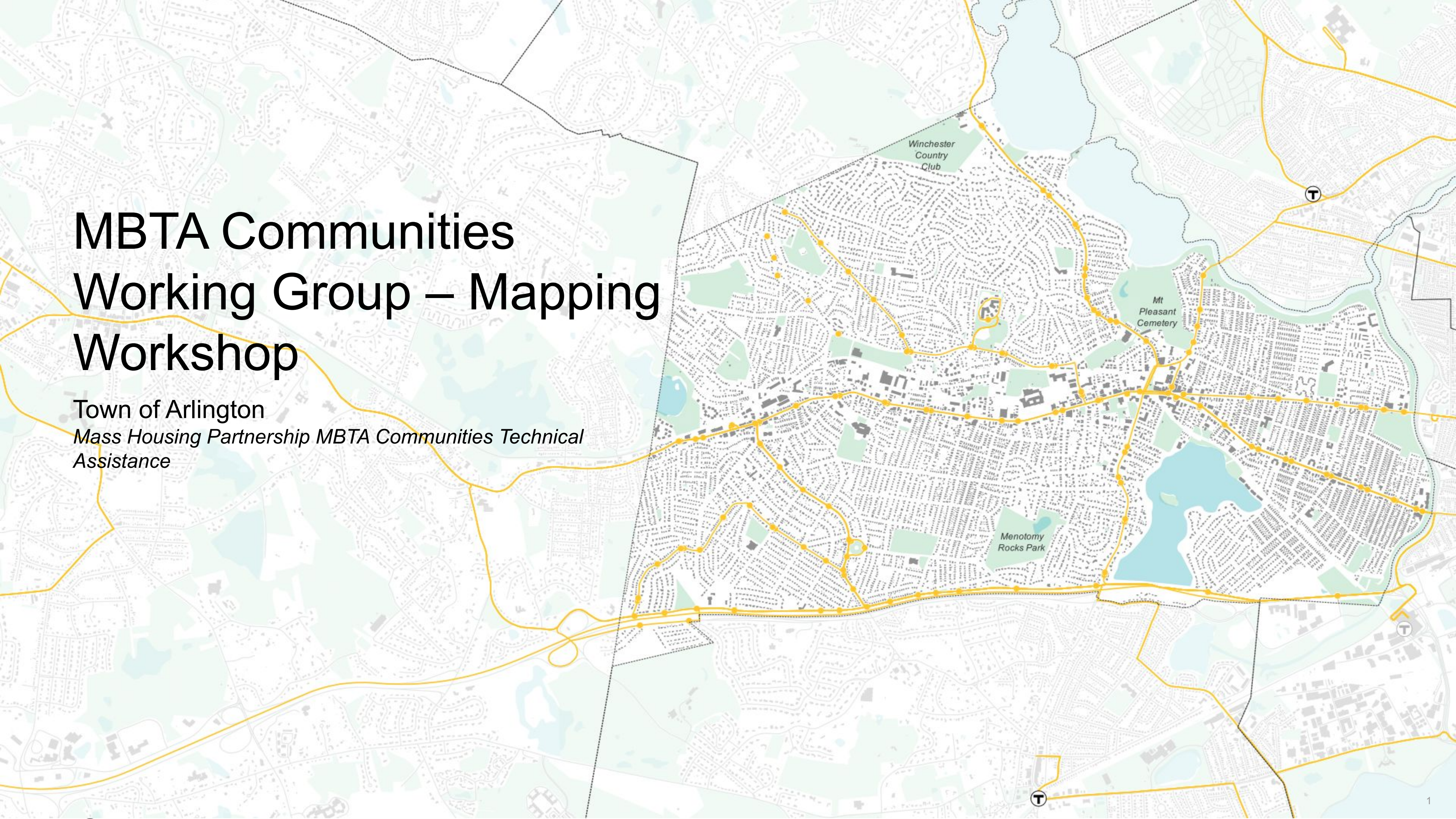
