

CONSTRUCTION MANAGEMENT PLAN

PLAN OF
1021 & 1025 MASSACHUSETTS AVENUE

IN THE TOWN OF
ARLINGTON
MIDDLESEX COUNTY

THE COMMONWEALTH OF MASSACHUSETTS

PROJECT TITLE

1021 & 1025
Massachusetts Ave
Construction
Management Plan

Arlington,
Massachusetts

PREPARED FOR

1025 Mass Ave, LLC

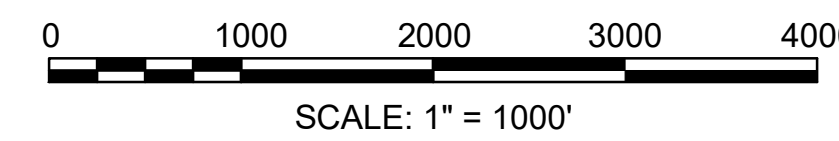
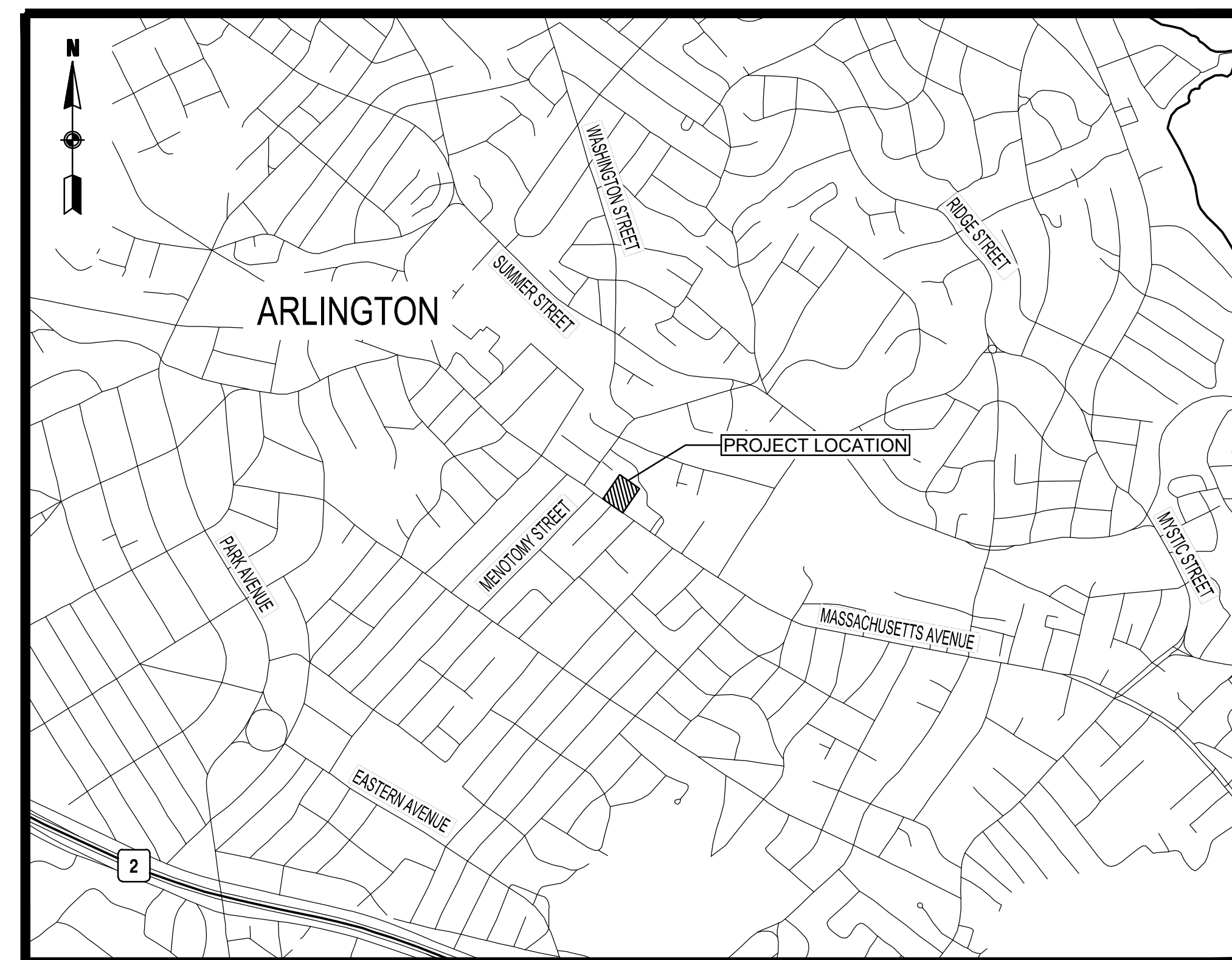
Woburn,
Massachusetts



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MARCH 2023

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DRAWING TITLE

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SHEET 1 OF 9	DRAWING NUMBER
JOB NO. 9658	1
CAD 96580S	

GENERAL NOTES

- THESE PLANS ARE NOT INTENDED TO LIMIT THE CONTRACTORS RIGHT TO SCHEDULE THE WORK BUT TO OUTLINE ONE WAY OF PROGRESSING. THE CONTRACTOR IS EXPECTED TO USE KNOWLEDGE AND EXPERIENCE TO PERFORM THE WORK IN THE MOST SAFE AND EFFICIENT MANNER IN COMPLIANCE WITH THE DRAWINGS AND SPECIFICATIONS AND MEETING THE REQUIREMENTS OF THE TOWN OF ARLINGTON.
- CONTRACTOR SHALL SUBMIT FOR APPROVAL BY THE TOWN, CONSTRUCTION MANAGEMENT PLANS FOR ANY WORK OUTSIDE OF THE WORK ZONES INDICATED IN THESE DRAWINGS.
- ALTERNATIVE PHASING OR MODIFICATIONS TO ANY ASPECT OF THE CONSTRUCTION MANAGEMENT PLANS AND THE CONSTRUCTION STAGING PLANS WILL BE SUBJECT TO REVIEW FOR ACCEPTANCE BY THE TOWN PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH THE SUBMISSION AND REVIEW OF ALTERNATIVE CONSTRUCTION MANAGEMENT PLANS AND CONSTRUCTION STAGING PLANS, INCLUDING PRESENTATION TO THE TOWN AND THE NEIGHBORHOOD IF NEEDED, VEHICULAR AND PEDESTRIAN TRAFFIC MODELING, LEVEL OF SERVICE (LOS) ANALYSES, AND OTHER ASSOCIATED EFFORTS. ALTERNATIVE CONSTRUCTION MANAGEMENT AND CONSTRUCTION STAGING PLANS SHALL NOT CAUSE AN INTERFERENCE WITH ADJACENT CONTRACTS OR DELAY THE SCHEDULE OR INCREASE THE COST OF THIS OR ANY ADJACENT CONTRACTS. LEVEL OF SERVICE ANALYSIS SHALL BE DEFINED BY THE "HIGHWAY CAPACITY MANUAL."
- THE CONSTRUCTION MANAGEMENT PLANS REQUIRE THAT SPECIFIC SIDEWALK WIDTHS BE MAINTAINED DURING THE VARIOUS STAGES OF CONSTRUCTION TO FACILITATE ACCEPTABLE PEDESTRIAN LEVEL OF SERVICE (LOS) MOVEMENTS ALONG TRAVEL WAYS TO AND FROM ABUTTING BUILDING AND BUSINESSES WITHIN THE PROJECT LIMITS. THE MINIMUM SIDEWALK WIDTHS SHOWN ON THE TRAFFIC MANAGEMENT PLANS ARE BASED ON ENGINEERING ANALYSIS AND ARE LOCATED ON THE PLANS (AS REQUIRED) AROUND TEMPORARY FIXED BARRICADED WORK ZONES AT SITE SPECIFIC POINTS OF CONSTRUCTION. THE SIDEWALK WIDTHS SHOWN ON THE CONSTRUCTION MANAGEMENT PLANS SHALL NOT BE DEVIATED FROM WITHOUT THE PERMISSION OF THE TOWN. WHEN SPECIFIC DIMENSIONS ARE NOT SHOWN, THE CONTRACTOR SHALL MAINTAIN A MINIMUM 4-FOOT PASSAGE.
 - CONTRACTOR SHALL PROVIDE AND MAINTAIN A TEMPORARY PEDESTRIAN ROUTE ACCESSIBLE TO DISABLED PERSONS AROUND BLOCKAGES TO AN EXISTING PEDESTRIAN ROUTE (E.G., SIDEWALKS, CROSSWALKS, PEDESTRIAN CURB RAMPS, ETC.). BLOCKAGES INCLUDE, BUT ARE NOT LIMITED TO, CONSTRUCTION WORK, EXCAVATIONS, EQUIPMENT AND VEHICLES, TEMPORARY WATER AND UTILITY LINES.
 - SIDEWALK AREAS SHALL REMAIN OPEN AND FREE FROM SAFETY CONTROL DEVICES AND CONSTRUCTION DEBRIS THROUGHOUT THE DURATION OF THE CONSTRUCTION. PEDESTRIAN DETOURING SHALL NOT OCCUR UNLESS APPROVED BY THE TOWN.
- CONTRACTOR SHALL SECURE WORK AREAS TO ENSURE PUBLIC SAFETY AND CONVENIENCE. THIS SHALL INCLUDE ENSURING THAT ALL EXCAVATIONS ARE PROTECTED AT ALL TIMES.
- ALL CONSTRUCTION SIGNING, DRUMS, BARRICADES AND OTHER DEVICES SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AS AMENDED.
- CHANNELIZATION OF VEHICULAR TRAFFIC WILL BE ACCOMPLISHED THROUGH THE USE OF 36" REFLECTORIZED CONES AND/OR REFLECTORIZED PLASTIC DRUMS OR APPROVED EQUAL IN ACCORDANCE WITH THE MUTCD.
- CONTRACTOR SHALL COORDINATE WITH THE TOWN TO ACCOMMODATE ACCESS NEEDS OF ABUTTING PROPERTIES NOT SPECIFIED IN THE PLANS.

