND FURNISHINGS FOR CEILINGS, WALL AND FLOORS SHALL BE CLASS 1 in WITH A FLAME SPREAD RATING OF 0 TO .25.
  - SUBMIT SAMPLES OF ALL PAINTS AND STAINS FOR APPROVAL PRIOR TO APPLICATION.
  - BEFORE COMMENCING WORK, THE GENERAL CONTRACTOR WILL MEET WITH THE APPOINTED COMPANY REPRESENTATIVE TO OUTLINE PHASING OF CONSTRUCTION AND DISPOSITION OF EXISTING CONSTRUCTION MATERIALS AND/OR EQUIPMENT.
  - ALL WOODS BLOCKING TO BE PRESSURE TREATED, FIRE RETARDANT.

05	12.21.2022	ISSUED FOR REVIEW	
04	12.14.2022	ISSUED FOR INFORMATION	
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01	10.31.2022	ISSUED FOR INFORMATION	0

SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
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ARCHITECT'S SEAL:

**COMMERCIAL RESIDENTIAL HOSPITALITY**  
 320 NEVADA STREET, SUITE 301  
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 E-MAIL: DAVID.BARSKY@DAVIDBARSKYARCHITECT.COM

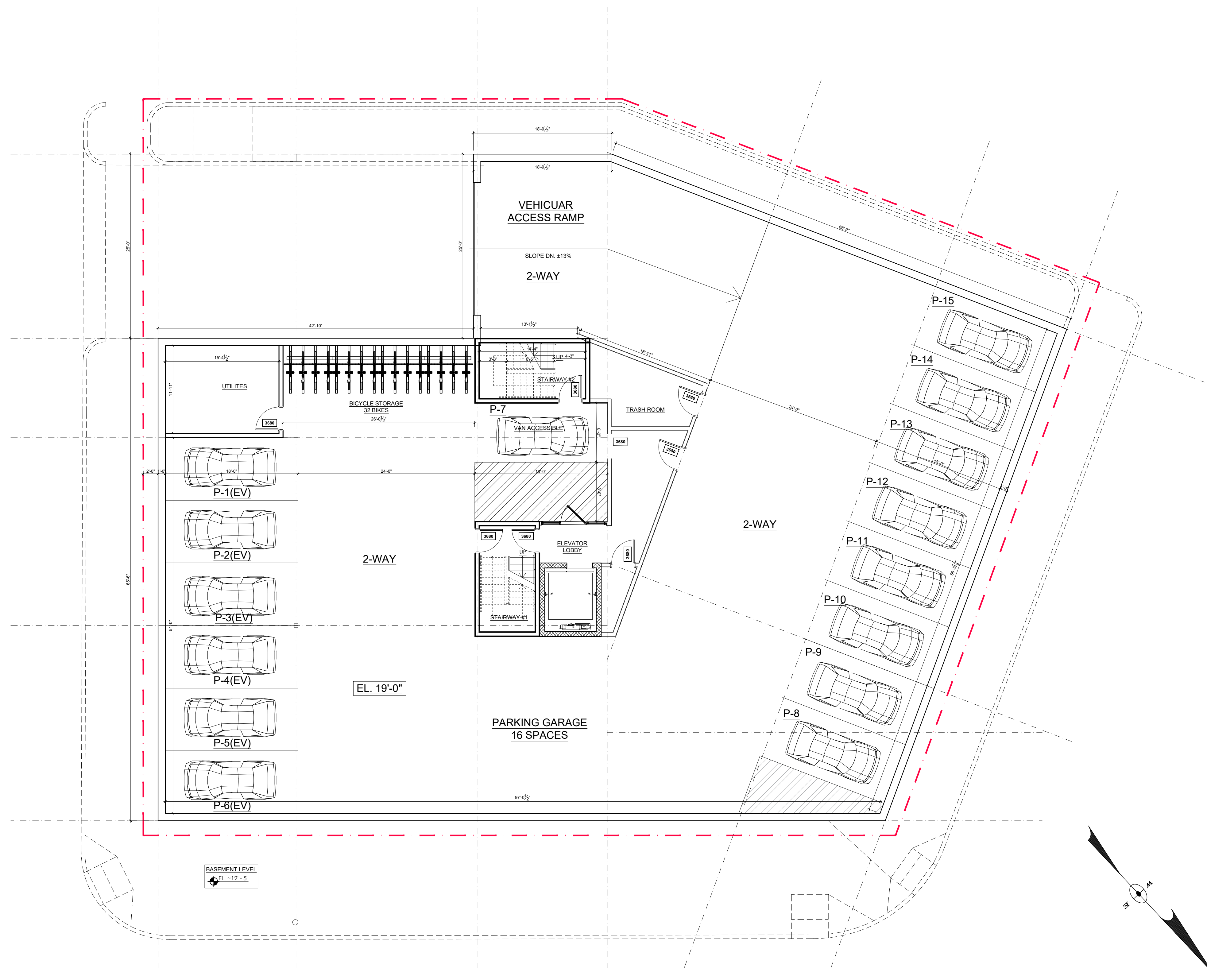
**CLIENT INFORMATION**  
 SUMMIT REAL ESTATE STRATEGIES LLC.

**PROJECT LOCATION**  
 190-200 Massachusetts Ave  
 Arlington, MA 02474

**DRAWING TITLE**  
 GENERAL NOTES

SCALE	NTS	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	A-001
VERIFIED BY			





SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
05	12.21.2022	ISSUED FOR REVIEW	
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ARCHITECT'S SEAL:

