

REQUIRED SUBMITTALS CHECKLIST

One electronic copy of your application is required; print materials may be requested, Review the ARB's Rules and Regulations, which can be found at www.arlingtonma.gov/arb, for the full list of required submittals.

Application Cover Sheet (project and property information, applicant information)

Dimensional and Parking Information Form (see attached)

Impact statement

Statement should respond to Environmental Design Review (Section 3.4) and Special Permit (Section 3.3) criteria on pages 6-8 of this packet); include:

- LEED checklist and sustainable building narrative as described in criteria 12.
- Summary of neighborhood outreach, if held or planned.

Drawing and photographs of existing conditions

- Identify boundaries of the development parcel and illustrate the existing conditions on that parcel, adjacent streets, and lots abutting or directly facing the development parcel across streets.
- Photographs showing conditions on the development parcel at the time of application and showing structures on abutting lots.

Site plan of proposal. Must include:

- Zoning boundaries, if any, and parcel boundaries;
- Setbacks from property lines;
- Site access/egress points;
- Circulation routes for pedestrians, bicyclists, passenger vehicles, and service/delivery vehicles;
- New buildings and existing buildings to remain on the development parcel, clearly showing points of entry/exit;
- Other major site features within the parcel or along its perimeter, including but not limited to trees, fences, retaining walls, landscaped screens, utility boxes, and light fixtures;
- Spot grades or site topography and finish floor level;
- Open space provided on the site;
- Any existing or proposed easements or rights of way.

Drawings of proposed structure

- Schematic drawings of each interior floor of each proposed building, including basements.
- Schematic drawings of the roof surface(s), identifying roof materials, mechanical equipment, screening devices, green roofs, solar arrays, usable outdoor terraces, and parapets.
- Elevations of each exterior façade of each building, identifying floor levels, materials, colors, and appurtenances such as mechanical vents and light fixtures.
- Drawings from one or more prominent public vantage point illustrating how the proposed project will appear within the context of its surroundings.
- Graphic information showing façade materials and color samples.
- Include lighting plan and fixtures if not provided on site or landscaping plan.

Vehicle, Bicycle, and Service Vehicle Plans

- Parking and loading plans, including all vehicle and bicycle parking facilities located on the parcel or within a structure, showing dimensions of spaces, driveways, access aisles, and access/egress points. Include line-of-sight and turning radius along with length and type of delivery truck.
- If you are requesting a reduction in the amount of required parking, include a Transportation Demand Management Plan per Section 6.1.5.
- Plans of all bicycle parking facilities located on the lot and within any structure, including dimensions of spaces and access routes and types of bicycle racks.

Sustainable Building and Site Design Elements

- A solar energy systems assessment per Section 6.4, which must include:
 - An analysis for solar energy system(s) for the site detailing layout and annual production;
 - The maximum feasible solar zone area of all structures; and,
 - Drawings showing the solar energy system you propose, with a narrative describing the system, the reasons the system was chosen, and how the system meets the requirements of Section 6.4; or
 - A detailed explanation of why the project meets an exemption of Section 6.4.2.
- LEED checklist and narrative per EDR criterion 13.

Proposed landscaping (*may be incorporated into site plan*)

Schematic drawing(s) illustrating and clearly labels all landscape features, including hardscape materials, permeable areas, plant species, and light fixtures.

Plans for sign permits, if signage is an element of development proposal

Stormwater management plan

(for stormwater management during construction for projects with new construction)

SketchUp Compatible Model, if required

Application fee

(See [Rule 12 of the ARB Rules and Regulations](#) for how to calculate the fee)

FOR OFFICE USE ONLY

_____ Special Permit Granted

_____ Received evidence of filing with Registry of Deeds

_____ Notified Building Inspector of Special Permit filing

Docket #: _____

Date: _____

Date: _____

Date: _____

July 14, 2023

RE : RENOVATIONS TO 355 MASS AVE IN ARLINGTON MA
ENVIRONMENTAL DESIGN REVIEW CHECKLIST EXPLANATION

Below is a list of the reasons/explanations for items that are unchecked.

- Vehicle, Bicycle, & Service:
The proposed renovations are to an existing private residence, therefore there is no change to the vehicle, bicycle, and service parking.
- Sustainable Building and Site Design:
There is no solar energy system design for the house because it is an existing structure. We will use energy star appliances and mechanical systems. We will increase the insulation to the current energy codes, greatly reducing heat and cooling loads.
- Proposed Landscape:
The existing landscape will remain as is.
- Plans for sign permits:
No new signage is being proposed
- Stormwater management:
The planned renovations do not substantially increase the surface area of the existing structure. Gutters will be installed to direct water on site.

COVER SHEET

Application for Special Permit in Accordance with Environmental Design Review

PROPERTY AND PROJECT INFORMATION

- Property Address 355 Mass Ave, Arlington MA
Assessors Block Plan, Block, Lot No. 355 Zoning District B1
- Deed recorded in the Registry of deeds, Book 817, Page 112.
-or- registered in Land Registration Office, Cert. No. 22302, in Book _____, Page _____.
- Present Use of Property (include # of dwelling units, if any)
Office Space, with owner occupied unit above.
- Proposed Use of Property (include # of dwelling units, if any)
No change in use is proposed

APPLICANT INFORMATION

- Applicant:** Identify the person or organization requesting the Special Permit:
Name of Applicant(s) Matt DeMello
Organization DeMello Fine Building and Woodworking
Address 355 Mass Ave, Arlington, MA 0274
Street City, State, Zip
Phone 781-298-5686 Email d.demellofbw@gmail.com
- Applicant Interest:** the applicant must have a legal interest in the subject property:
 Property owner Purchaser by land contract
 Purchaser by option or purchase agreement Lessee/tenant
- Property Owner** Check here if applicant is also property owner
Identify the person or organization that owns the subject property:
Name: Sarah Courtney Title: Dr.
Organization: _____ Phone: _____
Address 355 Mass Ave, Arlington, MA 02474
Street City, State, Zip
Phone 617-872-7023 Email scourt3@gmail.com

ARLINGTON REDEVELOPMENT BOARD

Application for Special Permit Under Environmental Design Review

4. **Representative:** Identify any person representing the property owner or applicant in this matter:

Name: Seth Morrissey Title: Architect
Organization: Olson Lewis + Architect Phone: 06/27/2023
Address 17 Elm Street Manchester, MA 01944
Street City, State, Zip
Phone 978-406-1266 Email morrissey@olsonlewis.com

5. Permit applied for in accordance with the following Zoning Bylaw section(s)

3.4 Environmental Design Review

section(s)

title(s)

6. List any waivers being requested and the Zoning Bylaw section(s) which refer to the minimum or maximum requirements from which you are seeking relief.

section(s)

title(s)

7. Please attach a statement that describes your project and provide any additional information that may aid the ARB in understanding the permits you request. Include any reasons that you feel you should be granted the requested permission.

(In the statement below, strike out the words that do not apply)

The applicant states that Sarah Courtney is the owner -or- occupant -or- purchaser under agreement of the property in Arlington located at 355 Mass Ave, Arlington MA which is the subject of this application; and that unfavorable action -or- no unfavorable action has been taken by the Zoning Board of Appeals on a similar application regarding this property within the last two years. The applicant expressly agrees to comply with any and all conditions and qualifications imposed upon this permission, either by the Zoning Bylaw or by the Redevelopment Board, should the permit be granted.