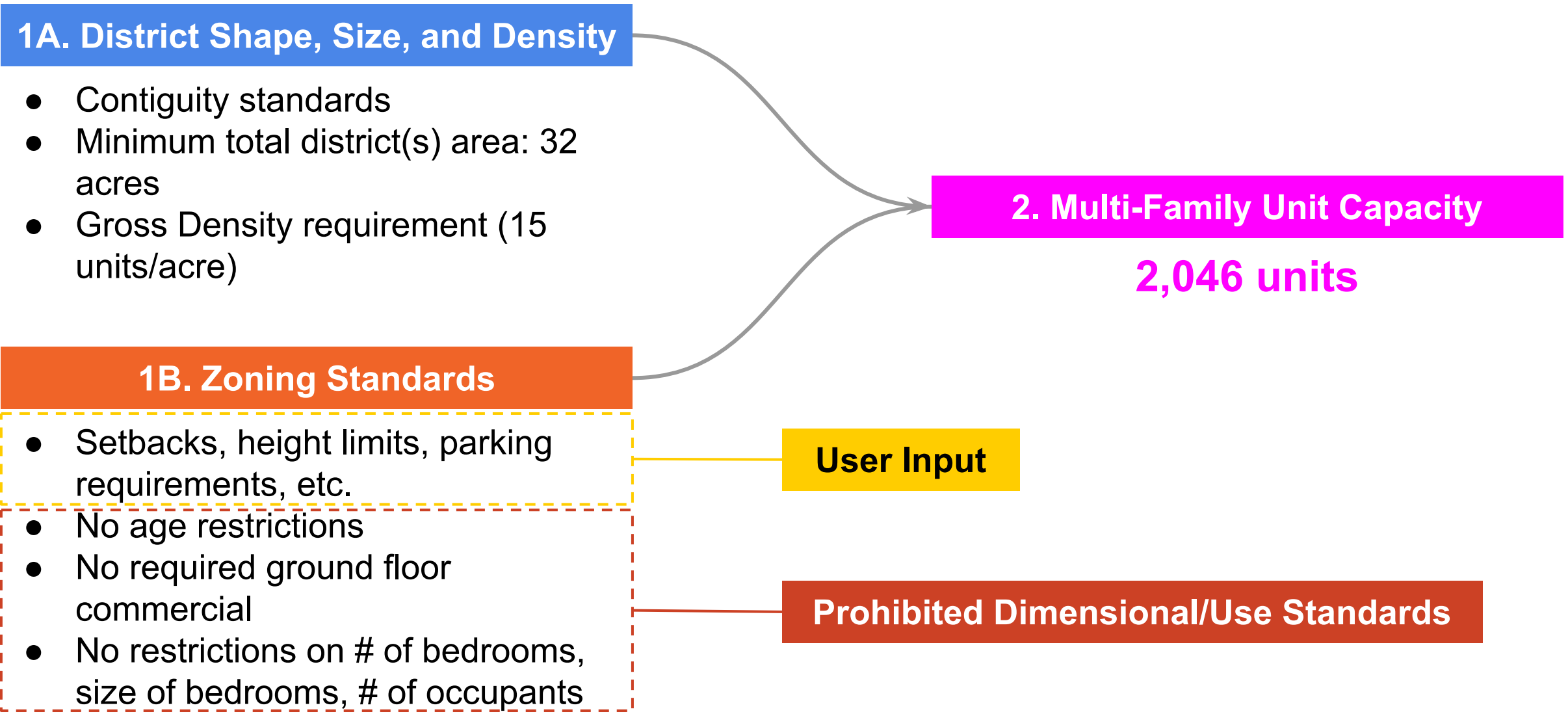