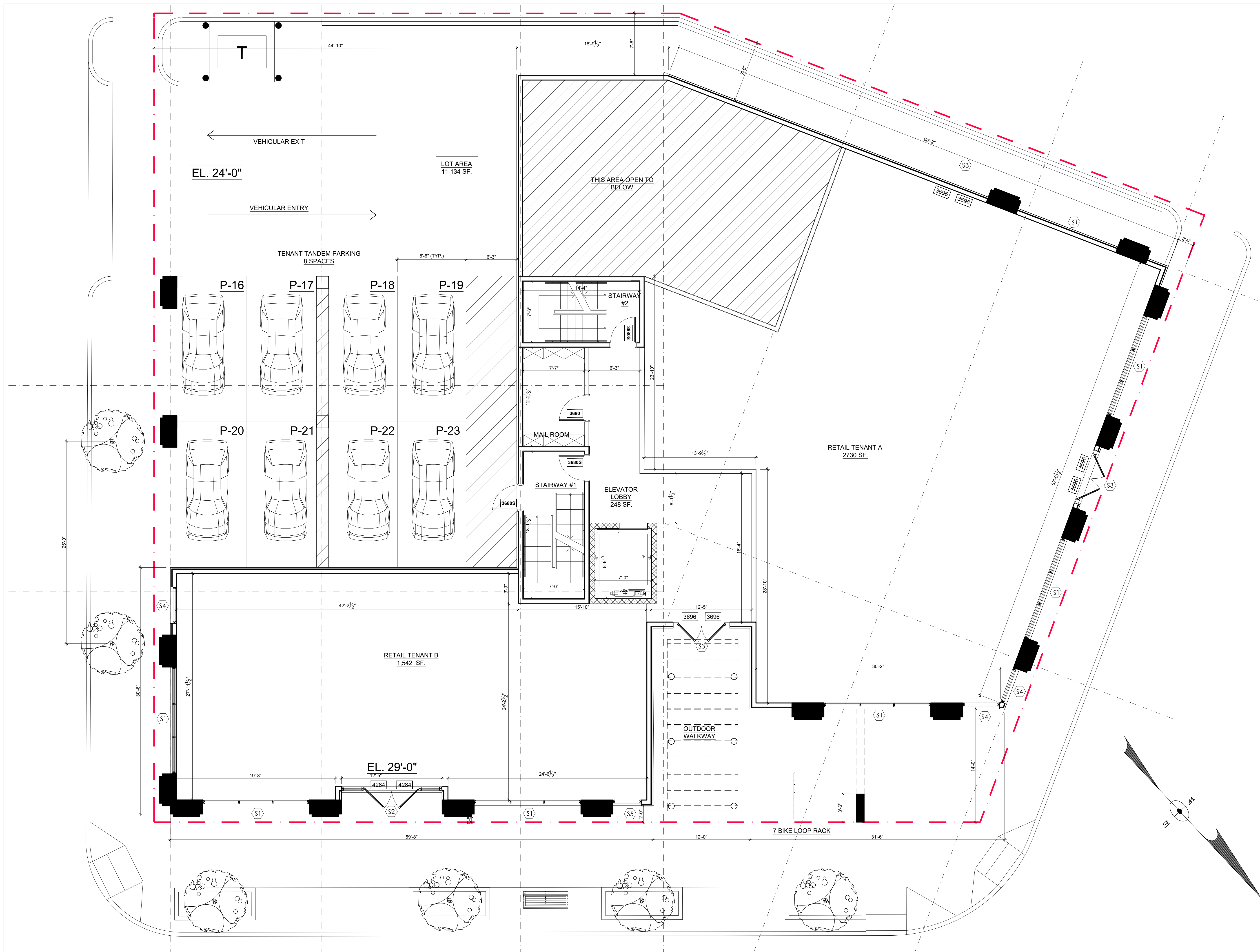
**COMMERCIAL RESIDENTIAL HOSPITALITY**  
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 NEWTON, MA 02460  
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CLIENT INFORMATION  
 SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
 190-200 Massachusetts Ave  
 Arlington, MA 02474

DRAWING TITLE  
**PARKING/ BASEMENT LEVEL**

SCALE	1/8"=1'-0"	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	A.100
VERIFIED BY			



05	12.21.2022	ISSUED FOR REVIEW	
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SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.

ARCHITECT'S SEAL:

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CLIENT INFORMATION  
 SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
 190-200 Massachusetts Ave  
 Arlington, MA 02474

DRAWING TITLE  
 1-st LEVEL FLOOR PLAN

SCALE	3/16"=1'-0"	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	A.101
VERIFIED BY			





2-ND LEVEL

05	12.21.2022	ISSUED FOR REVIEW	
04	12.14.2022	ISSUED FOR INFORMATION	
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02	11.09.2022	ISSUED FOR INFORMATION	
01	10.31.2022	ISSUED FOR INFORMATION	0

SUB. NO. SUBMITTAL DATE DESCRIPTION REV. NO.  
 ARCHITECT'S SEAL:



CLIENT INFORMATION  
 SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
 190-200 Massachusetts Ave  
 Arlington, MA 02474

DRAWING TITLE  
 2nd. LEVEL PLAN

SCALE	3/16"=1'-0"	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	A.102
VERIFIED BY			





05	12.21.2022	ISSUED FOR REVIEW	
04	12.14.2022	ISSUED FOR INFORMATION	
03	12.01.2022	ISSUED FOR INFORMATION	
02	11.09.2022	ISSUED FOR INFORMATION	
01	10.31.2022	ISSUED FOR INFORMATION	0
SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.

ARCHITECT'S SEAL:



**COMMERCIAL  
RESIDENTIAL  
HOSPITALITY**  
320 NEVADA STREET,  
SUITE 301  
NEWTON, MA 02460  
T: 617.448.5872  
E-MAIL: DAVID.BARSKY@DAVIDBARSKYARCHITECT.COM

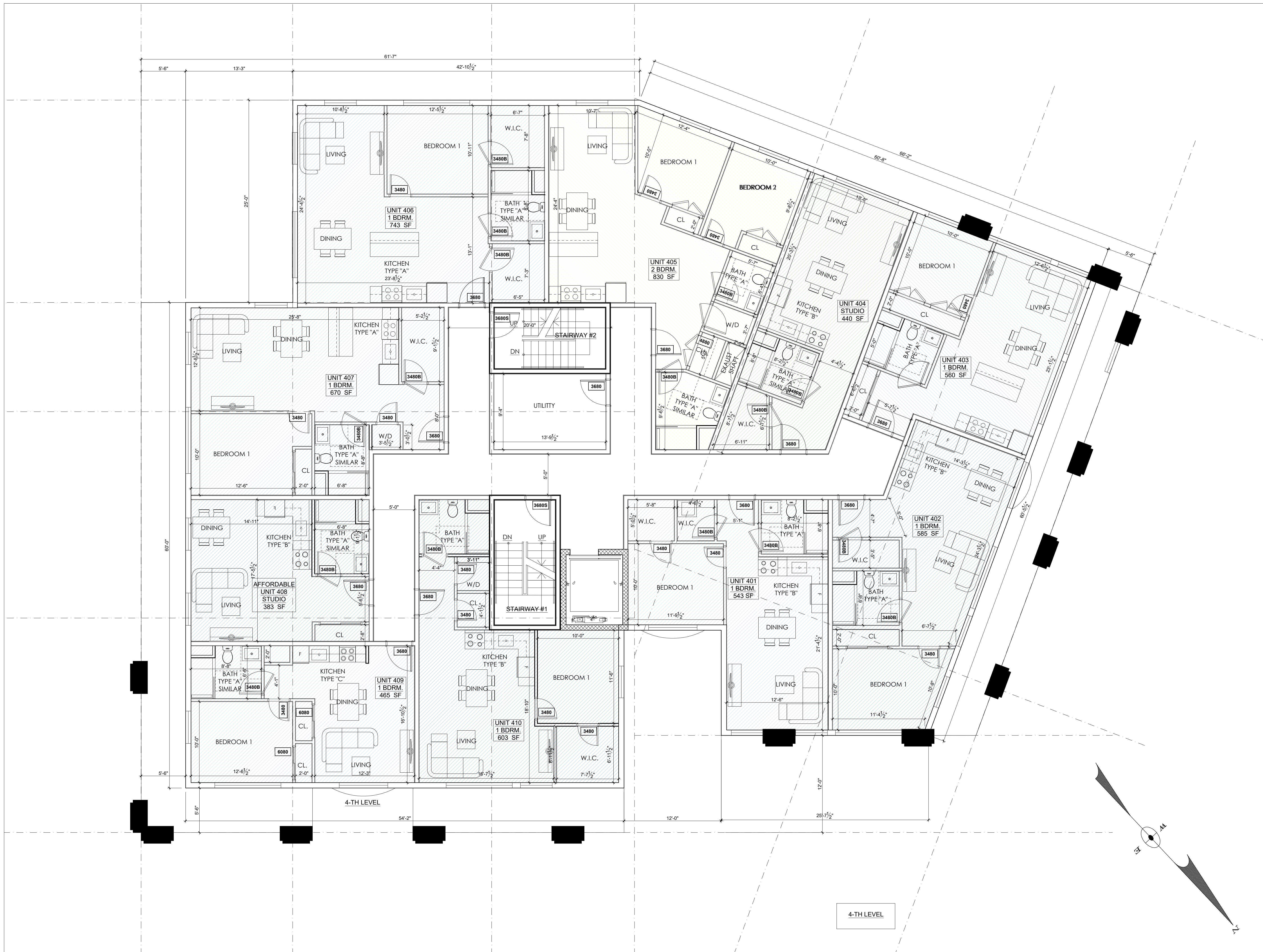
CLIENT INFORMATION  
SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
190-200 Massachusetts Ave  
Arlington, MA 02474