Signature of Applicant(s)

42 Park Ave, Cambridge MA 02138 617.872.7023

Address

Phone

DIMENSIONAL AND PARKING INFORMATION

Property Location: **355 Mass Ave**

Zoning District: **B1**

Applicant: **Sarah Courtney**

Address: **355 Mass Ave.**

Present Use/Occupancy: No. of Dwelling Units:
B1 - Owner occupied dwelling unit and office

Uses and their gross square feet:
Dwelling Unit: 1,760 / Business: 1,693

Proposed Use/Occupancy: No. of Dwelling Units:
B1 - Owner occupied dwelling unit and office

Uses and their gross square feet:
Dwelling Unit: 2,734 / Business: 1,693

	Present Conditions	Proposed Conditions	Min. or Max. Req'd by Zoning for Proposed Use
Lot Size	9,356 SF	9,356 SF	min. 5,000 SF
Frontage	88.1'	88.1'	min. 50'
Floor Area Ratio ¹	36%	50%	max. 75%
Lot Coverage (%), where applicable	NA	NA	max. NA
Lot Area per Dwelling Unit (sf)	7,356	7,356	min. 2,500
Front Yard Depth (feet)	26	26	min. 20
Side Yard Width (feet)	right side	16	min. 10
	left side	13.6	min. 10
Rear Yard Depth (feet)	21.7	21.7	min. 20
Height	stories	2 1/2	stories ² 3
	feet	35	feet 35
Open Space (% of G.F.A.) ³			min. 1,328
	Landscaped (sf)	3,887	(sf) 443
	Usable (sf)	1,340	(sf) 885
Parking Spaces (#) ⁴			min. 1
Parking Area Setbacks (feet) <i>(where applicable)</i>			min.
Loading Spaces (#)			min. 0
Bicycle Parking ⁵	short term	NA	min. 0
	long term	NA	min. 0

¹ FAR is based on Gross Floor Area. See Section 5.3.22 for how to calculate Gross Floor Area. On a separate page, provide the calculations you used to determine FAR, including the calculations for Gross Floor Area.

² Where two heights are noted in the dimensional tables, refer to Section 5.3.19, Reduced Height Buffer Area to determine the applicable height or the conditions under which the Board may provide relief.

³ Per Section 5.3.22(C), district dimensional requirements are calculated based on GFA. On a separate page, show how you determined the open space area amounts.

⁴ See Section 6.1, Off-Street Parking. If requesting a parking reduction, refer to Section 6.1.5.

⁵ See Section 6.1.12, Bicycle Parking, or refer to the [Bicycle Parking Guidelines](#).

June 26, 2023

RE : RENOVATIONS TO 355 MASS AVE IN ARLINGTON MA
ENVIRONMENTAL DESIGN REVIEW IMPACT STATEMENT

A. Preservation of landscape.

The existing landscape will be remaining as is.

B. Relation of Buildings to Environment.

The existing foot print will remain the same, with the expectation of a new rear entry porch. The modifications to the existing massing are intended to simplify the existing massing to help fit in the existing character of the neighborhood. The existing porch will receive a new roof to fit within the existing character of the neighborhood. New dormers will be added on the third floor for additional living space.

C. Open Space.

The proposed plan does not change the amount of open space on the existing lot.

D. Circulation.

The existing building has four entrance points. Two for the business on the first floor and two for the dwelling unit on the 2nd and 3rd floor. In the proposed renovations, the entrances will remain in the same locations with new doors. The parking area on the site as drawn can accommodate five vehicles.

E. Surface Water Drainage.

The planned renovations do not substantially increase the surface area of the existing structure. Gutters will be installed to direct water on site.

F. Utility Service.

These are existing and will be a combination of above and underground services.

G. Advertising Features.

The business on the first floor has existing signage that will remain as is.

H. Special Features.

No special features are being proposed

I. Safety.

Entrances and parking will be well lit.

J. Heritage.

Our project attempts to blend contextually to the adjacent buildings in type and massing.

K. Microclimate.

Our building use is typical for the area and has been the same use since 1980. We are proposing to extend the existing ridge and add dormers, but are not increasing the height of the existing structure.

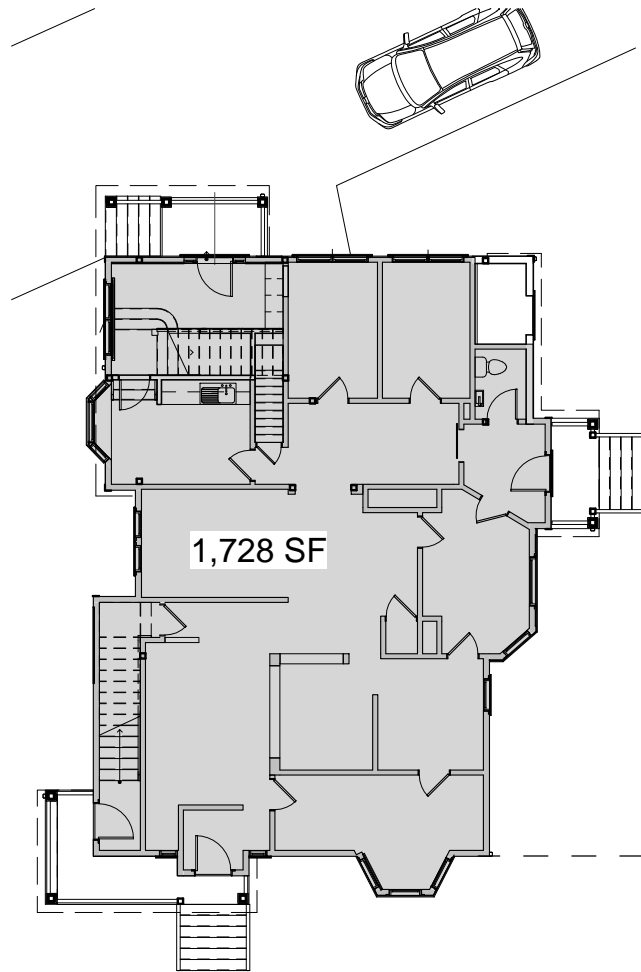
L. Sustainable Building and Site Design.

We will use energy star appliances and mechanical systems.

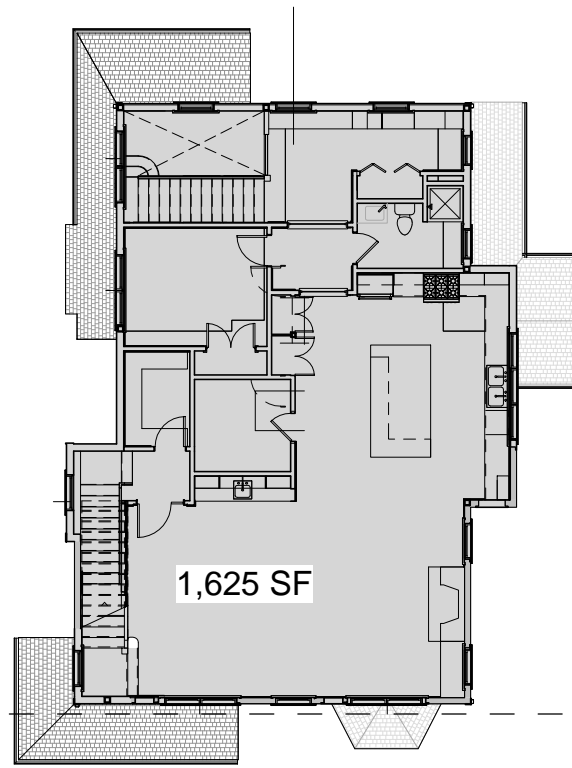
We will increase the insulation to the current energy codes, greatly reducing heat and cooling loads.