# MBTA Communities Working Group – Mapping Workshop

Town of Arlington  
*Mass Housing Partnership MBTA Communities Technical  
Assistance*



# Criteria for Compliance



# Survey Results

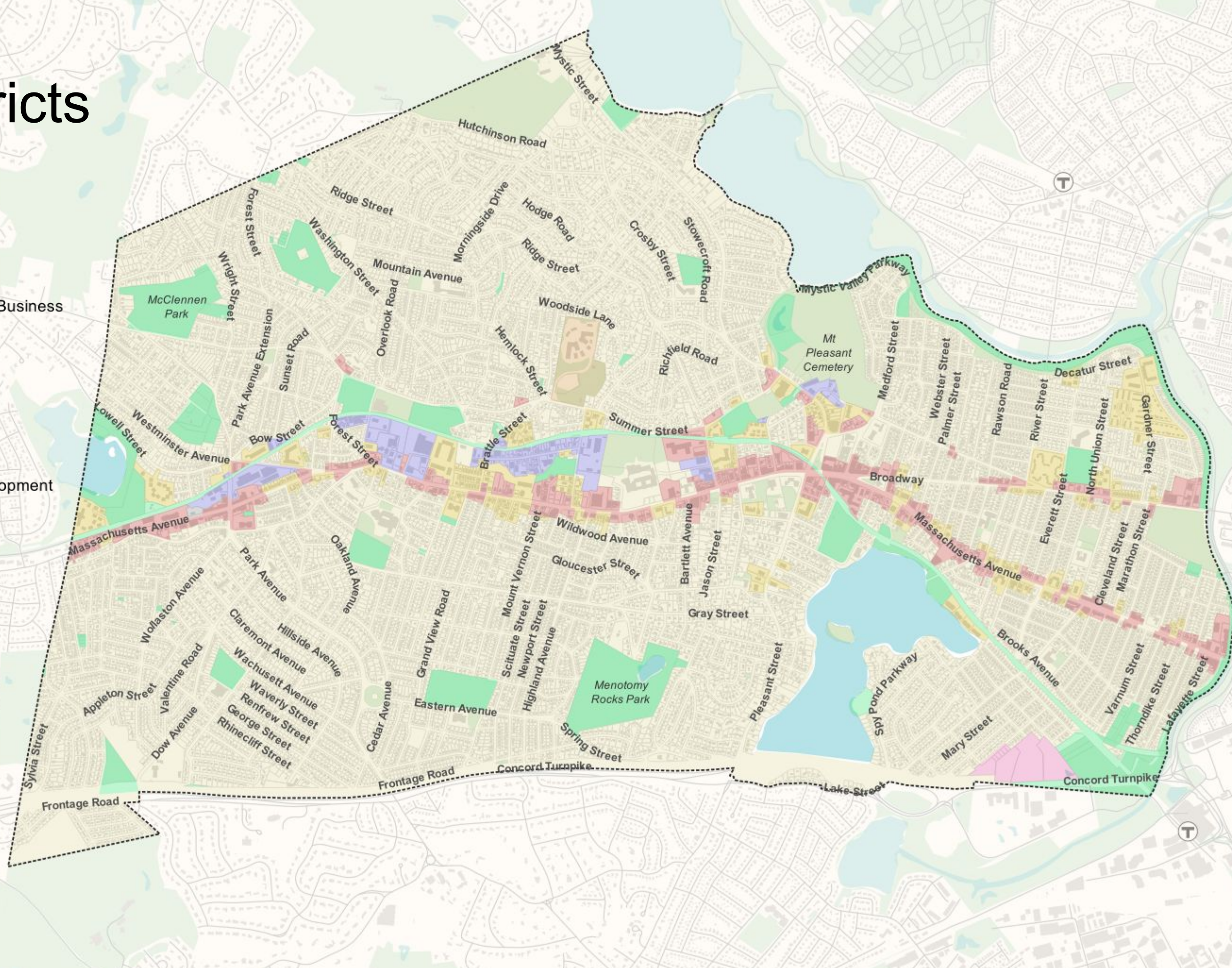
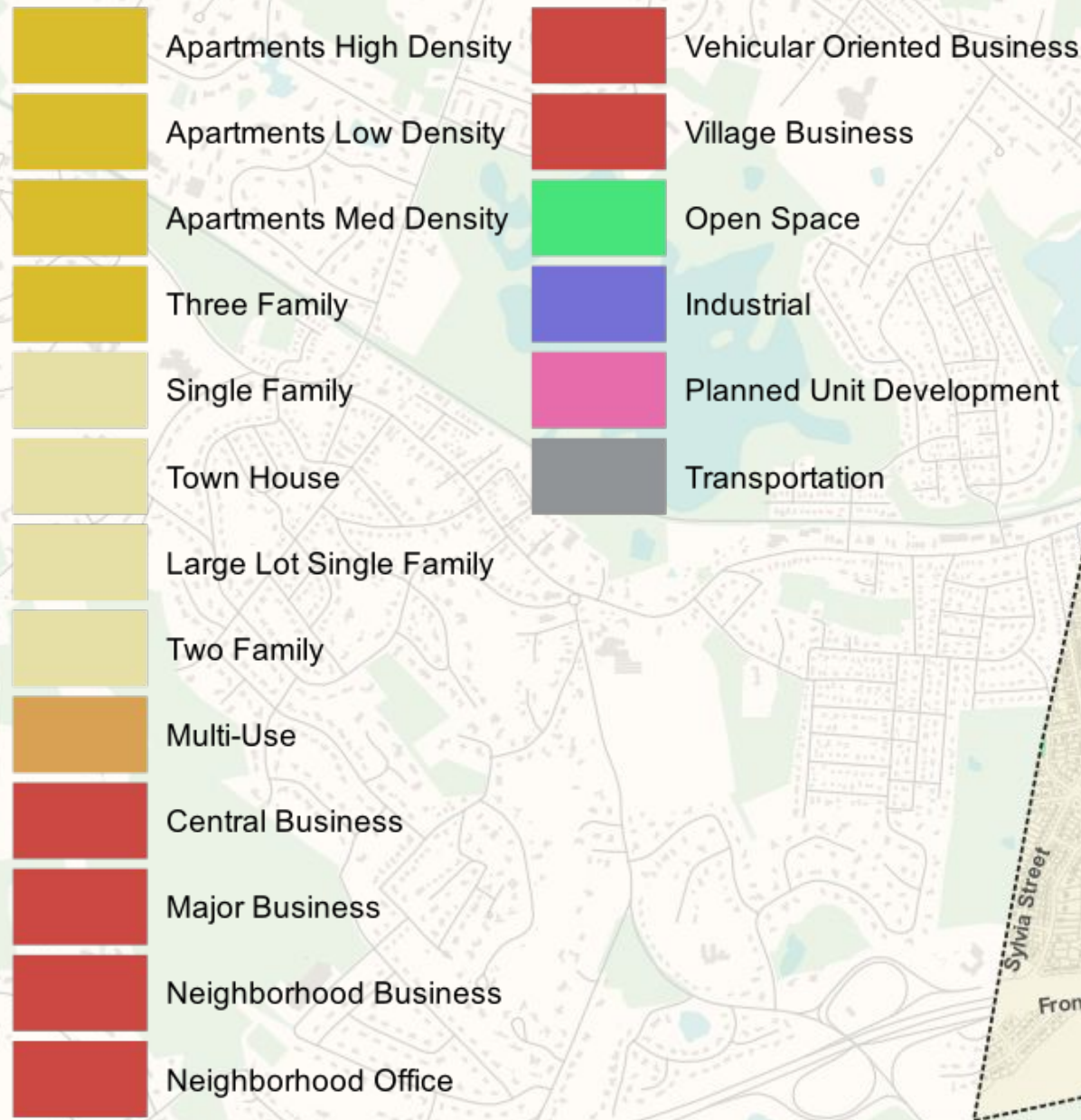
## What we heard from the community