CONSTRUCTION AND TRAFFIC MANAGEMENT LOGISTICS

- SIDEWALKS ALONG BUILDING FRONTAGE TO BE CLOSED UNTIL VERTICAL CONSTRUCTION IS SUBSTANTIALLY COMPLETED.
- PEDESTRIAN TRAFFIC WILL BE DIVERTED TO THE SOUTH SIDE OF MASSACHUSETTS AVENUE
- SIDEWALKS WILL BE REMOVED AND DISPOSED OF ALONG BUILDING FRONTAGE AND WILL BE REPLACED WITH NEW CONCRETE SIDEWALKS AT COMPLETION OF CONSTRUCTION.
- FURNISH AND INSTALL (2) TEMPORARY CROSSWALKS WITH ADA COMPLIANT TIP DOWNS, DETECTIBLE WALKING SURFACES, SIGNAGE AND VISUAL SIGNALING AS RECOMMENDED BY THE TOWN ENGINEERS OFFICE.
- FURNISH AND INSTALL ROADWAY MARKINGS DEPICTING THE LIMITS OF THE SIDEWALKS ACROSS MASSACHUSETTS AVENUE.
- FURNISH AND INSTALL FENCING AS DEPICTED IN THESE CONSTRUCTION MANAGEMENT PLANS, WITH GATES TO THE EAST AND WEST OF THE NEW CURB CUT, TO CAPTURE SIDEWALK AREA TO ENABLE THE CONSTRUCTION OF THE BASEMENT AREA, WHILE MAINTAINING LEGAL TRENCH SLOPES OF 1:1 PER OSHA REGULATIONS. TO PROVIDE FURTHER CLARIFICATION, THE EXCAVATION OF THE BASEMENT WILL BE APPROXIMATELY 12 FEET IN DEPTH AND WE WILL REQUIRE A MINIMUM OF 4 FEET OF WORKING SPACE IN THE FOUNDATION HOLE TO CONSTRUCT THE FOOTINGS AND WALLS AND ONLY 13 FEET TO THE PROPERTY LINE. IN ADDITION TO MAINTAINING OSHA COMPLIANCE, PEDESTRIANS WILL BE DETOURED TO THE SOUTH SIDE OF MASSACHUSETTS AVENUE TO AVOID CONFLICTS WITH HEAVY EQUIPMENT ENTERING AND EXITING THE PROPERTY.
- THE BALANCE OF THE SITE PERIMETER WILL BE SECURED USING DRIVEN POSTS AND REMOVABLE FENCE PANELS.
- ALL FENCING WILL BE COVERED WITH BLACK SCRIM FOR AESTHETICS.
- THESE CONSTRUCTION MANAGEMENT PLANS INCLUDE THE EXCLUSIVE USE OF THE PARKING SPACES ON MASSACHUSETTS AVENUE ALONG THE PROPERTY FRONTAGE, IN ORDER TO FACILITATE MATERIAL DELIVERIES, TRENCH AND INSTALL UTILITIES FROM MASS AVE, AND LIMITED DAY PARKING FOR CONSTRUCTION VEHICLES.

ADDITIONAL CONSTRUCTION NOTES

TRASH REMOVAL

THE 30 YARD DUMPSTER THAT IS REQUIRED FOR GENERAL CONSTRUCTION WASTE IS APPROXIMATELY 22' X 8', WHICH WILL BE LOCATED ALONG THE BUILDING FRONTAGE AS DEPICTED IN THE DRAWINGS. IT WILL BE WITHIN THE SITE AND SCREENED BY SIX FOOT TALL TEMPORARY FENCING AND SCRIM.

- CONTRACTOR SHALL MAINTAIN EMERGENCY PASSAGE AT ALL TIMES TO BUILDINGS WITHIN THE PROJECT LIMITS. CONTRACTOR SHALL MAINTAIN 24-HOUR EMERGENCY VEHICLE ACCESS TO AND THROUGH CONSTRUCTION AREAS.
- SAFETY SIGNS PROPOSED FOR LOCATIONS OTHER THAN ERECTED ON TEMPORARY BARRICADES MAY BE ERECTED ON EXISTING LIGHTPOLES, SIGNPOSTS, AND OTHER EXISTING FEATURES AS APPROVED BY THE TOWN.
- LOCATIONS OF SIGNS SHOWN ARE APPROXIMATE. EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD. THE CONTRACTOR SHALL ENSURE THAT SIGNS ARE PLACED SO MAXIMUM VISIBILITY IS OBTAINED.
- EXISTING SIGNAGE WHICH CONFLICTS WITH PROPOSED SIGNING SHALL BE REMOVED AND STACKED OR COVERED AS DETERMINED BY THE TOWN. IF NECESSARY, AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE SIGNAGE TO ITS ORIGINAL CONDITION.
- THE ARLINGTON POLICE, FIRE, AND TRANSPORTATION DEPARTMENTS SHALL BE ADVISED OF THE SCHEDULE OF CONSTRUCTION AS WELL AS OF ANY DETOURS OR ALTERNATE ROUTES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR AND THE INFORMATION FURNISHED TO THE TOWN FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES AT NO ADDITIONAL COST TO THE TOWN. IF THE CONTRACTOR ADJUSTS UTILITY COVERS IT SHALL BE DEEMED PART OF THE WORK AND THERE WILL BE NO ADDITIONAL COMPENSATION.
- ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE NOTIFIED, INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THIS PLAN, (SEE CHAPTER 370, ACTS OF 1963, MASSACHUSETTS) PRIOR TO EXCAVATING, BLASTING, INSTALLING, BACKFILLING GRADING, PAVEMENT RESTORATION, OR REPAVING.
- THE ACCURACY AND COMPLETENESS OF UNDERGROUND UTILITIES ARE NOT GUARANTEED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION, SIZE, TYPE, ETC. OF ALL UNDERGROUND UTILITIES THAT MAY BE AFFECTED BY THE WORK. AT LEAST 72 HOURS BEFORE DIGGING BEGINS, THE CONTRACTOR IS REQUIRED TO CALL DIG SAFE AT (888)344-7233. ALL TOWN OWNED UTILITY STRUCTURES WITHIN AREAS AFFECTED BY THE WORK SHALL BE ADJUSTED TO NEW LINE AND GRADE AS DIRECTED BY THE ENGINEER. ANY UTILITY POLES AND/OR GUY POLES WITHIN AREAS AFFECTED BY THE WORK SHALL BE REMOVED AND RESET BY THE RESPECTIVE UTILITY COMPANY. ALTERATIONS TO UTILITIES NOT OWNED BY THE TOWN SHALL BE MADE BY THE RESPECTIVE UTILITY OWNERS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSTRUCTION MANAGEMENT EFFORTS OUTSIDE OF THE SITE PLANS AND TO COMPLY WITH CONDITIONS OUTLINED WITHIN THE PLANS AND SPECIFICATIONS USING APPROVED METHODS.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS, INCLUDING STAGING AREAS, SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS HEREBY NOTIFIED THAT ADDITIONAL WORK WITHIN THE PROJECT LIMITS MAY BE PERFORMED BY OTHERS.