FIRST FLOOR: 1,728 SF
 SECOND FLOOR: 1,625 SF
 THIRD FLOOR: 1,335 SF

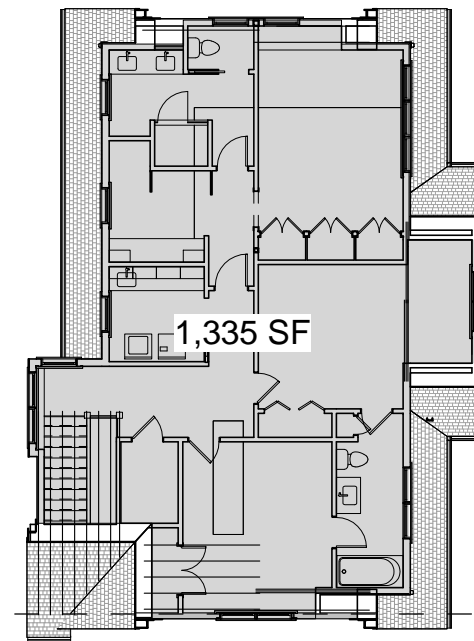
TOTAL GROSS FLOOR AREA: 4,688 SF/ LOT AREA (9,356 sf) =.50 OR 50%



① FIRST FLOOR PLAN
 1/16" = 1'-0"



② Level 2 - FAR PLAN
 1/16" = 1'-0"



③ THIRD FLOOR PLAN
 1/16" = 1'-0"

architecture planning interiors
 17 Elm Street Manchester, MA 01944
 978.526.4386 www.olsonlewis.com



355 MASSACHUSETTS AVENUE
Renovation to:
 Arlington, MA 02474

FAR CALCULATIONS

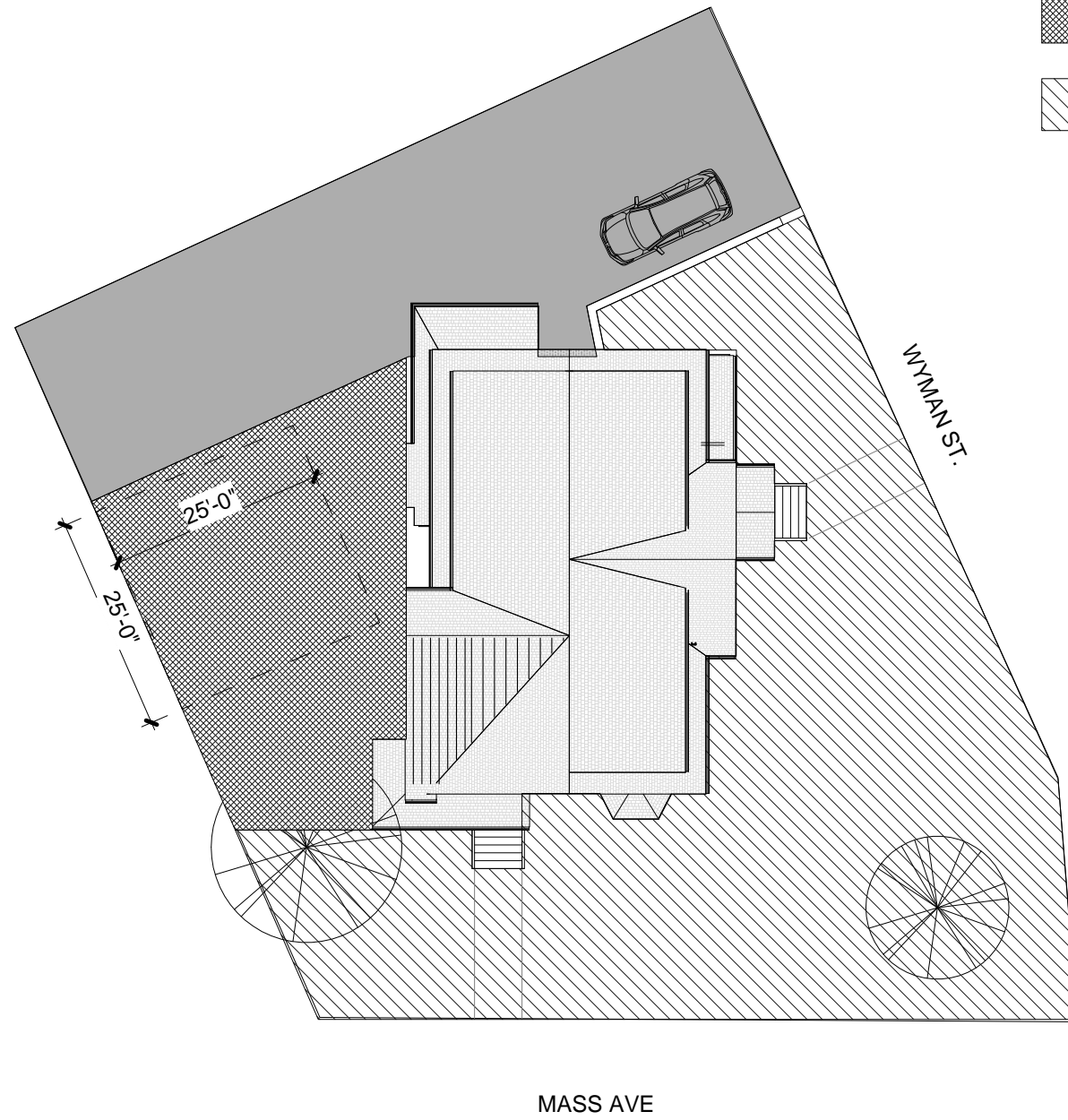
Job No	20091	Scale		Date	06/26/2023
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ARB PACKAGE
 JUNE 26, 2023




AP1.1

8/6/21 12:10 pm BIMcloud: BIM-Server.local - BIMcloud Basic for ARCHICAD 24/03 Life Science/20091_200W TranslateBIO

1 SITE PLAN - OPEN SPACE CALCULATIONS
1" = 20'-0"



OPEN SPACE LEGEND

-  EXISTING DRIVE
-  USEABLE OPEN SPACE 1,340 SF
-  LANDSCAPED OPEN SPACE: 3,887 SF

ARB PACKAGE
JUNE 26, 2023

OPEN SPACE CALCS.

Job No	20091	Scale		Date	06/26/2023
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355 MASSACHUSETTS AVENUE

Renovation to:

Arlington, MA 02474

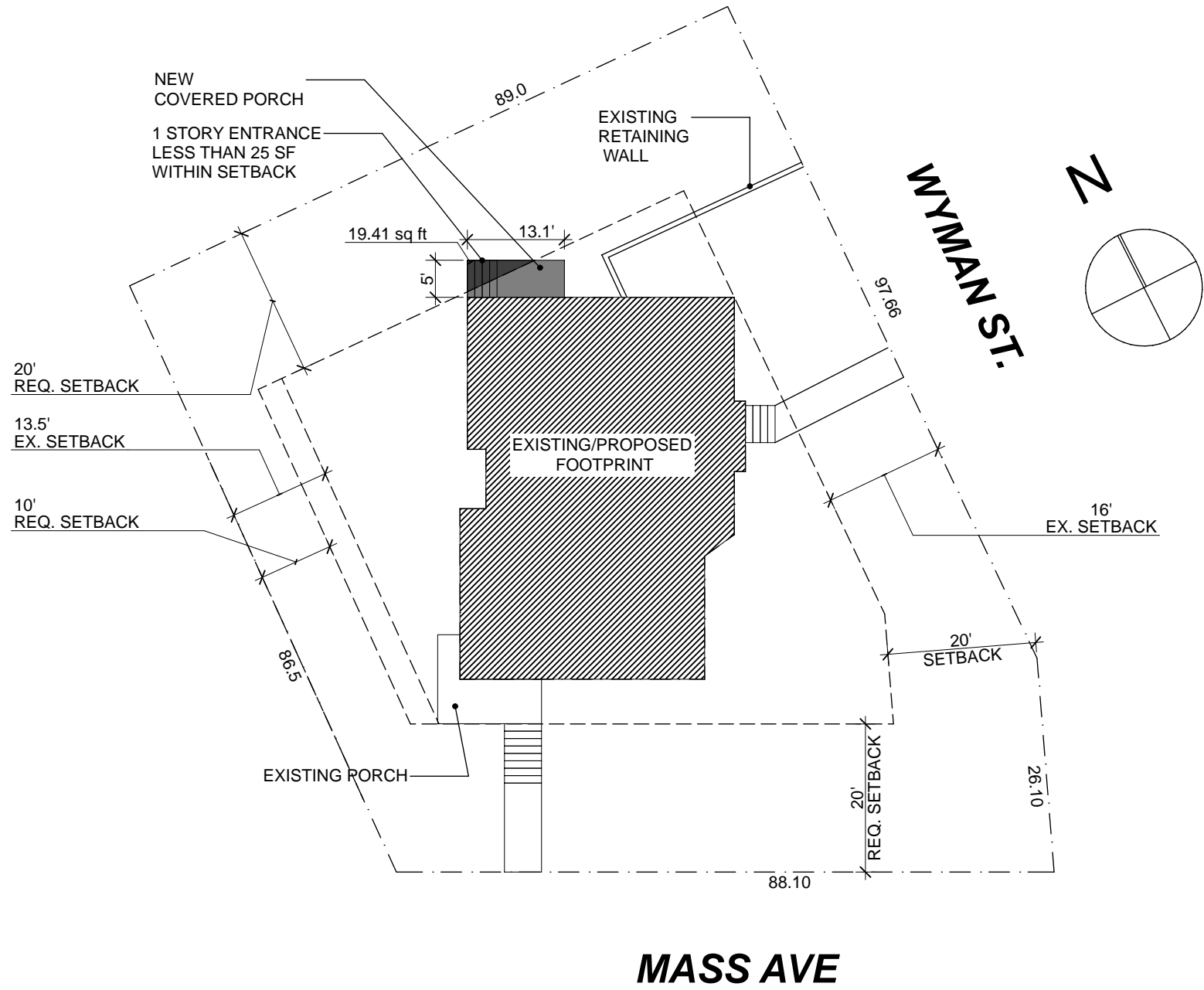


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AP1.0

A SITE PLAN

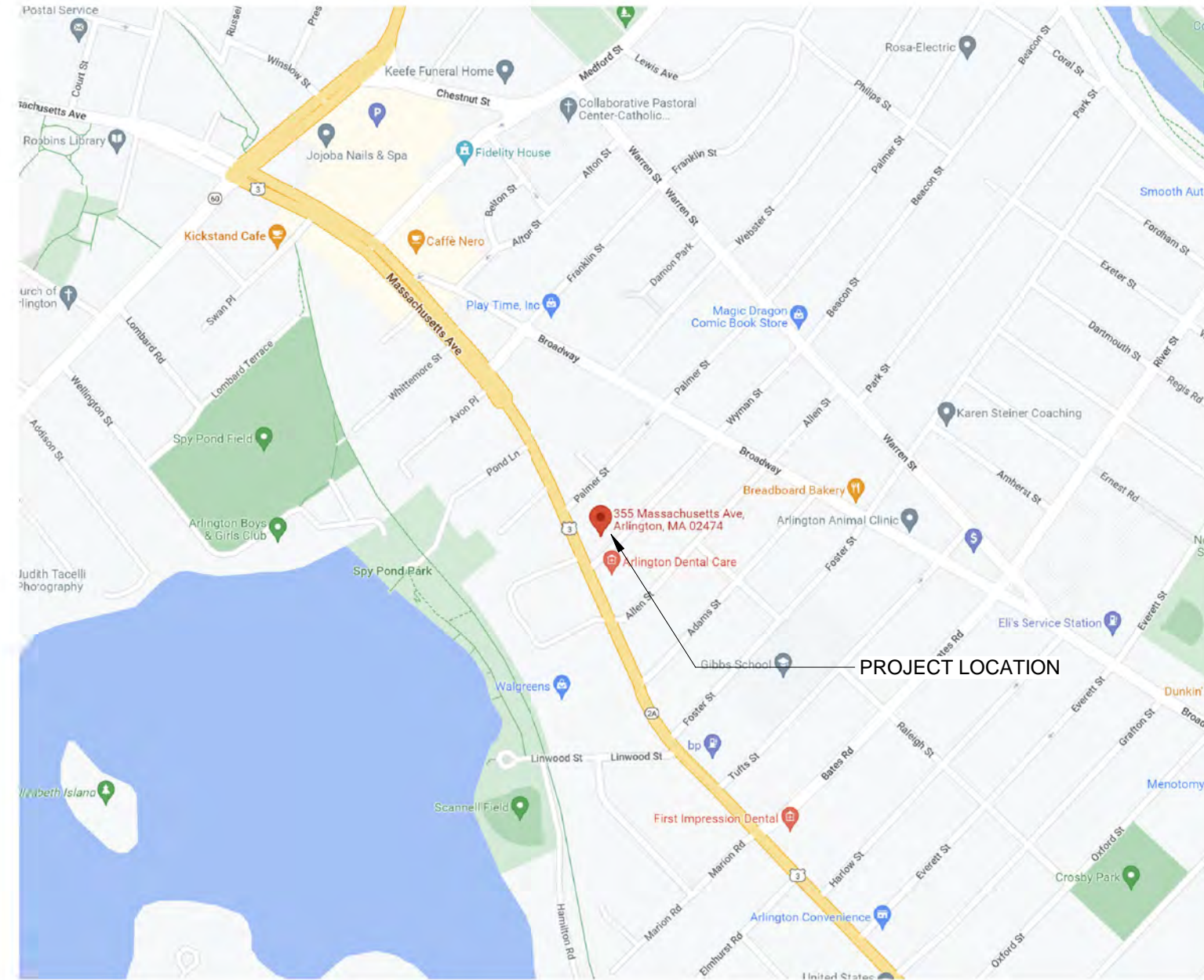
SCALE: 1" = 20'