DRAWING TITLE  
3rd. LEVEL PLAN

SCALE 3/16"=1'-0"	DATE October 2022
PROJECT NO.	REVISION NO. 0
DRAWN BY	DRAWING NO. A.103
VERIFIED BY	





05	12.21.2022	ISSUED FOR REVIEW	
04	12.14.2022	ISSUED FOR INFORMATION	
03	12.01.2022	ISSUED FOR INFORMATION	
02	11.09.2022	ISSUED FOR INFORMATION	
01	10.31.2022	ISSUED FOR INFORMATION	0
SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.

ARCHITECT'S SEAL:

**COMMERCIAL  
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HOSPITALITY**  
320 NEVADA STREET,  
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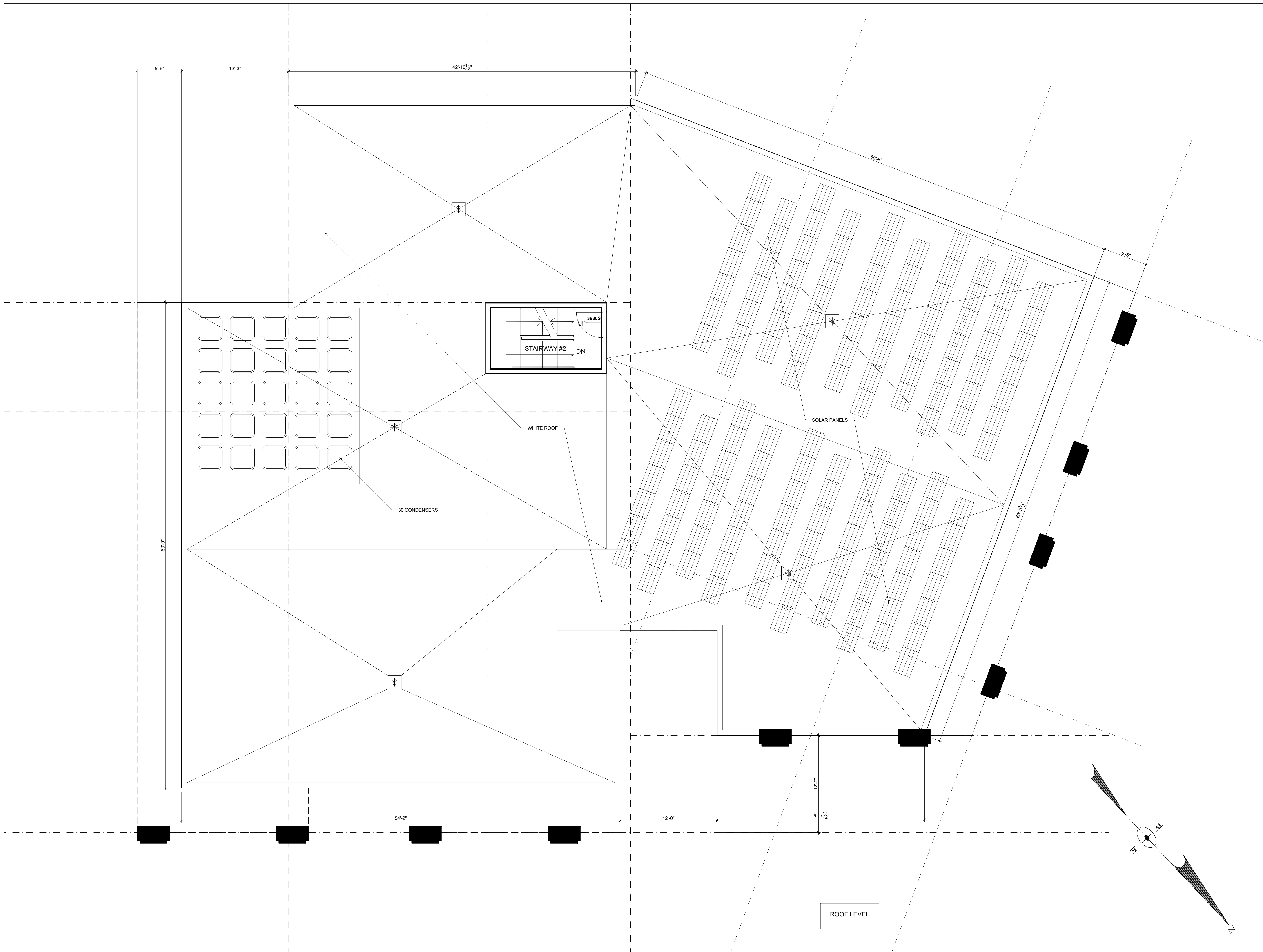
CLIENT INFORMATION  
SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
190-200 Massachusetts Ave  
Arlington, MA 02474

DRAWING TITLE  
ROOF PLAN

SCALE 3/16"=1'-0"	DATE October 2022
PROJECT NO.	REVISION NO. 0
DRAWN BY	DRAWING NO. A.104
VERIFIED BY	





SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
05	12.21.2022	ISSUED FOR REVIEW	
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03	12.01.2022	ISSUED FOR INFORMATION	
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01	10.31.2022	ISSUED FOR INFORMATION	0

ARCHITECT'S SEAL:

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CLIENT INFORMATION

SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION

190-200 Massachusetts Ave  
Arlington, MA 02474

DRAWING TITLE

**ROOF PLAN**

SCALE	DATE
3/16"=1'-0"	October 2022
PROJECT NO.	REVISION NO.
	0
DRAWN BY	DRAWING NO.
VERIFIED BY	<b>A.105</b>





SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
05	12.21.2022	ISSUED FOR REVIEW	
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01	10.31.2022	ISSUED FOR INFORMATION	0

ARCHITECT'S SEAL:

**COMMERCIAL  
RESIDENTIAL  
HOSPITALITY**  
320 NEVADA STREET,  
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NEWTON, MA 02460  
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DAVID.BARSKY@DAVIDBARSKYARCHITECT.COM

CLIENT INFORMATION  
SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
190-200 Massachusetts Ave  
Arlington, MA 02474

DRAWING TITLE  
VISUALIZATION

SCALE	NTS	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	AV
VERIFIED BY			





SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
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ARCHITECT'S SEAL:

**COMMERCIAL  
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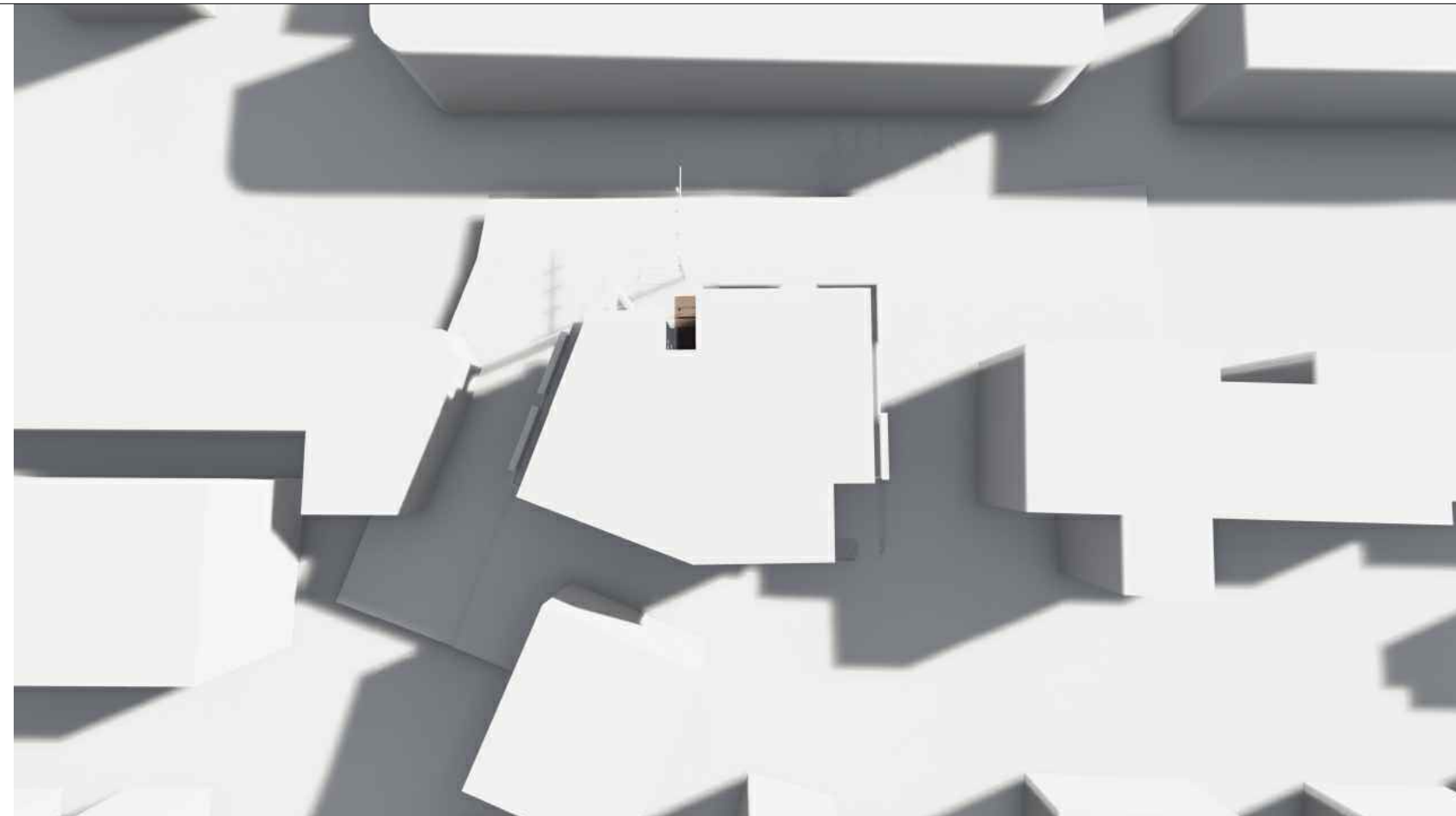
CLIENT INFORMATION  
SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION  
190-200 Massachusetts Ave  
Arlington, MA 02474