TEMPORARY RESTROOM FACILITIES

TEMPORARY RESTROOM FACILITIES WILL BE LOCATED BEHIND THE DUMPSTER AREA WITHIN THE CONSTRUCTION ZONE SO THAT THEY WILL BE SCREENED FROM MASS AVE. THERE WILL BE A TOTAL OF THREE TO FOUR RESTROOM COMPARTMENTS REQUIRED FOR THE PROJECT DURATION.

LOADING AND UNLOADING

LOADING AND UNLOADING OF LARGER CONSTRUCTION MATERIAL DELIVERIES WILL OCCUR IN THE CONTRACTOR PARKING AREA UNDER THE SUPERVISION OF A POLICE DETAIL AS REQUIRED TO MAINTAIN THE SAFETY OF THE PUBLIC. SMALLER DELIVERIES WILL BE FACILITATED IN THE DRIVEWAY TO THE BUILDING OR THE FIRST FLOOR PARKING LEVEL.

SNOW MANAGEMENT

DURING CONSTRUCTION SNOW WILL BE REMOVED IN ITS ENTIRETY ON THE CONSTRUCTION SIDE OF THE TEMPORARY FENCING AND IMMEDIATELY IN FRONT OF THE FENCING ON THE STREET SIDE. SHORT TERM RELOCATION OF THE TEMPORARY FENCING LOCATED WITHIN THE ROADWAY MAY BE REQUIRED. THE CONTRACTOR SHALL COORDINATE WITH THE ARLINGTON DPW PRIOR TO ANY SNOW EVENTS.

MBTA BUS STOP ACCESS

THE PROPOSED TRAFFIC AND CONSTRUCTION MANAGEMENT PLAN WILL MAINTAIN THE ACCESS TO THE BUS STOP (WEST OF THE SUBJECT PROPERTY) FOR MBTA BUSES AND PEDESTRIANS. SEE PLANS FOR TEMPORARY RELOCATION OF 1 MBTA SIGN.

ADA COMPLIANCE

THE PROPOSED TRAFFIC AND CONSTRUCTION MANAGEMENT PLAN WILL PROVIDE LEGAL ADA ACCESS AT THE TEMPORARY CROSSWALKS. THEY WILL BE CREATED BY REMOVING SECTIONS OF THE EXISTING CONCRETE SIDEWALK AND FORMING THEM SO THAT THEY RAMP DOWN TO THE ROADWAY ELEVATION IN A COMPLIANT MANNER. AT THE COMPLETION OF THE PROJECT THE TEMPORARY CROSSWALKS WILL BE REMOVED AND THE CONCRETE SIDEWALKS WILL BE REPLACED IN THEIR ENTIRETY AND RETURNED TO THEIR ORIGINAL CONFIGURATION.

TRUCK ROUTING

THE PRIMARY TRUCK ROUTE FROM I-95 TO THE SITE IS AS FOLLOWS:


I-95 TO ROUTE 3A (CAMBRIDGE STREET) TO LEXINGTON STREET TO RIDGE STREET TO FOREST STREET TO MASSACHUSETTS AVE

DUST CONTROL

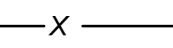




WETTING AGENTS WILL BE USED REGULARLY TO CONTROL AND SUPPRESS DUST THAT MAY COME FROM CONSTRUCTION ACTIVITIES.

- THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY PROPERTY LIMITS PRIOR TO CONSTRUCTION AND PLACE ANY TEMPORARY OR NEW EQUIPMENT WITHIN THE PROJECT LIMITS OR THE TOWN OF ARLINGTON'S RIGHT OF WAY.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT FOR REVIEW A DETAILED SCHEDULE OF OPERATIONS IN ADDITION TO OTHER CONTRACT REQUIREMENTS TO THE TOWN OF ARLINGTON AND PUBLIC WORKS DEPARTMENT.
- ANY WORK ASSOCIATED WITH THIS CONSTRUCTION MANAGEMENT PLAN SHALL BE PERFORMED IN ACCORDANCE WITH THE TOWN STANDARD SPECIFICATIONS AND DRAWINGS.
- NO EXISTING PUBLIC UTILITY STRUCTURES SHALL BE ABANDONED AND/OR DISMANTLED WITHOUT AUTHORIZATION FROM THE TOWN.
- THE CONTRACTOR SHALL DISPOSE OF ALL WASTE MATERIAL IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL TAKE CARE TO NOT DAMAGE EXISTING UTILITY POLE MOUNTED STREET LIGHTING AND SHALL COORDINATE WITH THE NECESSARY PARTIES TO REPAIR ANY DAMAGE THAT IS CAUSED.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC, OR APPROVED EQUAL, AND MEET STD SPECIFICATION, IF NECESSARY, AT THE END OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE PAVEMENT MARKINGS TO ITS ORIGINAL CONDITION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY TRAFFIC SIGNAL EQUIPMENT, LOOP DETECTORS, PAVEMENT MARKINGS, AND SIGNAGE DAMAGED OR TEMPORARILY REMOVED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL ERADICATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH PROPOSED PAVEMENT MARKINGS.
- CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ANY WEIGHT RESTRICTIONS ON AREA BRIDGES AND TO INSURE THAT TRAFFIC DOES NOT EXCEED WEIGHT RESTRICTIONS IF BRIDGES ARE USED.
- AT CROSSWALK LOCATIONS AND OTHER LOCATIONS WHERE PEDESTRIAN AND/OR VEHICLE SIGHT LINES MAY BE IMPACTED BY CONSTRUCTION FENCING, THE CONTRACTOR SHALL NOT INSTALL ANY SCREEN THAT MAY DIMINISH SIGHT LINES.
- CONSTRUCTION WORKERS SHALL NOT PARK ON RESIDENTIAL STREETS IN THE TOWN AND ARE NOT ELIGIBLE FOR TEMPORARY PARKING PERMITS. PARKING IS NOT PERMITTED ON PRIVATE ROADS. ALL WORKERS SHALL PARK ON-SITE OR AT LEGAL PARKING SPACES/GARAGES.
- ANY TOWN SIGNS, POLES, STREET LIGHTS, TRAFFIC SIGNALS, ETC. ARE TO BE STACKED FOR HIGHWAY DIVISION STAFF REVIEW FOR SALVAGE. THE CONTRACTOR SHALL DISPOSE OF REMAINING MATERIAL.

STREET FURNITURE LEGEND

PROPOSED	EXISTING	DESCRIPTION
		SIGN POST
		STREET LIGHT
		HYDRANT
		MAILBOX
		FIRE ALARM BOX
		WHEELCHAIR RAMP

LEGEND

	CONSTRUCTION FENCE
	DIRECTION OF TRAFFIC FLOW
	REFLECTORIZED PLASTIC DRUM
	TWO-WAY PEDESTRIAN DETOUR
	POLICE DETAIL

ABBREVIATIONS

APPROX	APPROXIMATE
CEM	CEMENT
CONC	CONCRETE
EXIST	EXISTING
HMA	HOT MIX ASPHALT
MAX	MAXIMUM
MIN	MINIMUM
PROP	PROPOSED
R&R	REMOVE & RESET
TYP	TYPICAL
VGC	VERTICAL GRANITE CURB
WCR	WHEELCHAIR RAMP