1. 82% – *prioritize the vitality of the business districts* →
2. 80% – *prioritize shared community spaces* →
3. 75% – *locate the district by public transportation* →
4. 73% – *locate the district in a walkable and bikeable area* →

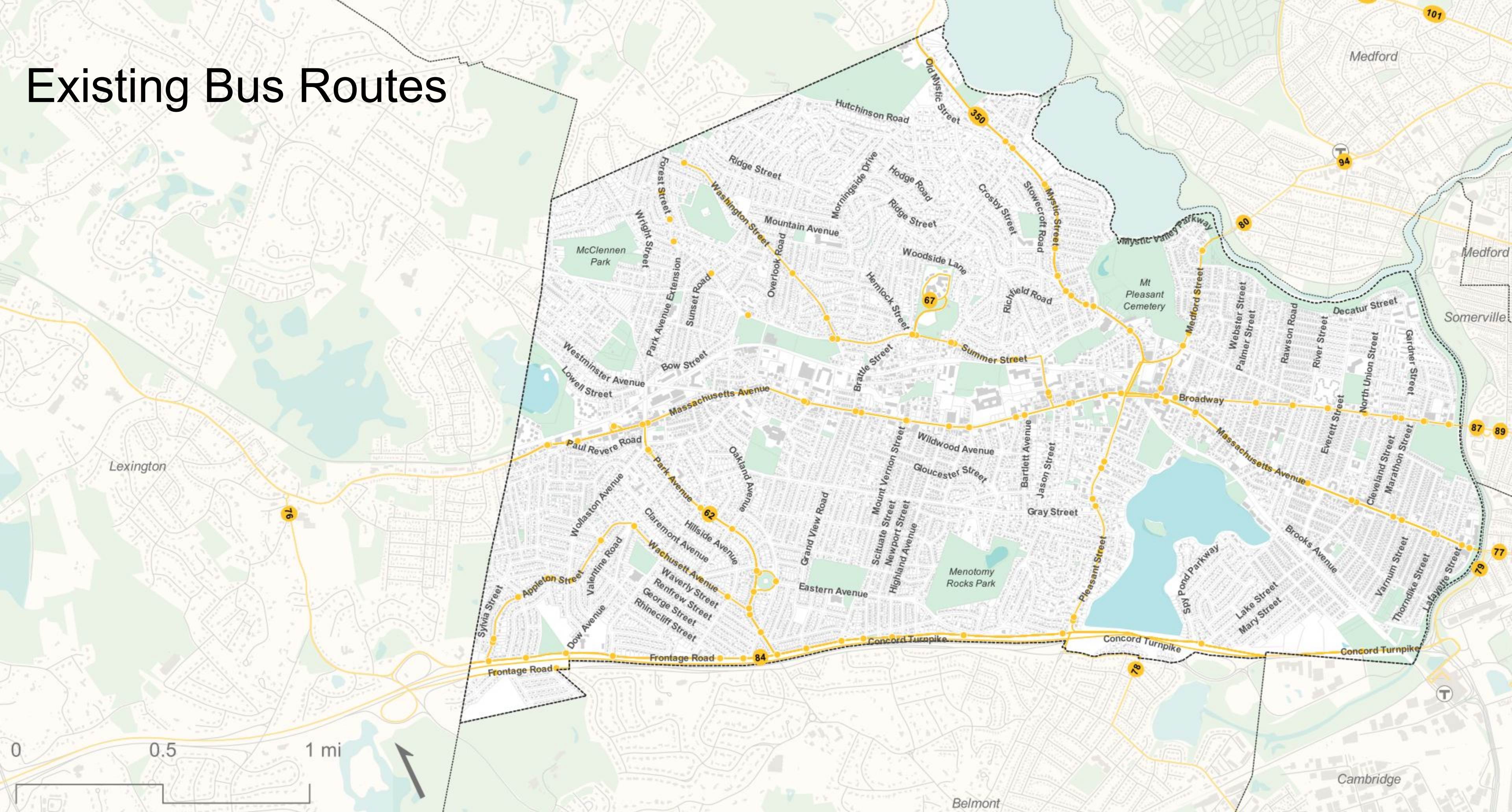
## How do we reflect this in a proposed zoning district?

- Preserve existing commercial and industrial zoned land
- Preserve other frontage along Mass. Ave to enable future commercial growth
  
- Explore in zoning standards, opportunities for public realm improvement and public spaces
  
- Propose district locations close to existing bus routes, Minuteman Bikeway, etc.