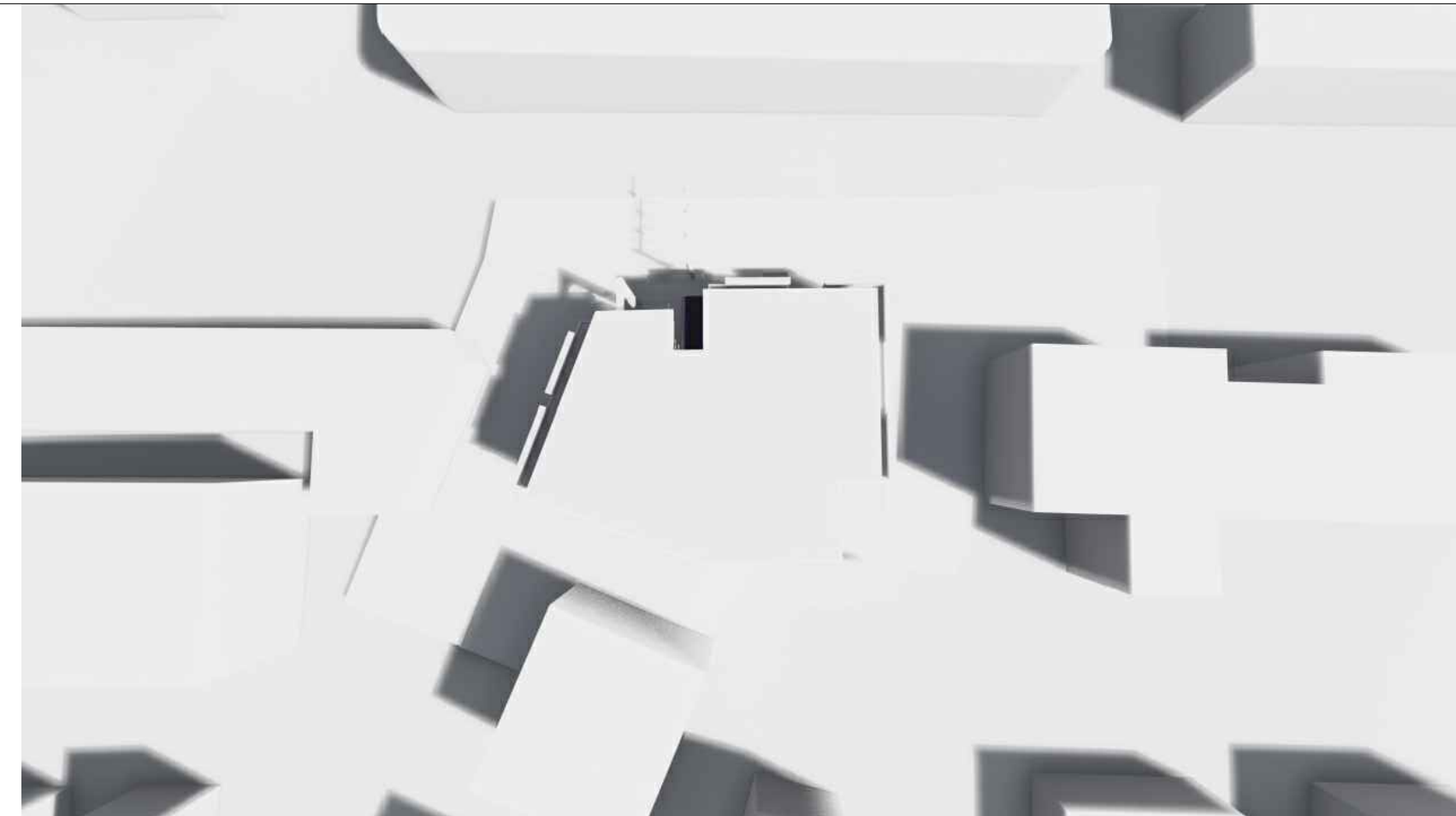
DRAWING TITLE  
VISUALIZATION

SCALE	NTS	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	AV1
VERIFIED BY			

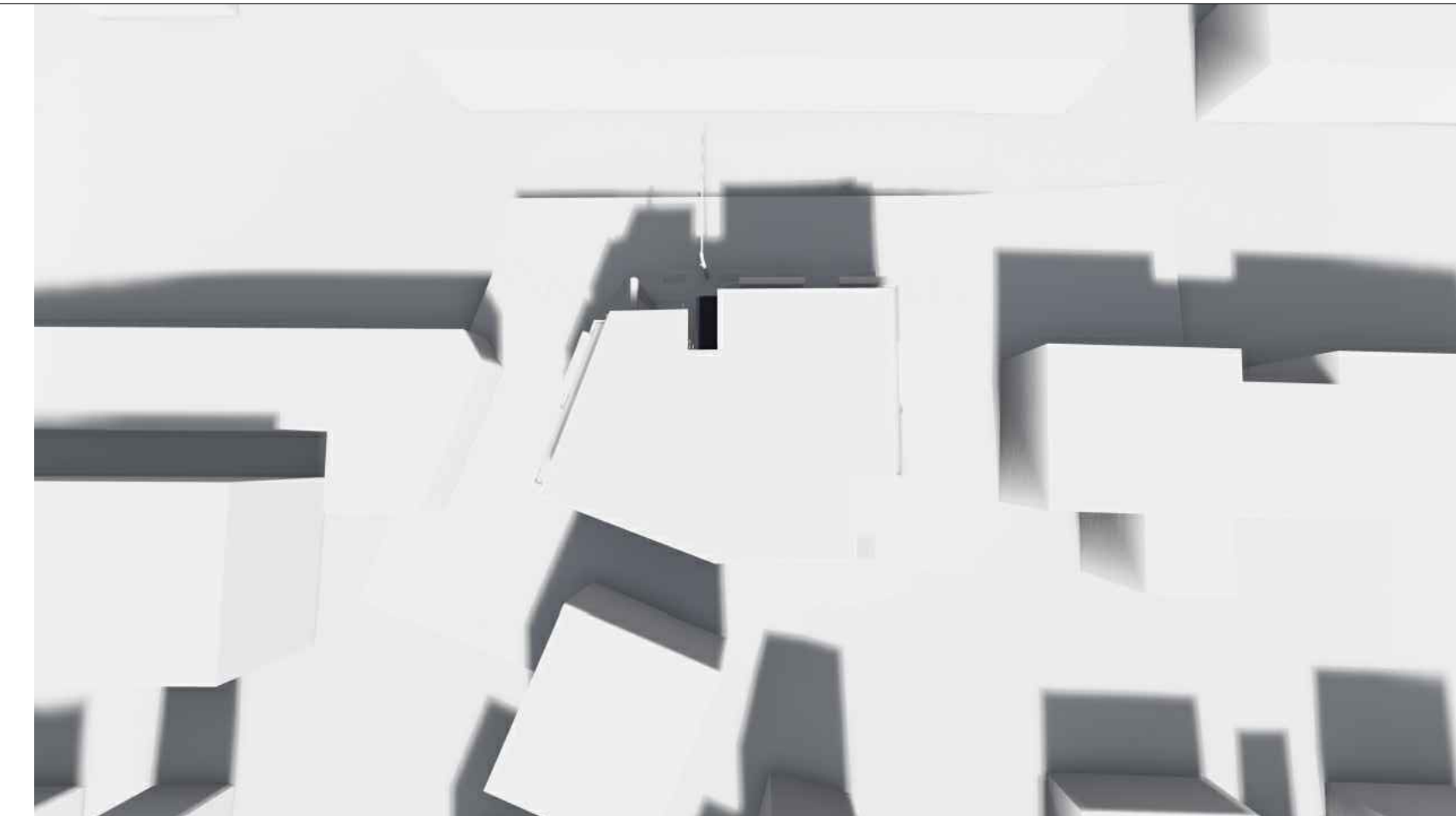




March 21st 9am



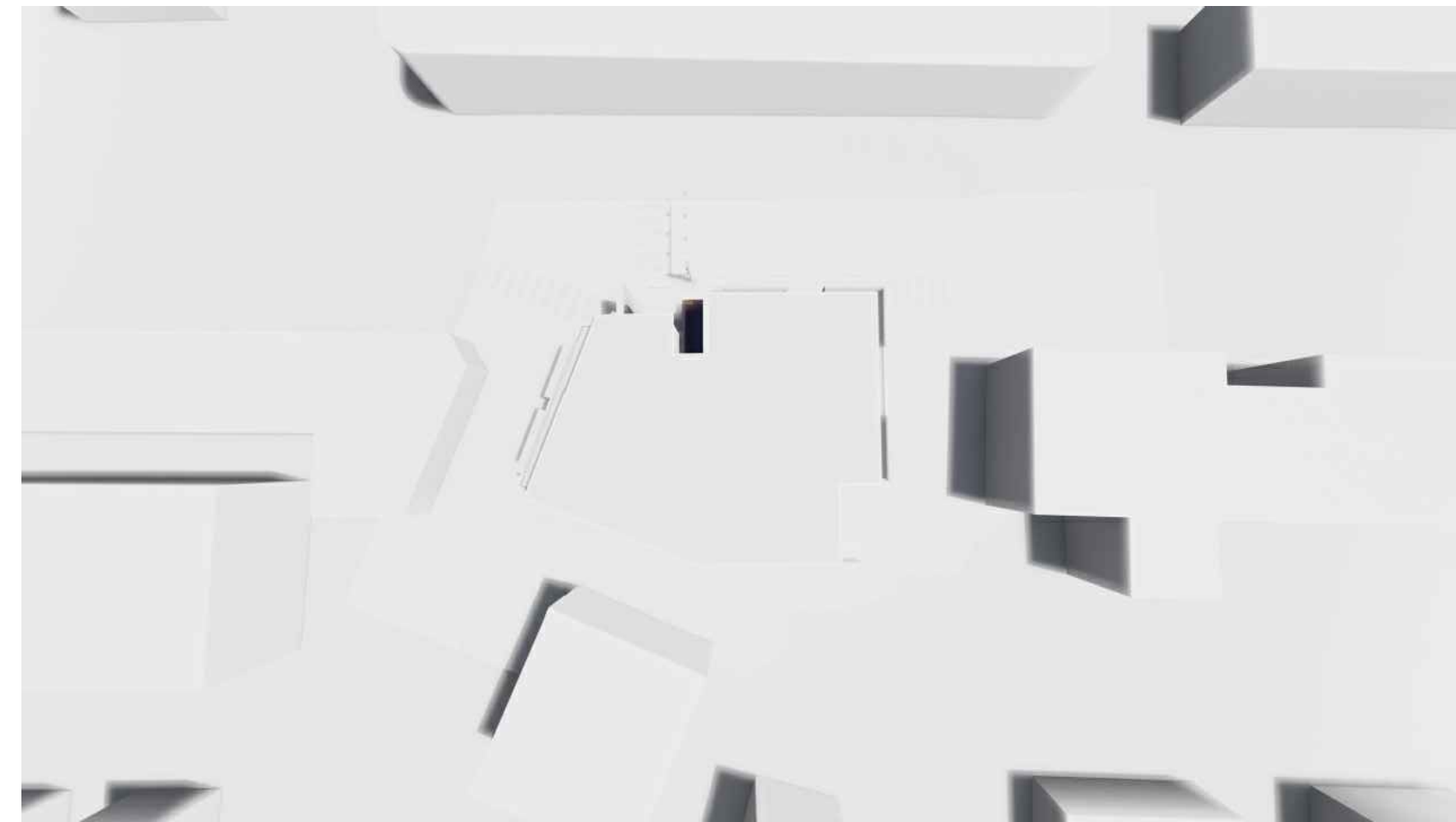
March 21st 12pm



March 21st 3pm