PROJECT TITLE

1021 & 1025 Massachusetts Ave Construction Management Plan

Arlington, Massachusetts

PREPARED FOR

1025 Mass Ave, LLC

Woburn, Massachusetts



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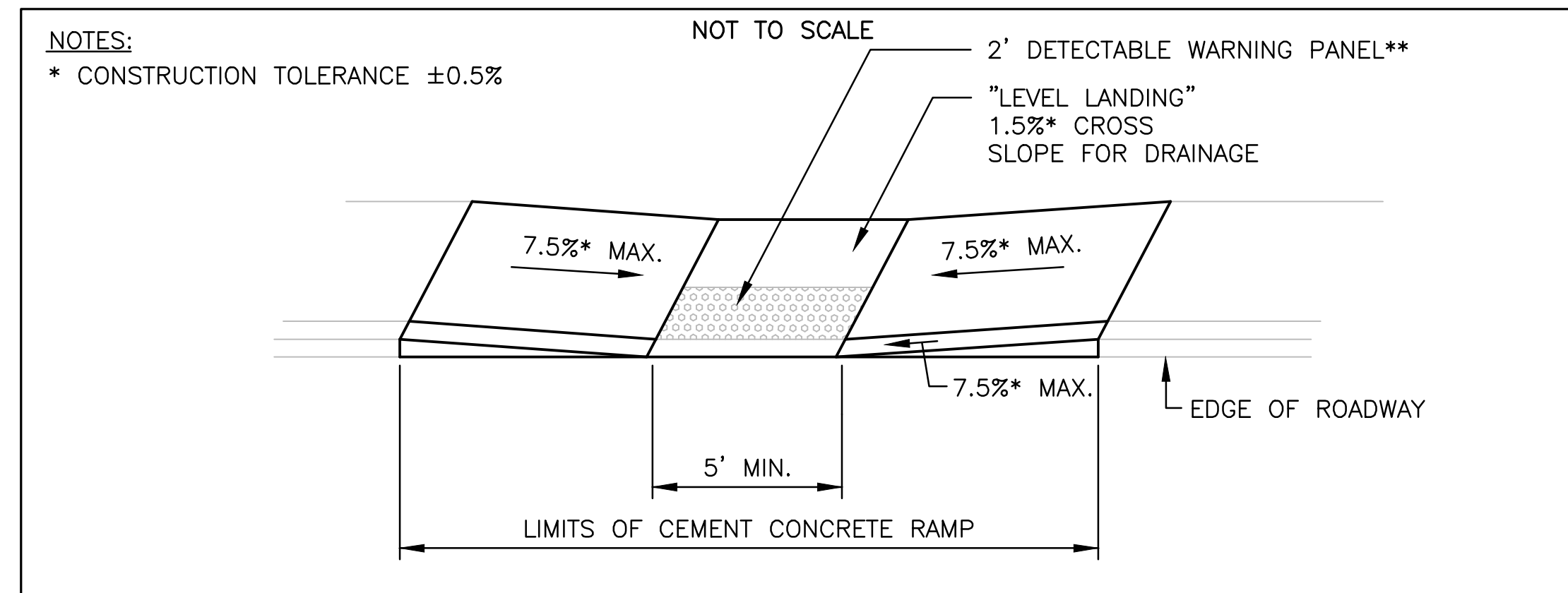
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General Notes & Legend

SHEET 2 OF 9	DRAWING NUMBER
JOB NO. 9658	2
CAD: 965805	

BAR SCHEDULE

2023												2024											
1	2	3	4	5	6	7	8	9	10	11	12	1	2	3	4	5	6	7	8	9	10	11	12
PHASE 1 3 MONTHS				PHASE 2 1.5 MONTHS				PHASE 3 13 MONTHS				PHASE 4 2 MONTHS											



WHEELCHAIR RAMP ON NARROW SIDEWALK

IDENTIFICATION NUMBER	SIZE OF SIGN (INCHES)		UNIT AREA SF	TEXT	TEXT DIMENSIONS	COLOR			POST SIZE AND NUMBER REQUIRED PER SIGN
	WIDTH	HEIGHT				BACK-GROUND	LEGEND	BORDER	
R1-1	30"	30"	5.18		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	RED	WHITE	WHITE	MOUNT ON TEMP FENCE
R3-2	24"	24"	4.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK/RED	BLACK	MOUNT BELOW R1-1
R3-17	30"	30"	6.25		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	P-5 1
R3-17bP	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT BELOW R3-17
R4-11	30"	30"	6.25		SEE FHWA STANDARD HIGHWAY SIGNS 2012 SUPPLEMENT	WHITE	BLACK	BLACK	P-5 1
R9-9	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON BARRICADE
R9-11aL	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON TEMP STAND
R9-11R	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON TEMP STAND
R11-2e	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT ON TEMP STAND
W5-1	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
W11-2	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
W16-7PL	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	MOUNT BELOW W11-2
W20-4	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
MA-W20-7b	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
W21-5C	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
SP-1	36"	36"	9.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	FLUOR-ESCENT ORANGE	BLACK	BLACK	P-5 1
SP-2	24"	12"	2.00		SEE FHWA STANDARD HIGHWAY SIGNS 2004 EDITION	WHITE	BLACK	BLACK	MOUNT BELOW R9-11aL

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Construction
Management Plan**

**Arlington,
Massachusetts**

PREPARED FOR

1025 Mass Ave, LLC

**Woburn,
Massachusetts**

**VAI Vanasse &
Associates inc**
Transportation Engineers & Planners

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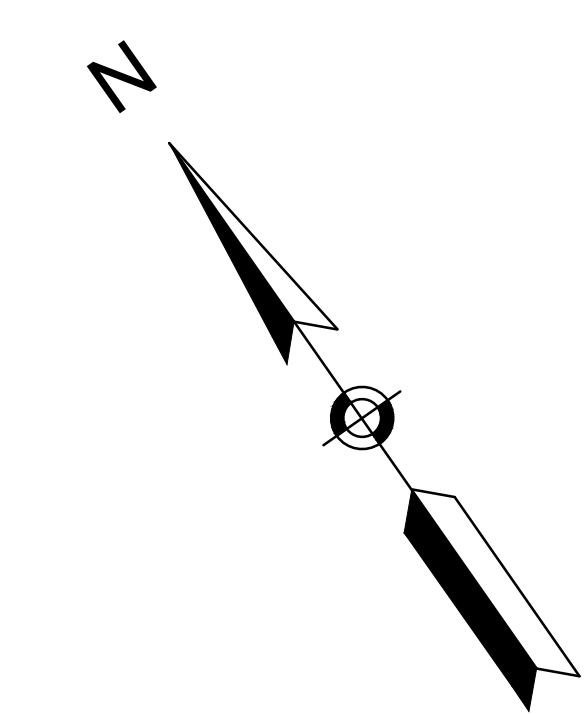
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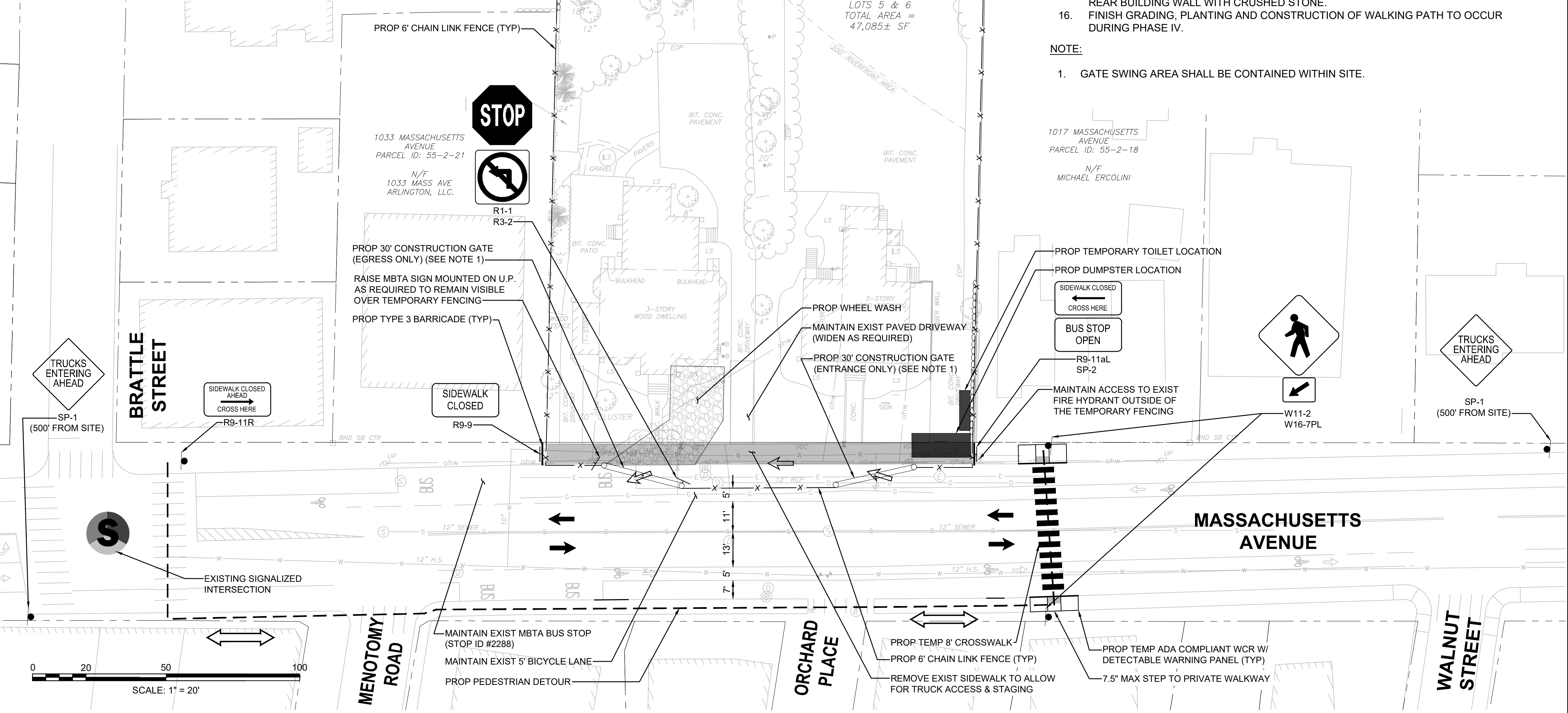
**Construction Details,
Schedule & Sign
Summary**