PROPOSED SITE PLAN
JULY 19, 2023

Renovation To: 355 Massachusetts Avenue

Arlington, MA 02474

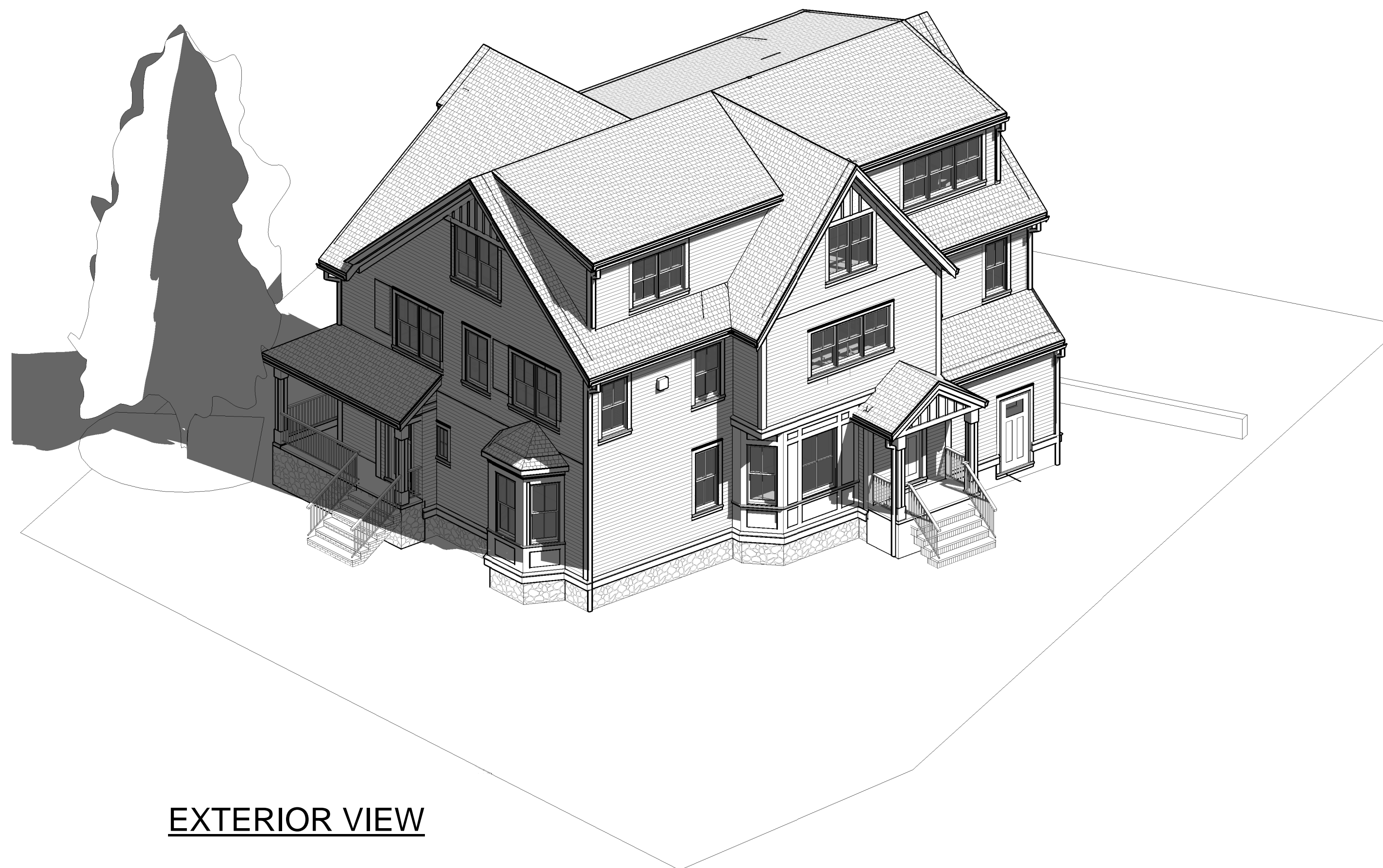


LOCATION MAP

GENERAL NOTES

- CONSTRUCTION TO BE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE, NINTH EDITION (FOR ONE AND TWO FAMILY DWELLINGS) AND THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC 2015), AND 2021 INTERNATIONAL ENERGY CODE (IECC 2021) WITH 2023 MA STRETCH CODE AMENDMENTS.
- CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER OR ENGINEER BEFORE PROCEEDING WITH THE AFFECTED WORK. ANY VARIATIONS OR SUBSTITUTIONS OF STRUCTURAL MATERIALS OR DETAILS FROM THOSE DEPICTED ON THE DRAWINGS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF THE ARCHITECT OR ENGINEER.
- CONTRACTOR SHALL MAINTAIN SMOKE FREE PREMISES CLEAN AND FREE OF ALL TRASH DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, PAINT OVERSPRAY ETC. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS ETC SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.
- ALL MANUFACTURER'S PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING AND GUYING STRUCTURES, BARRIERS AND SIGNAGE.
- MECHANICAL, ELECTRICAL AND PLUMBING SCOPE OF WORK TO BE DESIGN BUILD.
- DO NOT SCALE THE DRAWINGS. DIMENSION STRINGS HAVE BEEN PROVIDED AND REPRESENT THE ACTUAL MEASUREMENTS AS NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL LABOR, MATERIALS, MEANS AND METHODS OF CONSTRUCTION ASSOCIATED WITH THIS PROJECT.

PROJECT INFORMATION & ZONING REQUIREMENTS				
PROJECT LOCATION: 355 MASS AVE, ARLINGTON MA				
CLIENT: SARAH COURTNEY				
ZONE: B1 - NEIGHBORHOOD OFFICE				
BUILDING CONSTRUCTION & INFO.				
SUMMARY	RENOVATION AND ADDITION TO AN EXISTING 2 1/2 STORY RESIDENCE WITH AN OWNER OCCUPIED BUSINESS LOCATED ON THE FIRST FLOOR. THE SCOPE OF THE ADDITION AND RENOVATION IS PREDOMINANTLY IN THE APARTMENT ABOVE THE OFFICES.			
USE	ONE FAMILY HOUSE WITH OWNER OCCUPIED GROUND FLOOR OFFICES			
ROOFS	WOOD FRAME W/ CLOSED CELL INSULATION AND ASPHALT SHINGLES			
FLOORS	WOOD FRAME W/ CAVITY INSULATION			
EXTERIOR WALLS	COMPOSITE CLAPBOARD SIDING, PVC TRIM WITH STUD BACKUP W/ CLOSED CELL INSULATION			
INTERIOR WALLS	WOOD STUC W/ BATT INSULATION, BLUEBOARD & PLASTER FINISH			
SQUARE FOOTAGE SUMMARY				
	EXISTING (SF)	PROPOSED ADDITION (SF)	TOTAL COMPLETED (SF)	
BASEMENT	1,212	0	1,212	UNCONDITIONED SPACE
FIRST FLOOR	1,693	0	1,693	
SECOND FLOOR	1,259	181	1,440	
THIRD FLOOR	500	794	1,294	
TOTAL SF	4,664	975	5,639	
ZONING INFORMATION				
	ZONING REQUIREMENTS	EXISTING	PROPOSED	MEET REQ.
MINIMUM LOT AREA (SF)	5,000	9,356	YES	YES
MINIMUM LOT AREA PER UNIT (FT)	N/A	53	YES	YES
MINIMUM FRONTAGE (FT)	50	88.1	YES	YES
MINIMUM FRONT YARD (FT)	20	26	YES	YES
MINIMUM SIDE YARD (FT)	10	13.6	YES	YES
REAR YARD (FT)	20	21.7	YES	YES
LANDSCAPE OPEN SPACE	20%	43%	43%	YES
USABLE OPEN SPACE	20%	21%	21%	YES
MAXIMUM HEIGHT	35	35	35	YES
MAXIMUM STORIES	3	2 1/2	3	YES
MAXIMUM FAR	75	.37	.47	YES



EXTERIOR VIEW

DRAWING LIST

-AD.01 DEMOLITION PLANS	
AD1.1	FIRST FLOOR DEMO PLAN
AD1.2	2ND & 3RD FLOOR DEMO PLANS
A1.0 FLOOR PLANS	
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A1.4	ROOF PLAN
A2.0 EXTERIOR ELEVATIONS	
A2.1	PROPOSED ELEVATIONS
A2.2	PROPOSED ELEVATIONS
A3.0 BUILDING SECTIONS	
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
A4.0 WALL SECTIONS / EXTERIOR DETAILS	
A4.1	WALL SECTIONS & EXT. DETAILS
A4.2	EXTERIOR DETAILS
A5.0 DOORS & WINDOWS	
A5.1	DOOR & WINDOW - SCHEDULES
A8.0 VIEWS	
A8.1	VIEWS
A8.2	VIEWS
STRUCTURAL	
S1.0	STRUCTURAL NOTES