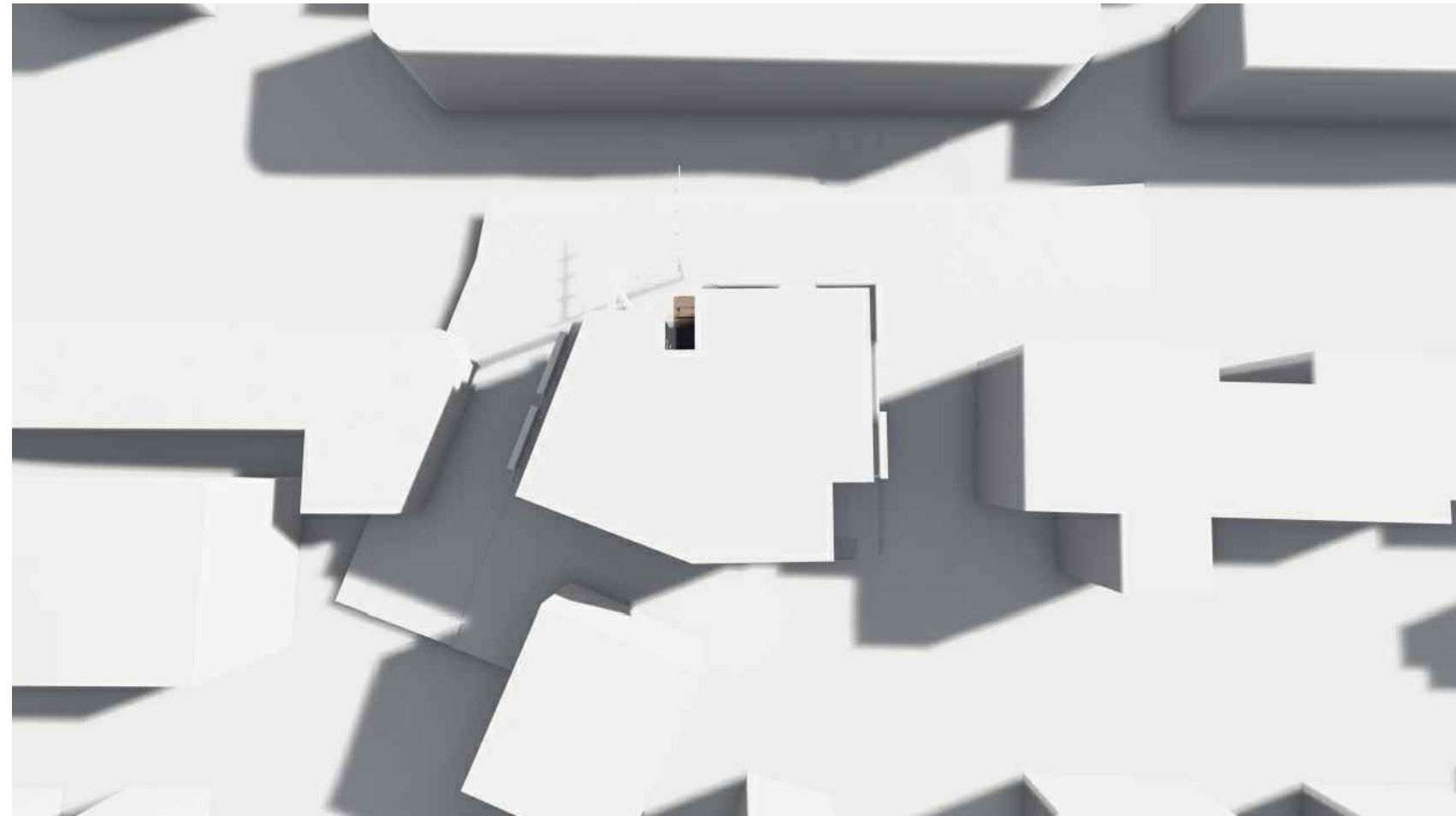
June 21st 9am



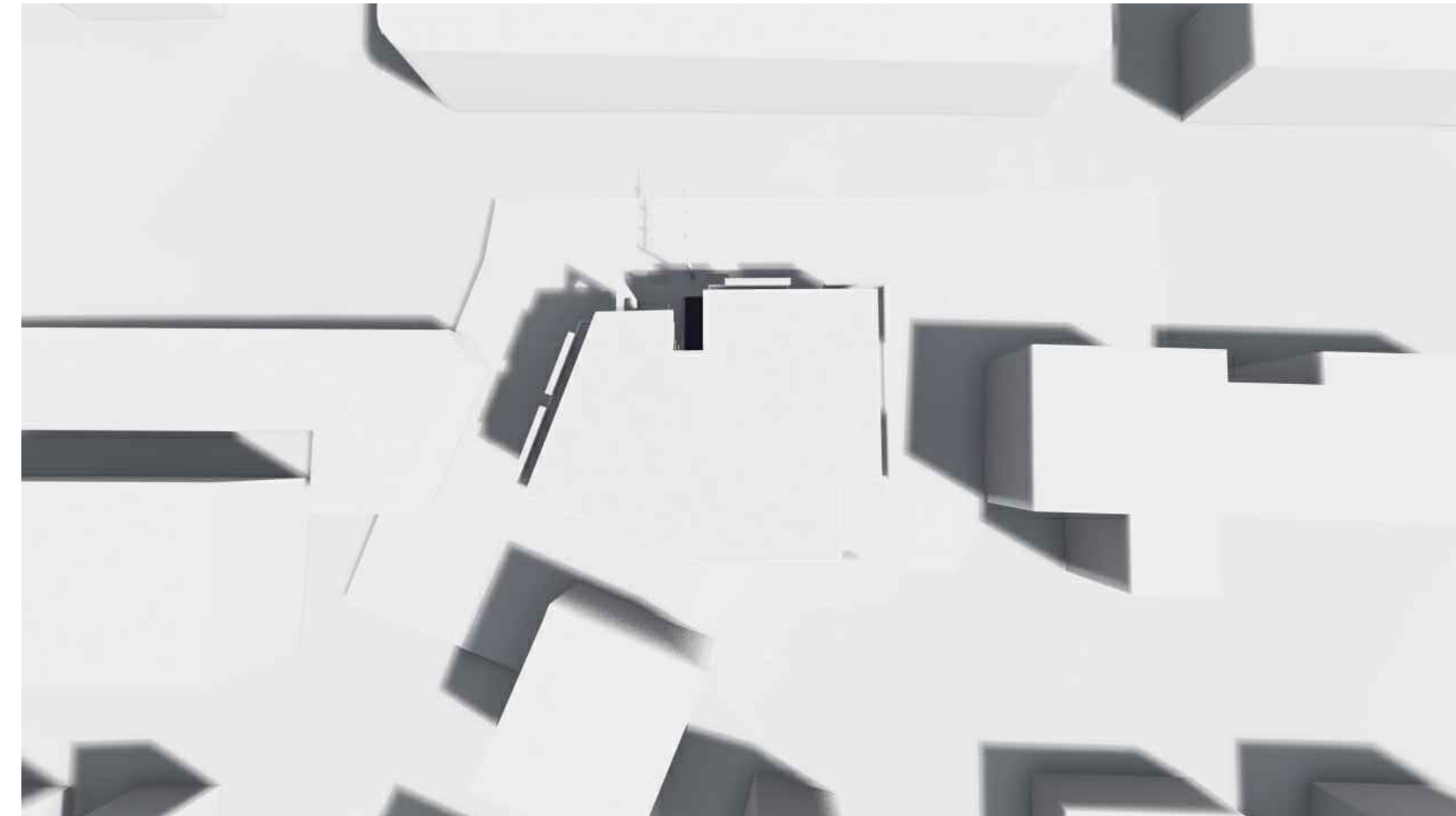
June 21st 12pm



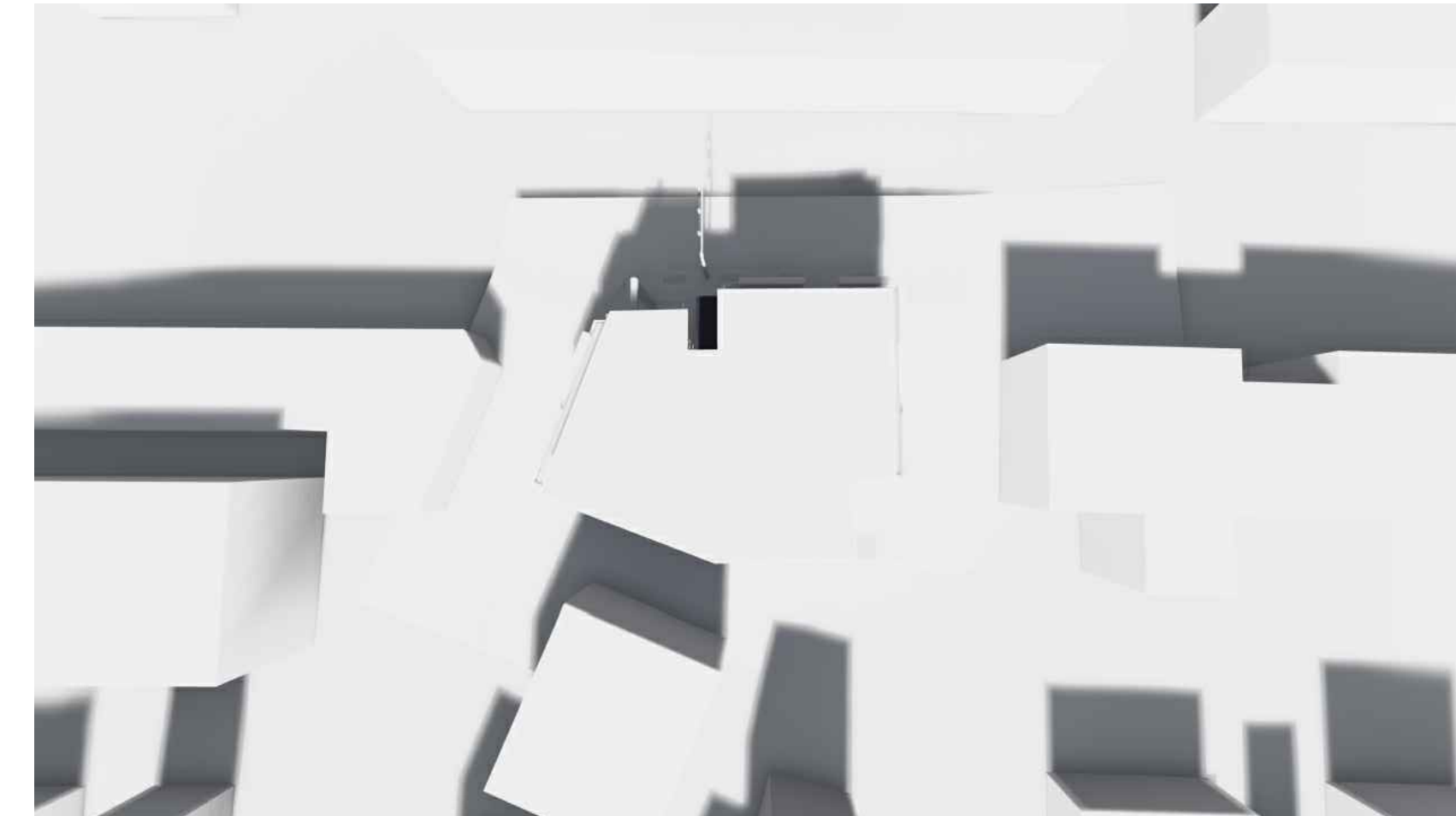
June 21st 3pm



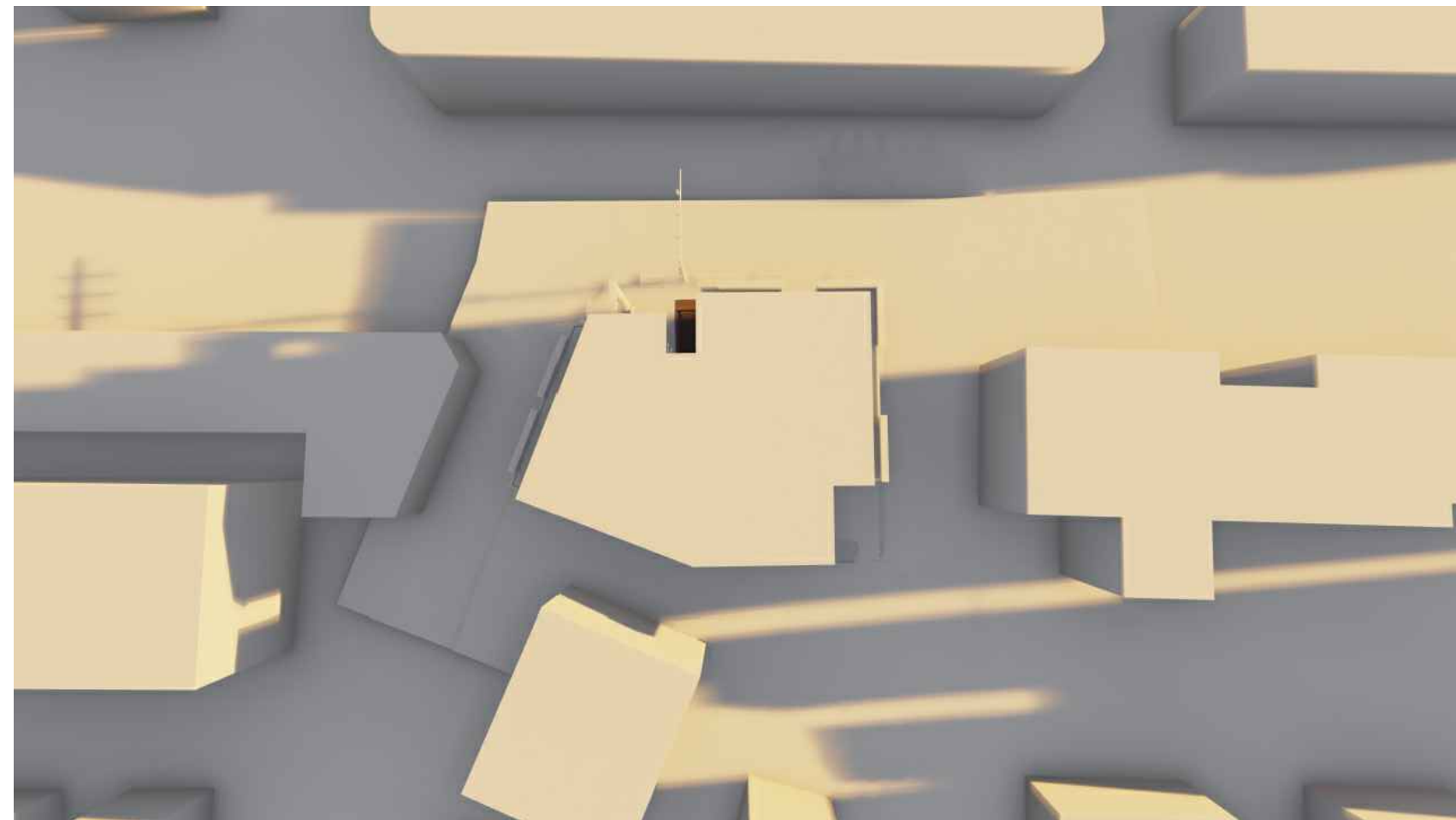
September 21st 9am



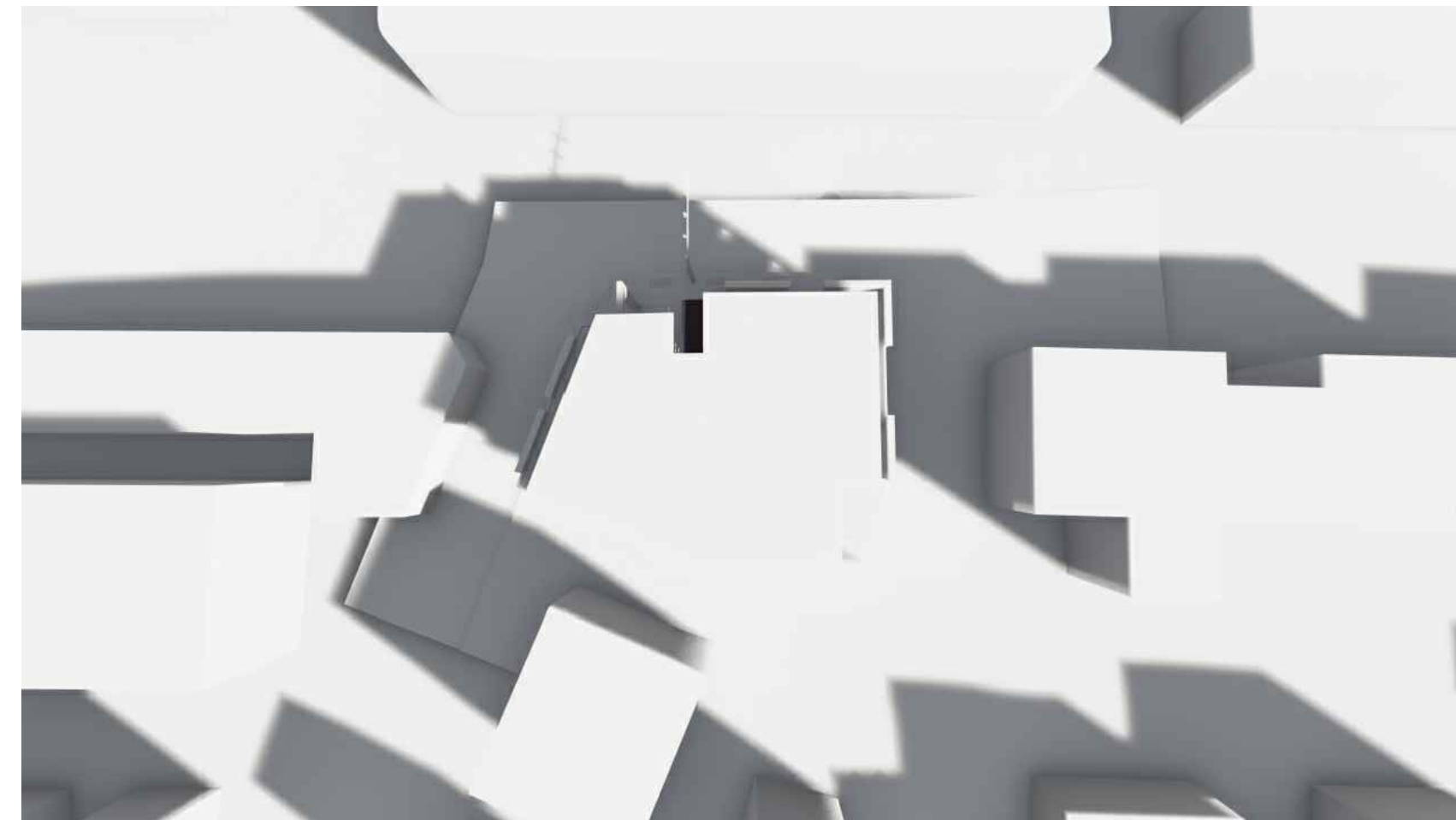
September 21st 12pm



September 21st 3pm



December 21st 9am



December 21st 12pm



December 21st 3pm

SUB. NO.	SUBMITTAL DATE	DESCRIPTION	REV. NO.
05	12.21.2022	ISSUED FOR REVIEW	
04	12.14.2022	ISSUED FOR INFORMATION	
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02	11.09.2022	ISSUED FOR INFORMATION	
01	10.31.2022	ISSUED FOR INFORMATION	0

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CLIENT INFORMATION

SUMMIT REAL ESTATE STRATEGIES LLC.

PROJECT LOCATION

190-200 Massachusetts Ave  
Arlington, MA 02474

DRAWING TITLE

**SHADOW  
STUDY**

SCALE	NTS	DATE	October 2022
PROJECT NO.		REVISION NO.	0
DRAWN BY		DRAWING NO.	AS
VERIFIED BY			