SHEET 3 OF 9	DRAWING NUMBER
JOB NO. 9658	3
CAD 9658DS	



LEGEND

	CONSTRUCTION FENCE
	DIRECTION OF TRAFFIC FLOW
	DIRECTION OF CONSTRUCTION VEHICLE FLOW
	REFLECTORIZED PLASTIC DRUM
	TWO-WAY PEDESTRIAN DETOUR
	POLICE DETAIL



PHASE 1 CONSTRUCTION SEQUENCE - WOODLAND PREPARATION
DURATION: 3 MONTHS

1. INSTALL ALL EROSION CONTROL MEASURES AS REQUIRED.
2. MEET WITH CONSERVATION COMMISSION AGENT, SITE CONTRACTOR, AND EROSION CONTROL MONITOR AT PRE-CONSTRUCTION MEETING TO REVIEW EROSION CONTROL MEASURES AND COMPREHENSIVE PERMIT AND ORDER OF CONDITIONS REQUIREMENTS.
3. INSTALL ALL PEDESTRIAN TRAFFIC MANAGEMENT CONTROLS PER CONSTRUCTION AND TRAFFIC MANAGEMENT PLAN.
4. INSTALL TEMPORARY CONSTRUCTION FENCING AROUND ENTIRE PROPERTY TO DELINEATE WORK AREA. TEMPORARY CONSTRUCTION FENCING WILL BE INSTALLED BEHIND EROSION CONTROL MEASURES TO ENSURE ADEQUATE ACCESS TO THE EROSION CONTROLS FOR INSPECTION, MAINTENANCE, AND REPAIR AS NEEDED FOR THE DURATION OF CONSTRUCTION.
5. INSTALL/CONSTRUCT TEMPORARY SEDIMENT BASIN AS SHOWN (DETAIL SHEET)
6. DEMOLISH AND DISPOSE OF THE EXISTING BUILDING STRUCTURES, FOUNDATIONS, BITUMINOUS CONCRETE, ETC. AT 1021 AND 1025 MASS AVE TO CREATE WORK AREA FOR CONSTRUCTION.
7. REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS FROM SITE.
8. REMOVE ALL TREES AND STUMPS.
9. GRUB AND STRIP ENTIRE URBAN WOODLAND AND REMOVE A MINIMUM OF 12" OF TOPSOIL AND HAUL OFF SITE.
10. TEST REMAINING SOIL FOR CONTAMINANTS AND PLANTING SUITABILITY.
11. EXCAVATE FOR AND CONSTRUCT RETAINING WALL AND INFILTRATION SYSTEM. CHAMBERS TO BE HD RATED TO ACCOMMODATE DELIVERIES, MATERIAL STORAGE AND SUPPORT THE LOAD OF A BOOM FORK LIFT.
12. BACKFILL BEHIND RETAINING WALL AND INFILTRATION SYSTEM FIELD.
13. CONSTRUCT WOODLAND AREA TO SUB GRADE ELEVATIONS.
14. TEMPORARILY TOP DRESS WOODLAND AND MEADOW PER TOPSOIL SPECIFICATIONS ON APPROVED LANDSCAPE PLANS. TOPSOIL TO BE TESTED FOR LOAMY SAND TEXTURE AND 5-8% ORGANIC CONTENT. HYDROSEED ENTIRE AREA WITH ANNUAL RYE GRASS (LOLIUM MULTIFLORUM) TO PROVIDE TEMPORARY STABILIZATION DURING THE PHASE II VERTICAL CONSTRUCTION PERIOD.
15. DRESS THE STAGING AND HOISTING AREA AT THE REAR OF THE SITE CLOSEST TO THE REAR BUILDING WALL WITH CRUSHED STONE.
16. FINISH GRADING, PLANTING AND CONSTRUCTION OF WALKING PATH TO OCCUR DURING PHASE IV.

NOTE:

1. GATE SWING AREA SHALL BE CONTAINED WITHIN SITE.

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Phase 1

SHEET 4 OF 9	DRAWING NUMBER
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CAD 9658CMP - 1	

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DRAWING TITLE

Phase 2

SHEET 5 OF 9	DRAWING NUMBER
JOB NO. 9658	5
CAD 9658CMP - 2	

PHASE II CONSTRUCTION SEQUENCE - BASEMENT CONSTRUCTION
DURATION: 1.5 MONTHS

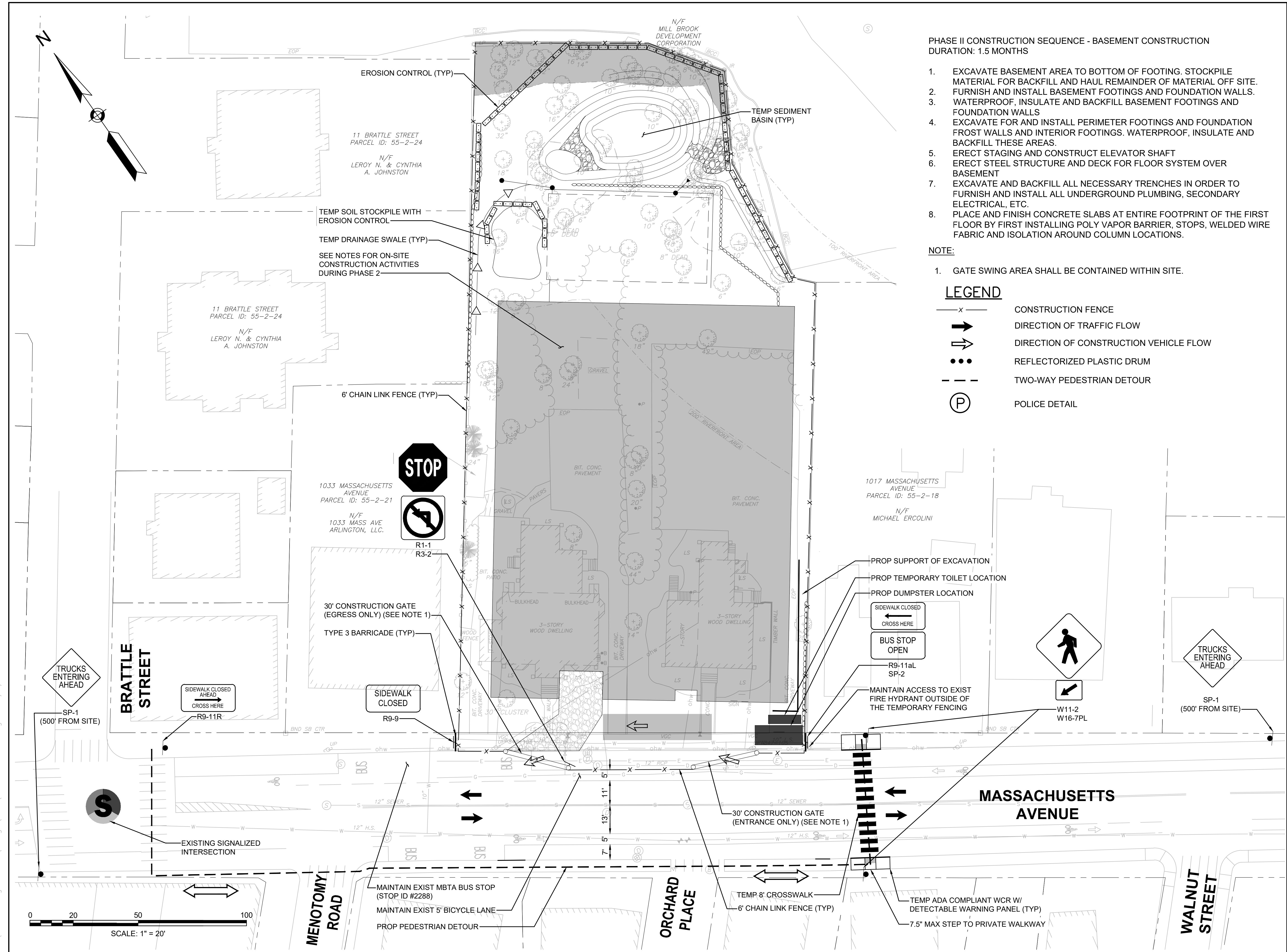
- EXCAVATE BASEMENT AREA TO BOTTOM OF FOOTING. STOCKPILE MATERIAL FOR BACKFILL AND HAUL REMAINDER OF MATERIAL OFF SITE.
- FURNISH AND INSTALL BASEMENT FOOTINGS AND FOUNDATION WALLS.
- WATERPROOF, INSULATE AND BACKFILL BASEMENT FOOTINGS AND FOUNDATION WALLS
- EXCAVATE FOR AND INSTALL PERIMETER FOOTINGS AND FOUNDATION FROST WALLS AND INTERIOR FOOTINGS. WATERPROOF, INSULATE AND BACKFILL THESE AREAS.
- ERECT STAGING AND CONSTRUCT ELEVATOR SHAFT
- ERECT STEEL STRUCTURE AND DECK FOR FLOOR SYSTEM OVER BASEMENT
- EXCAVATE AND BACKFILL ALL NECESSARY TRENCHES IN ORDER TO FURNISH AND INSTALL ALL UNDERGROUND PLUMBING, SECONDARY ELECTRICAL, ETC.
- PLACE AND FINISH CONCRETE SLABS AT ENTIRE FOOTPRINT OF THE FIRST FLOOR BY FIRST INSTALLING POLY VAPOR BARRIER, STOPS, WELDED WIRE FABRIC AND ISOLATION AROUND COLUMN LOCATIONS.