ARB PACKAGE

06/26/2023

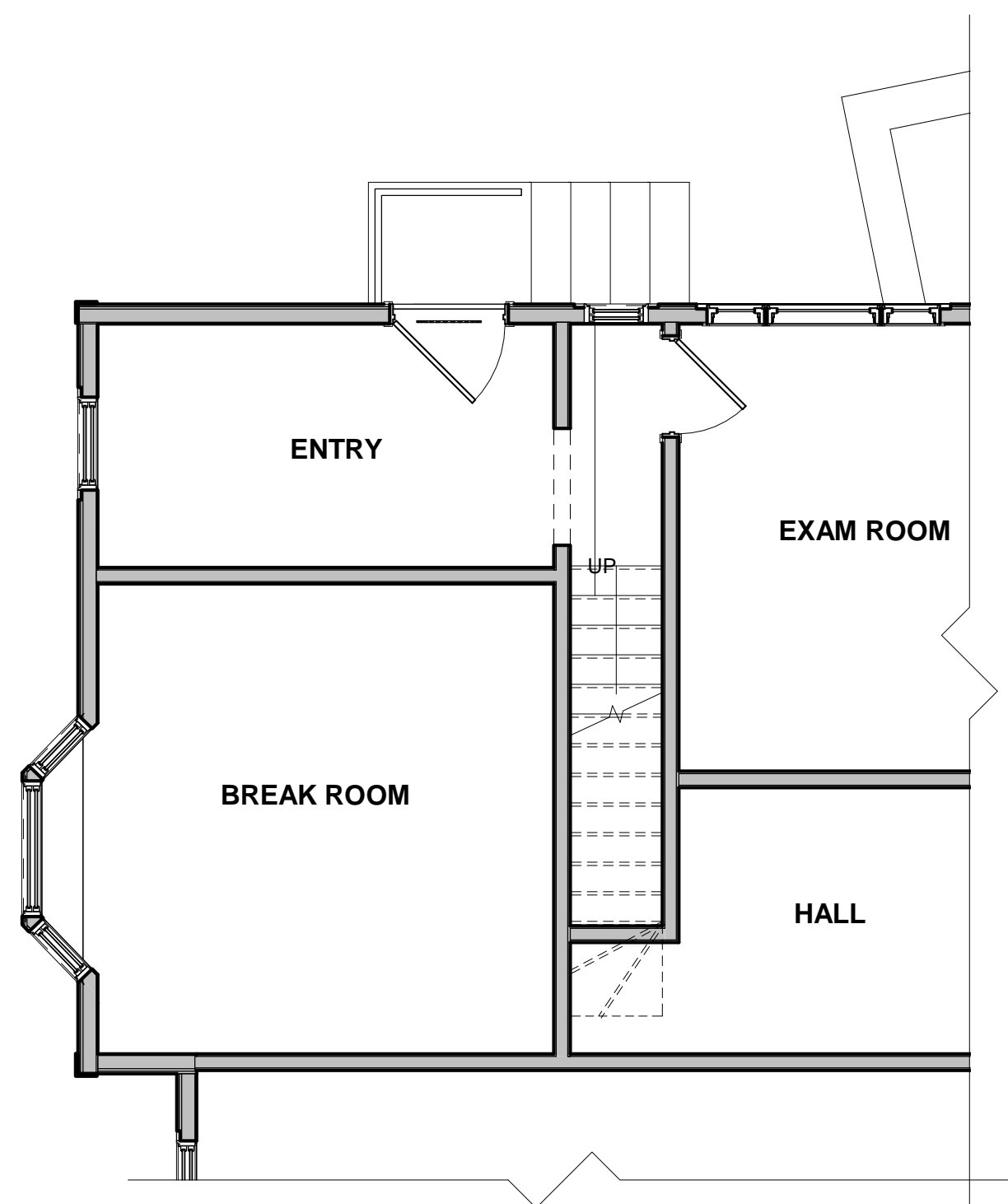
Renovation to:

355 MASSACHUSETTS AVE

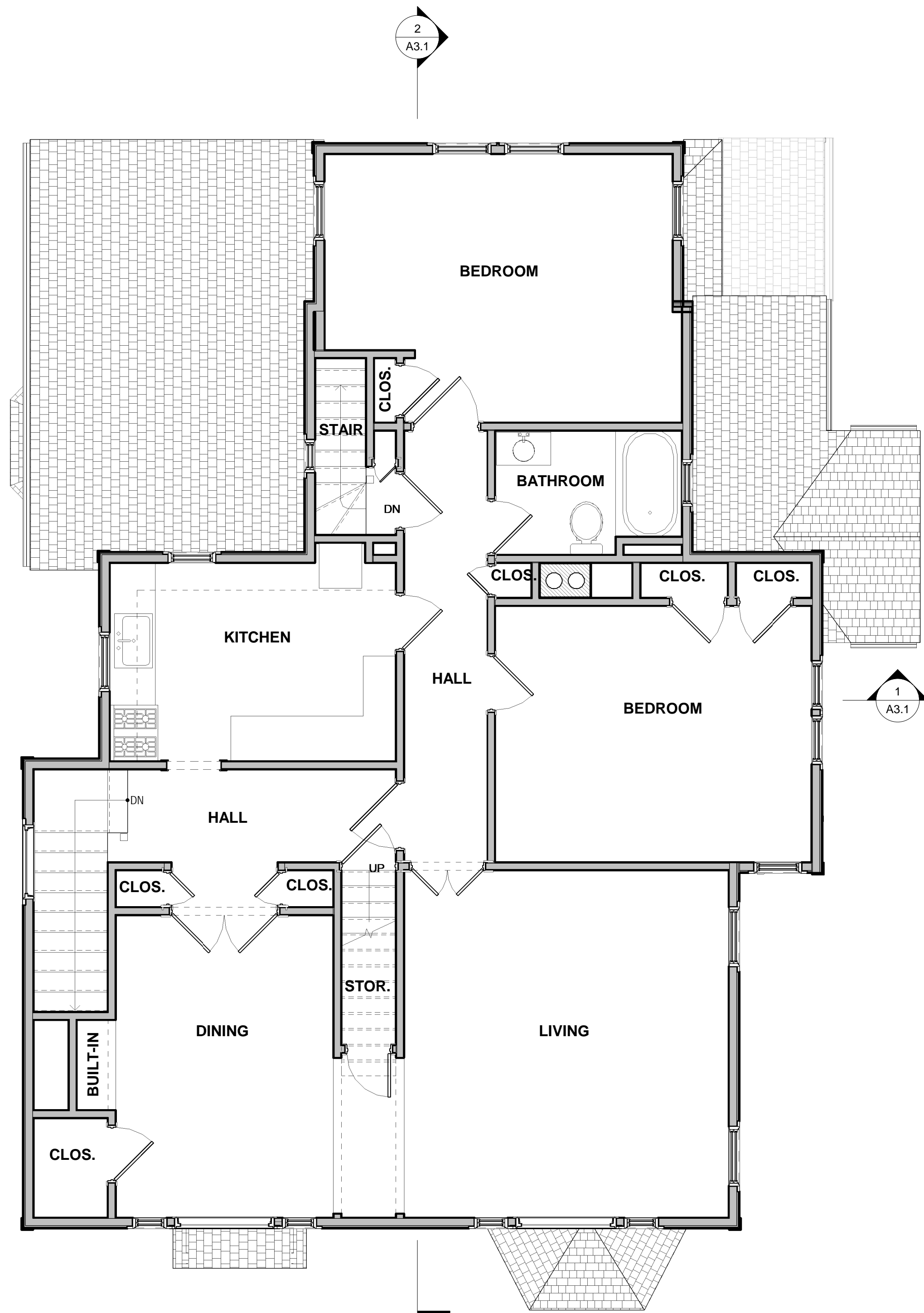
REVISIONS

No.	Description	Date

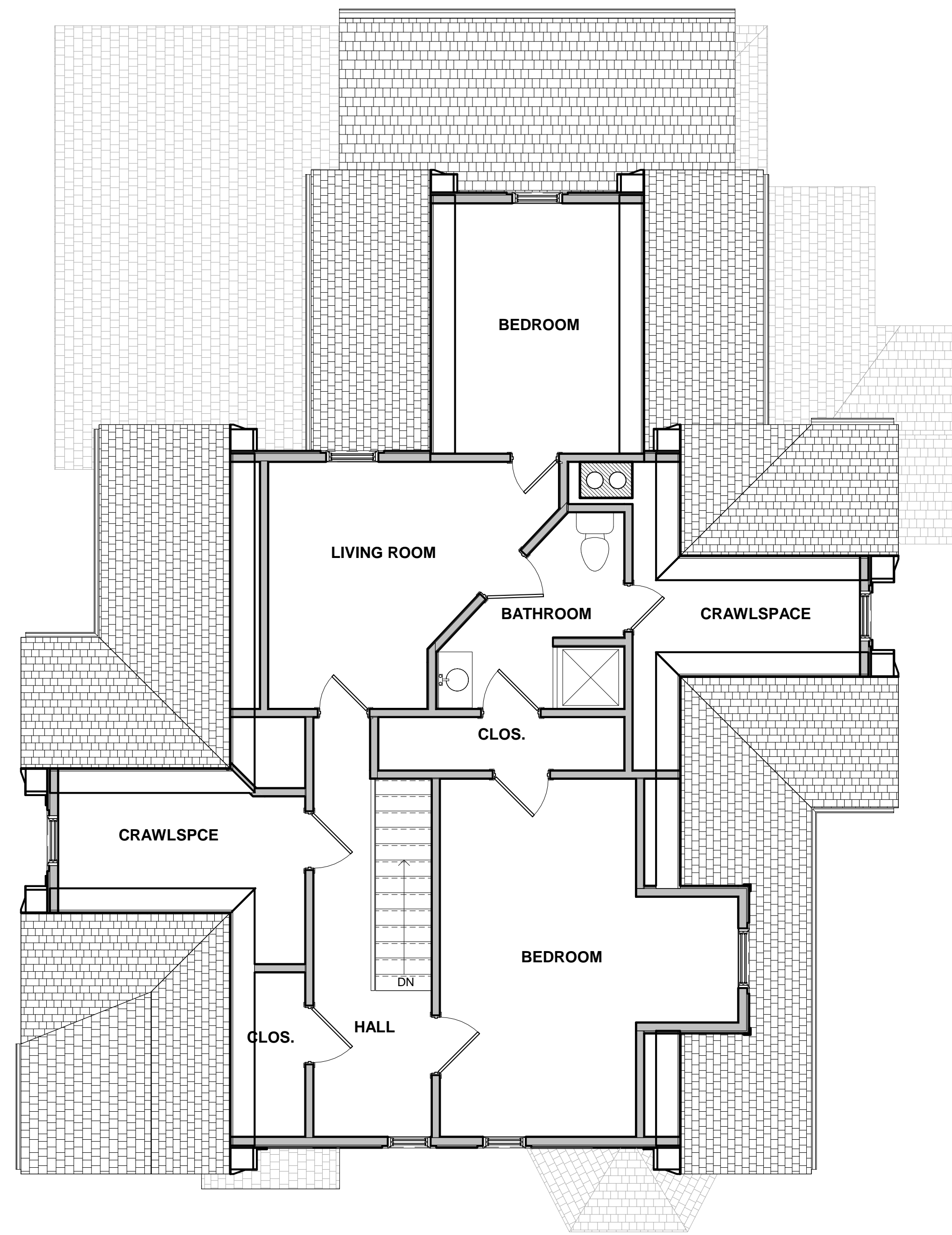
Job Number 21-099 Scale Date 06/26/2023



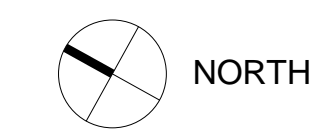
3 FIRST FLOOR - EXISTING
1/4" = 1'-0"



1 SECOND FLOOR - EXISTING
1/4" = 1'-0"



2 THIRD FLOOR - EXISTING
1/4" = 1'-0"



EXISTING CONDITIONS
9/19/2022

No.	Description	Date

FLOOR PLANS	
Project #	355-0322
Scale	1/4" = 1'-0"
Drawn By	Author
Date	9/19/2022

No.	Description	Date

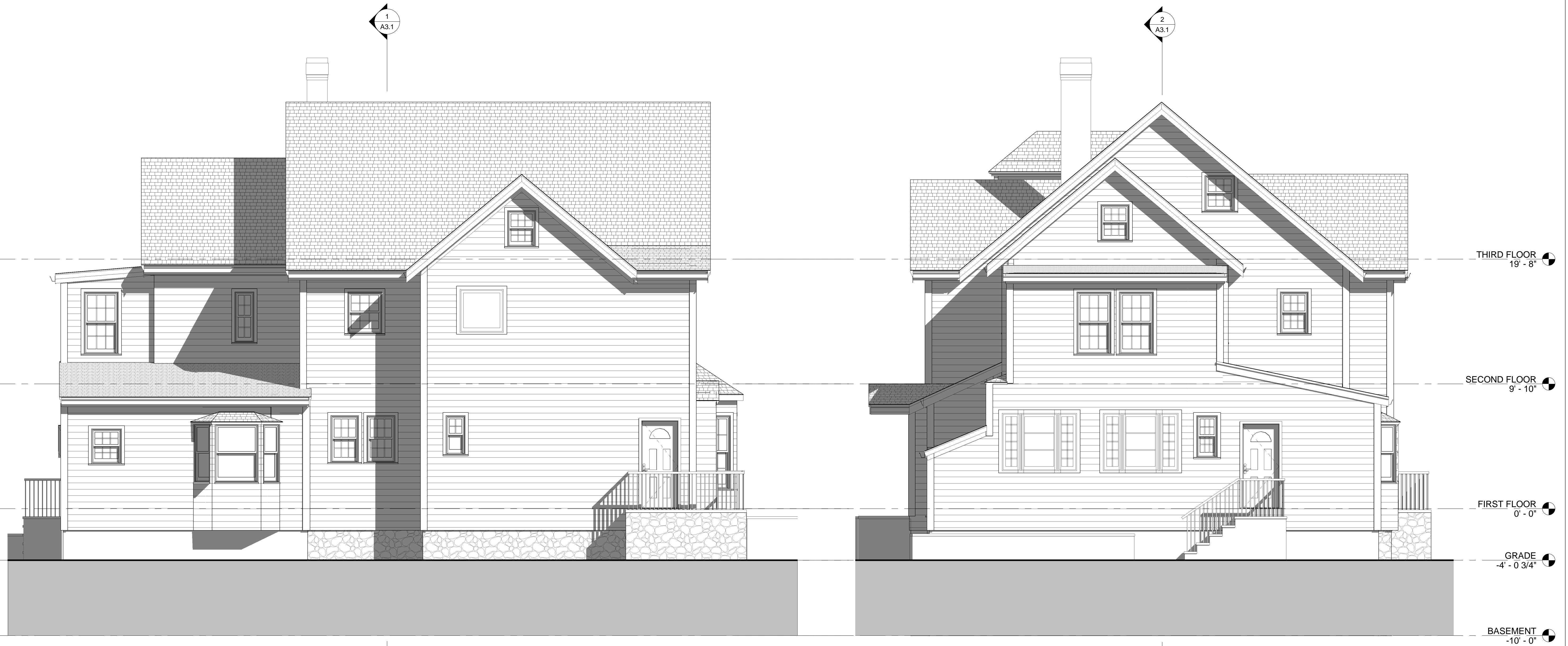
Project # _____ 1/4" = 1'-0" Author: 9/19/2022



④ WEST ELEVATION - MASS AVE
 1/4" = 1'-0"

② SOUTH ELEVATION - WYMAN ST
 1/4" = 1'-0"

EXISTING CONDITIONS
 9/19/2022



② NORTH ELEVATION - YARD
1/4" = 1'-0"

① EAST ELEVATION - DRIVEWAY
1/4" = 1'-0"

EXISTING CONDITIONS
9/19/2022

No.	Description	Date

EXTERIOR
ELEVATIONS
Project # _____ 1/4" = _____ Author _____ 9/19/2022
1'-0"