# Existing Zoning Districts



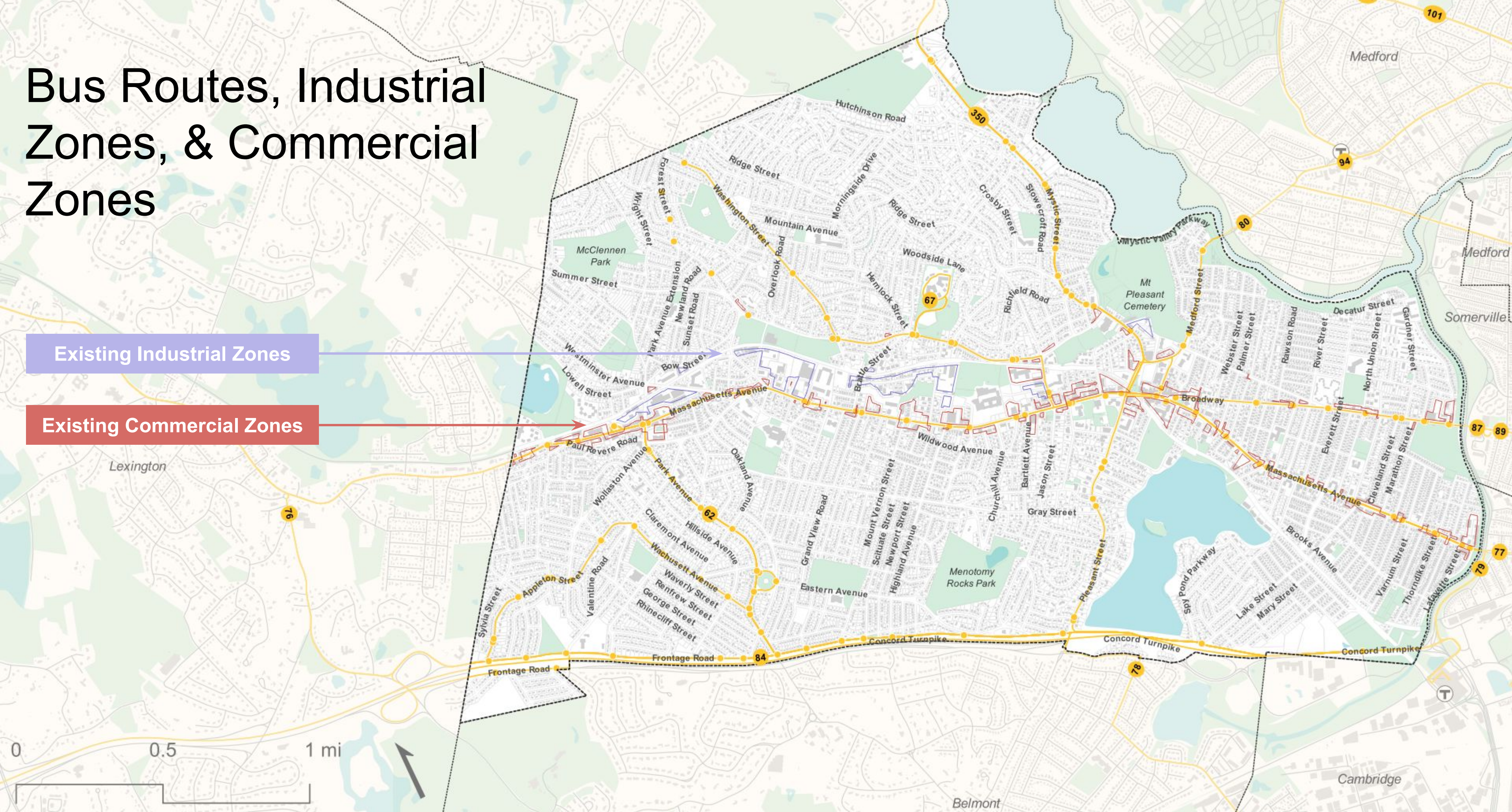
# Existing Bus Routes



# Bus Routes, Industrial Zones, & Commercial Zones

Existing Industrial Zones

Existing Commercial Zones

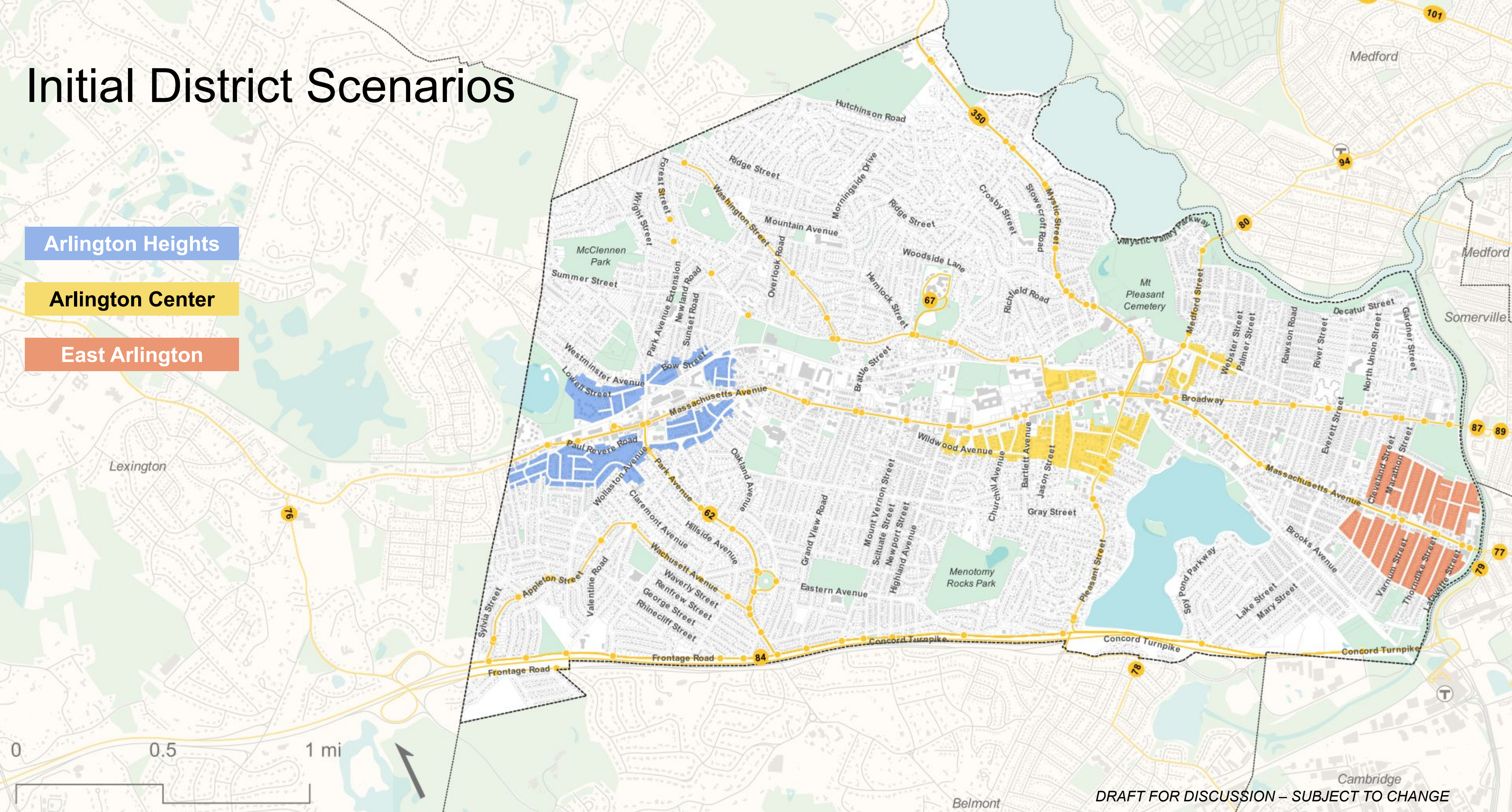


# Initial District Scenarios

Arlington Heights

Arlington Center

East Arlington



DRAFT FOR DISCUSSION – SUBJECT TO CHANGE

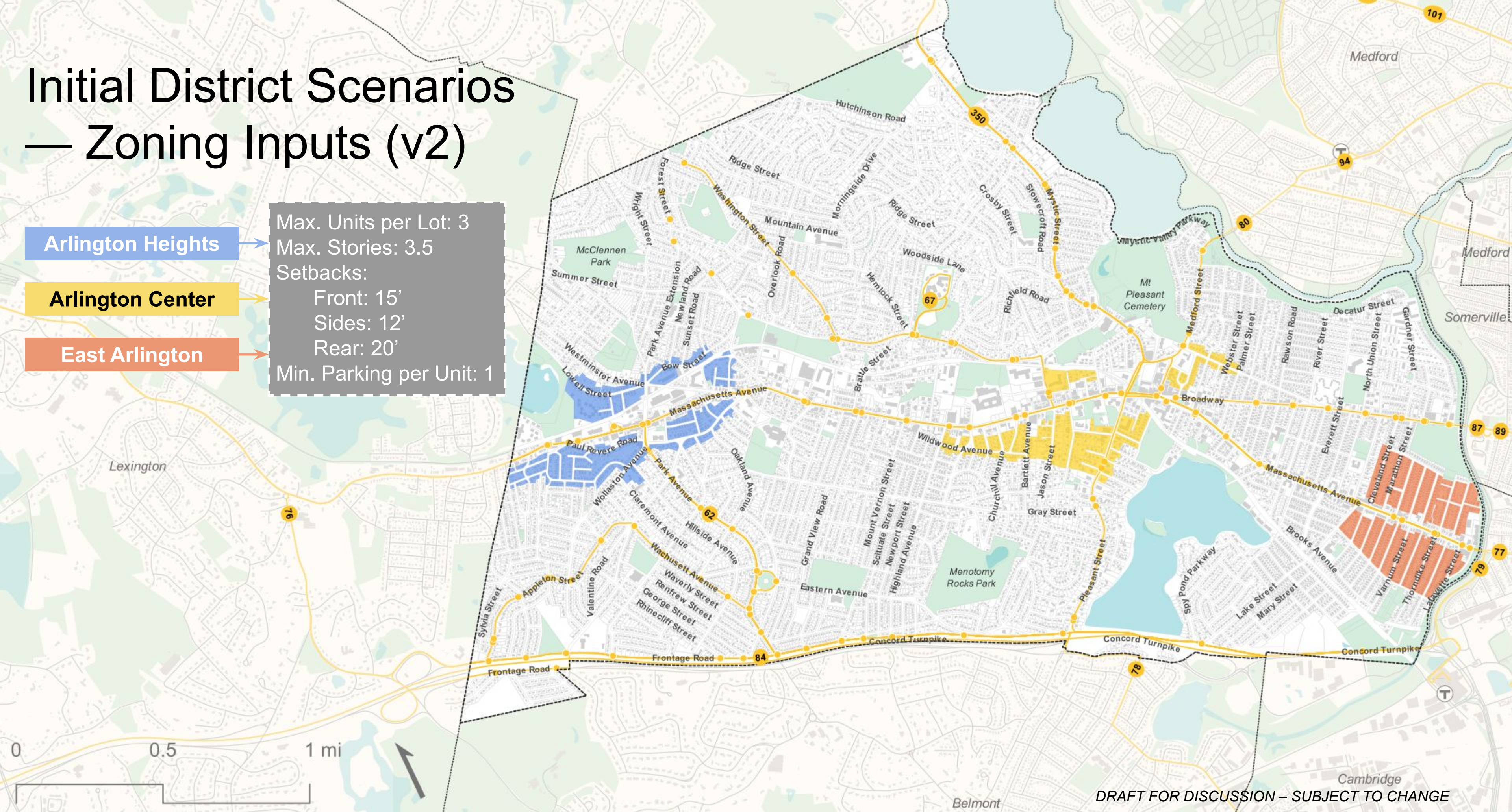
# Initial District Scenarios — Zoning Inputs (v2)

**Arlington Heights**

**Arlington Center**

**East Arlington**

Max. Units per Lot: 3  
 Max. Stories: 3.5  
 Setbacks:  
 Front: 15'  
 Sides: 12'  
 Rear: 20'  
 Min. Parking per Unit: 1