NOTE:

- GATE SWING AREA SHALL BE CONTAINED WITHIN SITE.

LEGEND

- CONSTRUCTION FENCE
- DIRECTION OF TRAFFIC FLOW
- DIRECTION OF CONSTRUCTION VEHICLE FLOW
- REFLECTORIZED PLASTIC DRUM
- TWO-WAY PEDESTRIAN DETOUR
- POLICE DETAIL



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DATE	MARCH 2023
SCALE	1" = 20'
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REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

Phase 3A

SHEET 6 OF 9	DRAWING NUMBER
JOB NO. 9658	6
CAD 9658CMP - 3A	

PHASE III CONSTRUCTION SEQUENCE - VERTICAL CONSTRUCTION
DURATION: 13 MONTHS (NOTES FOR PHASES 3A & 3B)

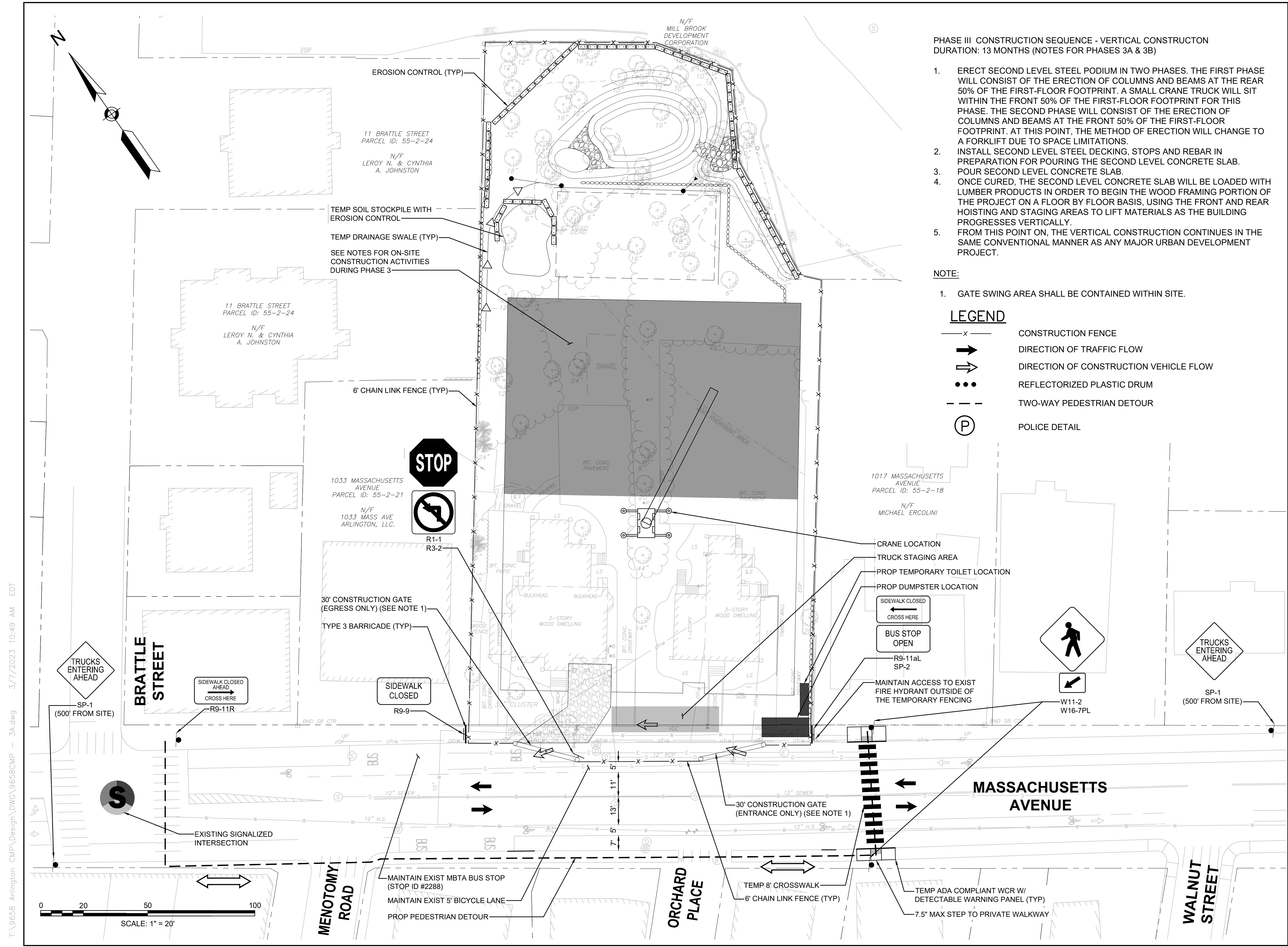
- ERECT SECOND LEVEL STEEL PODIUM IN TWO PHASES. THE FIRST PHASE WILL CONSIST OF THE ERECTION OF COLUMNS AND BEAMS AT THE REAR 50% OF THE FIRST-FLOOR FOOTPRINT. A SMALL CRANE TRUCK WILL SIT WITHIN THE FRONT 50% OF THE FIRST-FLOOR FOOTPRINT FOR THIS PHASE. THE SECOND PHASE WILL CONSIST OF THE ERECTION OF COLUMNS AND BEAMS AT THE FRONT 50% OF THE FIRST-FLOOR FOOTPRINT. AT THIS POINT, THE METHOD OF ERECTION WILL CHANGE TO A FORKLIFT DUE TO SPACE LIMITATIONS.
- INSTALL SECOND LEVEL STEEL DECKING, STOPS AND REBAR IN PREPARATION FOR POURING THE SECOND LEVEL CONCRETE SLAB.
- POUR SECOND LEVEL CONCRETE SLAB.
- ONCE CURED, THE SECOND LEVEL CONCRETE SLAB WILL BE LOADED WITH LUMBER PRODUCTS IN ORDER TO BEGIN THE WOOD FRAMING PORTION OF THE PROJECT ON A FLOOR BY FLOOR BASIS, USING THE FRONT AND REAR HOISTING AND STAGING AREAS TO LIFT MATERIALS AS THE BUILDING PROGRESSES VERTICALLY.
- FROM THIS POINT ON, THE VERTICAL CONSTRUCTION CONTINUES IN THE SAME CONVENTIONAL MANNER AS ANY MAJOR URBAN DEVELOPMENT PROJECT.

NOTE:

- GATE SWING AREA SHALL BE CONTAINED WITHIN SITE.

LEGEND

- CONSTRUCTION FENCE
- DIRECTION OF TRAFFIC FLOW
- DIRECTION OF CONSTRUCTION VEHICLE FLOW
- REFLECTORIZED PLASTIC DRUM
- TWO-WAY PEDESTRIAN DETOUR
- POLICE DETAIL



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DRAWING TITLE

Phase 3B

SHEET 7 OF 9	DRAWING NUMBER
JOB NO. 9658	7
CAD 9658CMP - 3B	

PHASE III CONSTRUCTION SEQUENCE - VERTICAL CONSTRUCTION
DURATION: 13 MONTHS (NOTES FOR PHASES 3A & 3B)

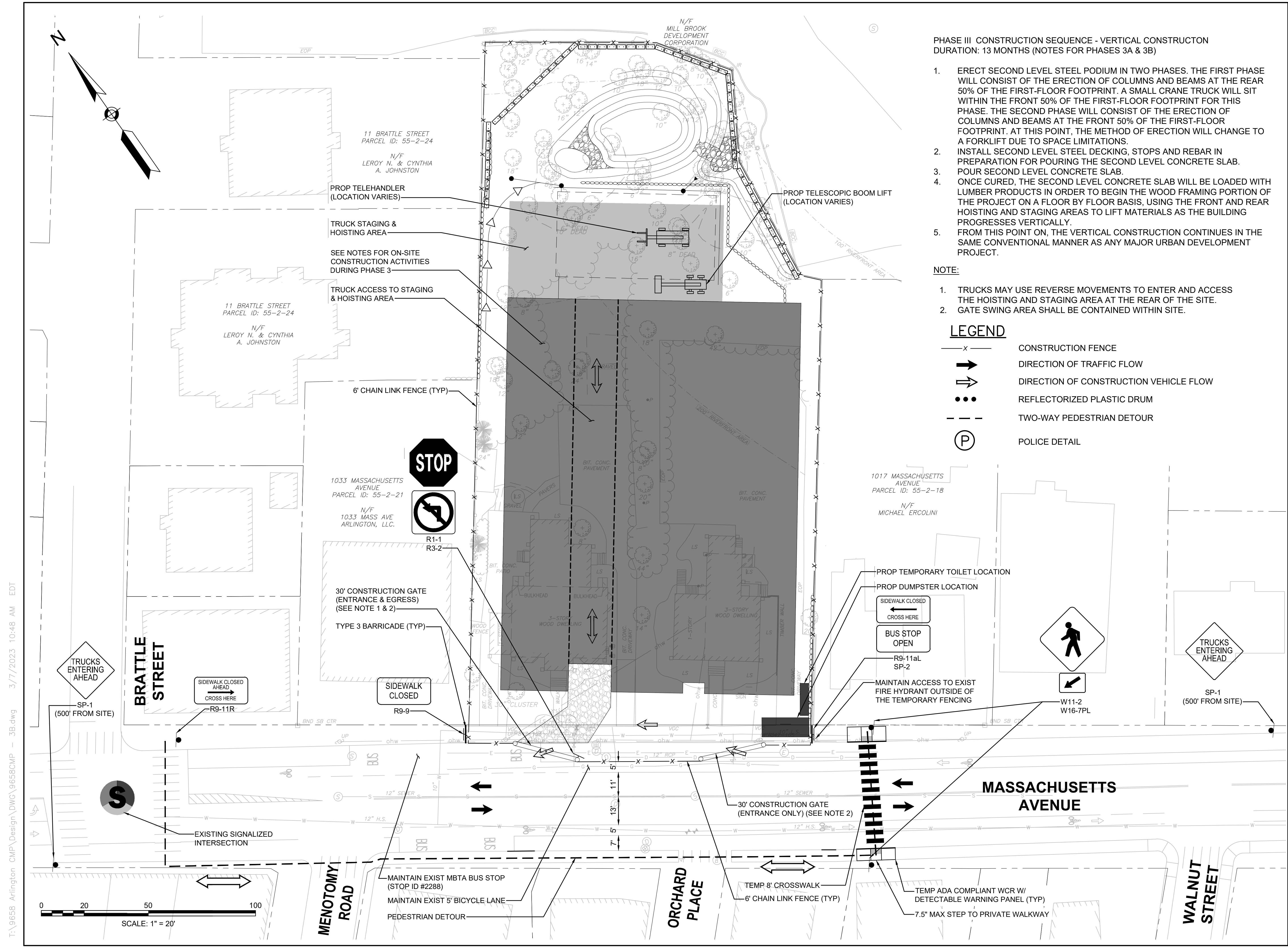
- ERECT SECOND LEVEL STEEL PODIUM IN TWO PHASES. THE FIRST PHASE WILL CONSIST OF THE ERECTION OF COLUMNS AND BEAMS AT THE REAR 50% OF THE FIRST-FLOOR FOOTPRINT. A SMALL CRANE TRUCK WILL SIT WITHIN THE FRONT 50% OF THE FIRST-FLOOR FOOTPRINT FOR THIS PHASE. THE SECOND PHASE WILL CONSIST OF THE ERECTION OF COLUMNS AND BEAMS AT THE FRONT 50% OF THE FIRST-FLOOR FOOTPRINT. AT THIS POINT, THE METHOD OF ERECTION WILL CHANGE TO A FORKLIFT DUE TO SPACE LIMITATIONS.
- INSTALL SECOND LEVEL STEEL DECKING, STOPS AND REBAR IN PREPARATION FOR POURING THE SECOND LEVEL CONCRETE SLAB.
- POUR SECOND LEVEL CONCRETE SLAB.
- ONCE CURED, THE SECOND LEVEL CONCRETE SLAB WILL BE LOADED WITH LUMBER PRODUCTS IN ORDER TO BEGIN THE WOOD FRAMING PORTION OF THE PROJECT ON A FLOOR BY FLOOR BASIS, USING THE FRONT AND REAR HOISTING AND STAGING AREAS TO LIFT MATERIALS AS THE BUILDING PROGRESSES VERTICALLY.
- FROM THIS POINT ON, THE VERTICAL CONSTRUCTION CONTINUES IN THE SAME CONVENTIONAL MANNER AS ANY MAJOR URBAN DEVELOPMENT PROJECT.

NOTE:

- TRUCKS MAY USE REVERSE MOVEMENTS TO ENTER AND ACCESS THE HOISTING AND STAGING AREA AT THE REAR OF THE SITE.
- GATE SWING AREA SHALL BE CONTAINED WITHIN SITE.

LEGEND

- CONSTRUCTION FENCE
- DIRECTION OF TRAFFIC FLOW
- DIRECTION OF CONSTRUCTION VEHICLE FLOW
- REFLECTORIZED PLASTIC DRUM
- TWO-WAY PEDESTRIAN DETOUR
- POLICE DETAIL



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DRAWING TITLE

Phase 4

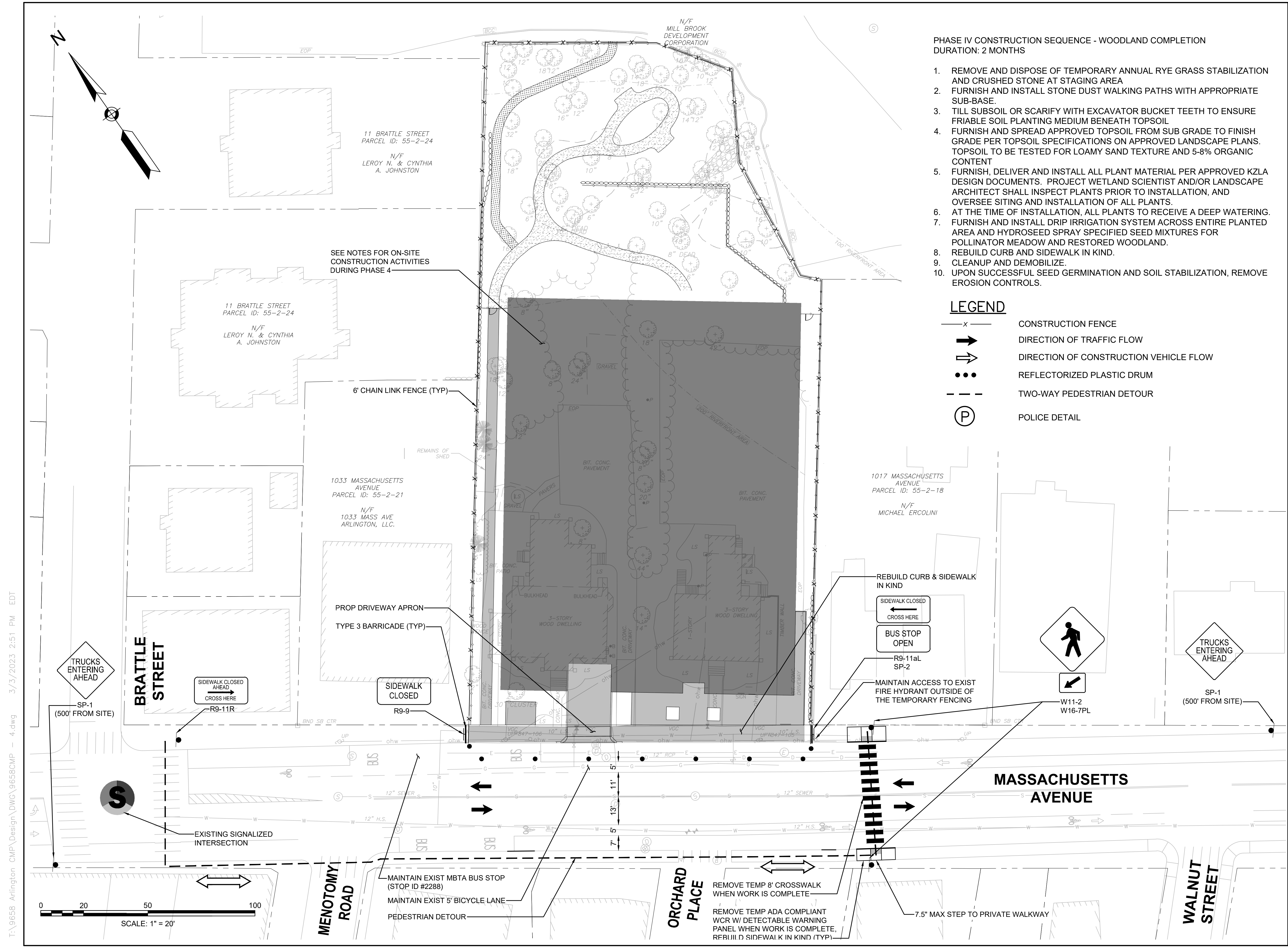
SHEET 8 OF 9	DRAWING NUMBER
JOB NO. 9658	8
CAD 9658CMP - 4	