DRAFT FOR DISCUSSION – SUBJECT TO CHANGE



# Initial District Scenarios — Model Results (v2)

## Model Inputs

Max. Units per Lot: 3  
 Max. Stories: 3.5  
 Setbacks:  
     Front: 15'  
     Sides: 12'  
     Rear: 20'  
 Min. Parking per Unit: 1



## Model Results

Candidate District Name	Modeled Multifamily Unit Capacity	District Acreage	Modeled District Density*
Arlington Heights	1,220 units	79 acres	15.5 units/acre
Arlington Center	750 units	63 acres	12 units/acre
East Arlington	1,730 units	79 acres	22.1 units/acre
<b>CURRENT TOTALS</b>	<b>3,700 units</b>	<b>221 acres</b>	<b>16.9 units/acre</b>
<b>COMPLIANCE TARGETS</b>	<b>≥ 2,046 units</b>	<b>≥ 32 acres</b>	<b>≥ 15 units/ acre</b>
<b>Does one contiguous district contain ≥ 50% of total district land area?</b>	<b>No. (If we submit all 3 districts as is!)</b> Arlington Heights = 79 acres / 221 Acres = 35.7% Arlington Center = 63 acres / 221 acres = 28.5% East Arlington = 79 acres / 221 acres = 35.7%		

\* District Density is calculated as (Modeled Unit Capacity) / (District Density Denominator)  
 "District Density Denominator" is the district size MINUS any areas containing: wetlands, water bodies, Title V setbacks, Surface Water Protection Zone A, and Wellhead Protection Zone 1.

**Thank You!**