PHASE IV CONSTRUCTION SEQUENCE - WOODLAND COMPLETION
DURATION: 2 MONTHS

1. REMOVE AND DISPOSE OF TEMPORARY ANNUAL RYE GRASS STABILIZATION AND CRUSHED STONE AT STAGING AREA
2. FURNISH AND INSTALL STONE DUST WALKING PATHS WITH APPROPRIATE SUB-BASE.
3. TILL SUBSOIL OR SCARIFY WITH EXCAVATOR BUCKET TEETH TO ENSURE FRIABLE SOIL PLANTING MEDIUM BENEATH TOPSOIL
4. FURNISH AND SPREAD APPROVED TOPSOIL FROM SUB GRADE TO FINISH GRADE PER TOPSOIL SPECIFICATIONS ON APPROVED LANDSCAPE PLANS. TOPSOIL TO BE TESTED FOR LOAMY SAND TEXTURE AND 5-8% ORGANIC CONTENT
5. FURNISH, DELIVER AND INSTALL ALL PLANT MATERIAL PER APPROVED KZLA DESIGN DOCUMENTS. PROJECT WETLAND SCIENTIST AND/OR LANDSCAPE ARCHITECT SHALL INSPECT PLANTS PRIOR TO INSTALLATION, AND OVERSEE SITING AND INSTALLATION OF ALL PLANTS.
6. AT THE TIME OF INSTALLATION, ALL PLANTS TO RECEIVE A DEEP WATERING.
7. FURNISH AND INSTALL DRIP IRRIGATION SYSTEM ACROSS ENTIRE PLANTED AREA AND HYDROSEED SPRAY SPECIFIED SEED MIXTURES FOR POLLINATOR MEADOW AND RESTORED WOODLAND.
8. REBUILD CURB AND SIDEWALK IN KIND.
9. CLEANUP AND DEMOBILIZE.
10. UPON SUCCESSFUL SEED GERMINATION AND SOIL STABILIZATION, REMOVE EROSION CONTROLS.

LEGEND

- x - CONSTRUCTION FENCE
- ➔ DIRECTION OF TRAFFIC FLOW
- ➔ DIRECTION OF CONSTRUCTION VEHICLE FLOW
- REFLECTORIZED PLASTIC DRUM
- - - TWO-WAY PEDESTRIAN DETOUR
- (P) POLICE DETAIL



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PROJECT TITLE
**1021 & 1025
 Massachusetts Ave
 Construction
 Management Plan**

**Arlington,
 Massachusetts**

PREPARED FOR
1025 Mass Ave, LLC

**Woburn,
 Massachusetts**



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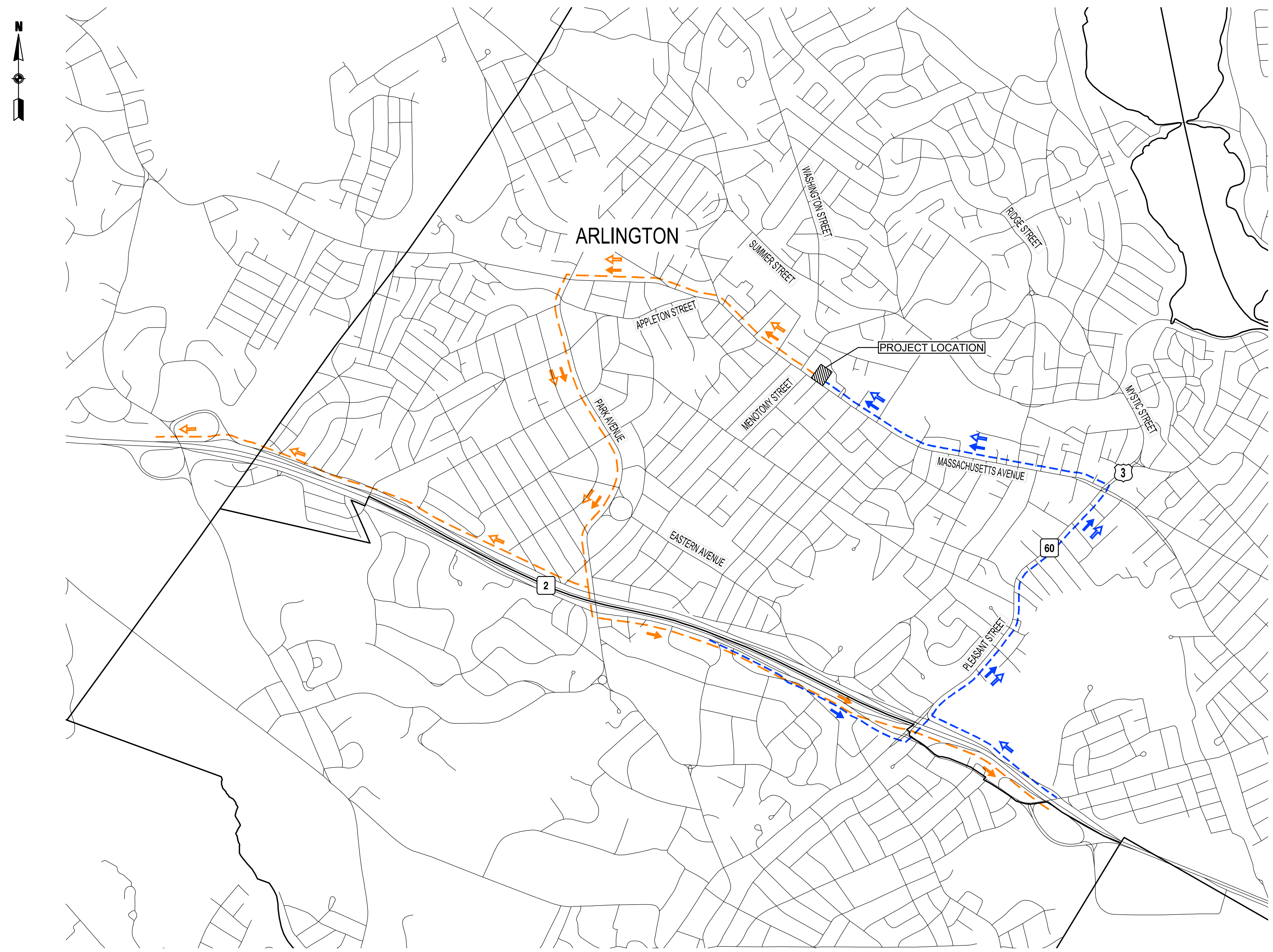
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SCALE	AS NOTED
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REVISIONS		
NO.	DESCRIPTION	DATE

DRAWING TITLE

Truck Routing Plan

SHEET 9 OF 9	DRAWING NUMBER
JOB NO. 9658	9
CAD 9658RTE	



LEGEND

- TRUCKS ENTERING FROM ROUTE 2 WB
- TRUCKS EXITING TO ROUTE 2 WB
- TRUCKS ENTERING FROM ROUTE 2 EB
- TRUCKS EXITING TO ROUTE 2 EB

NOTES

- TRUCK ROUTE – TRUCKS SHALL ACCESS THE SITE VIA PLEASANT STREET TO MASSACHUSETTS AVENUE. TRUCKS SHALL EGRESS THE SITE VIA MASSACHUSETTS AVENUE TO PARK AVENUE.

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