EX2.2



MASS AVE VIEW



WYMAN STREET VIEW



BACKYARD VIEW

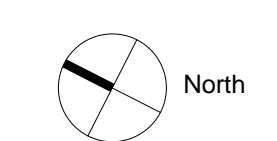


DRIVEWAY VIEW

No.	Description	Date

EXISTING PHOTOS

Job Number: 21-099 | Scale: | Date: 06/26/2023
Drawn By: Author

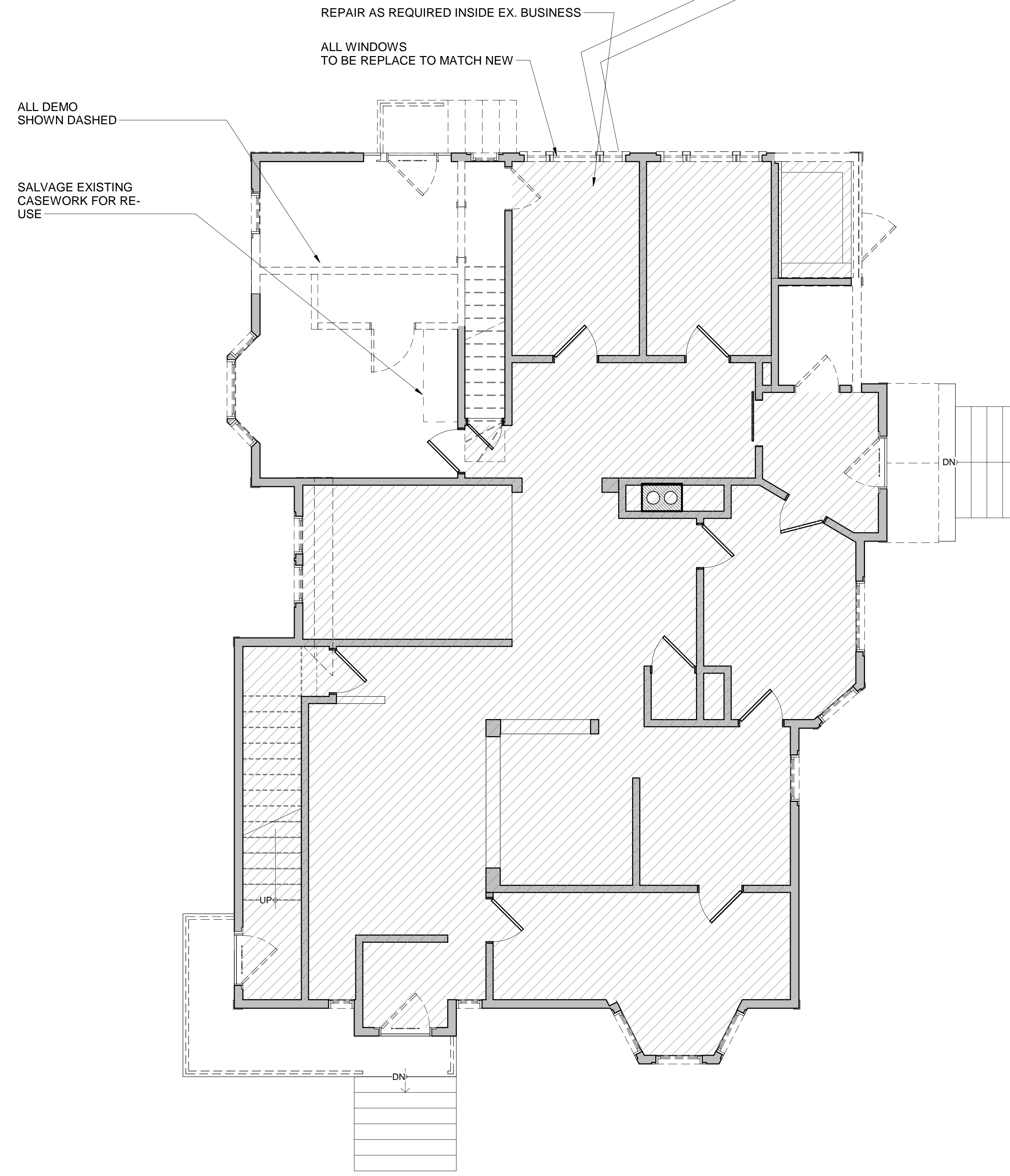


ARB PACKAGE
06/26/2023

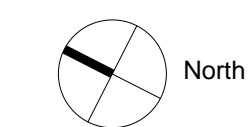
AD1.0

DEMO NOTES

1. EXTENT OF DEMOLITION SHOWN DASHED
2. REMOVE ALL SIDING AND TRIM WORK
3. REUSE FRAMING AS FEASIBLE
4. ALL FINISHES TO BE REMOVED ON SECOND AND THIRD FLOOR



1 FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



ARB PACKAGE
06/26/2023

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Renovation to:
355 MASSACHUSETTS AVENUE
Arlington, MA 02474

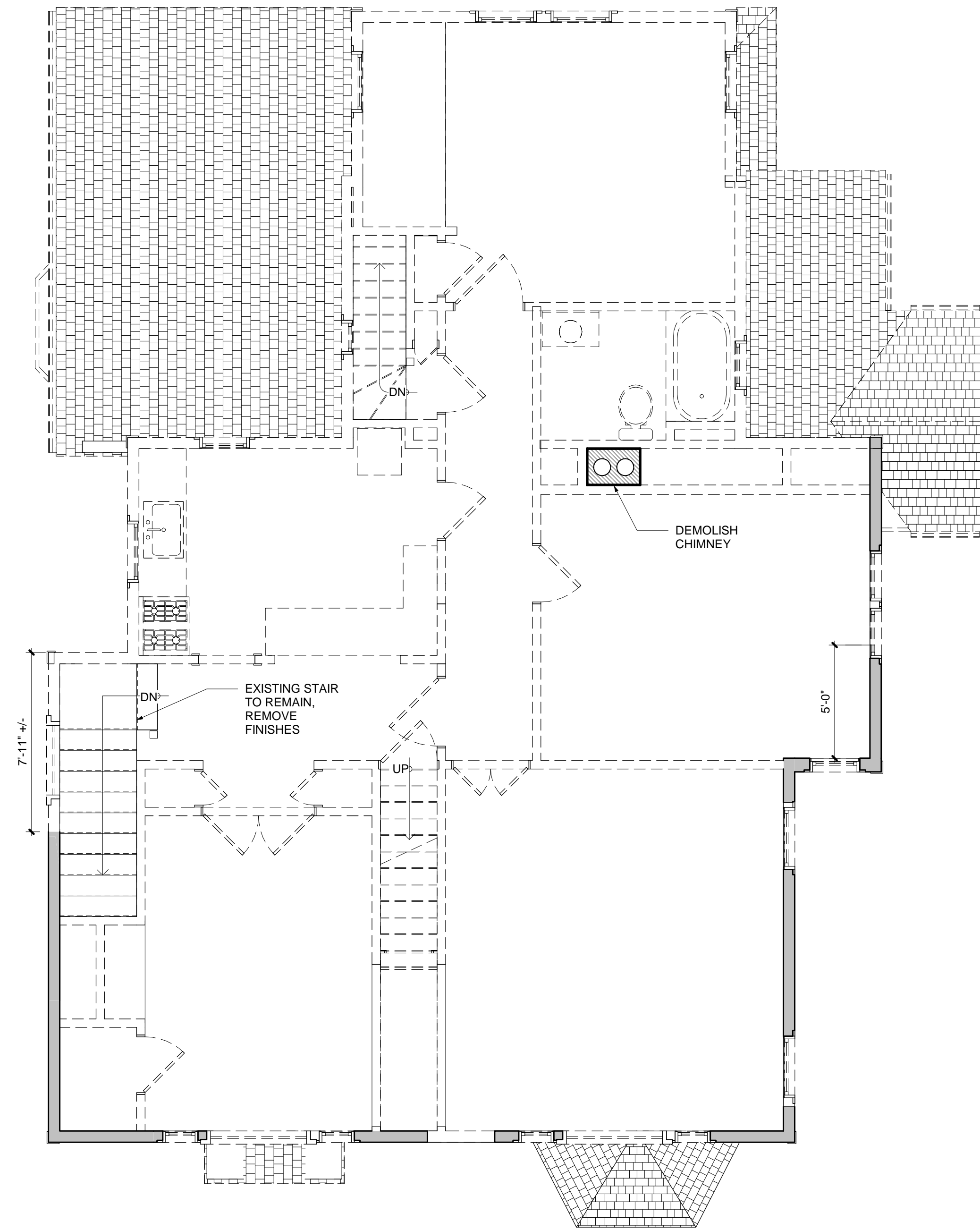
No.	Description	Date

FIRST FLOOR DEMO PLAN	
Job Number: 21-089	Scale: 1/4" = 1'-0"
Drawn By: []	Checked By: []
Author: []	Date: 06/26/2023

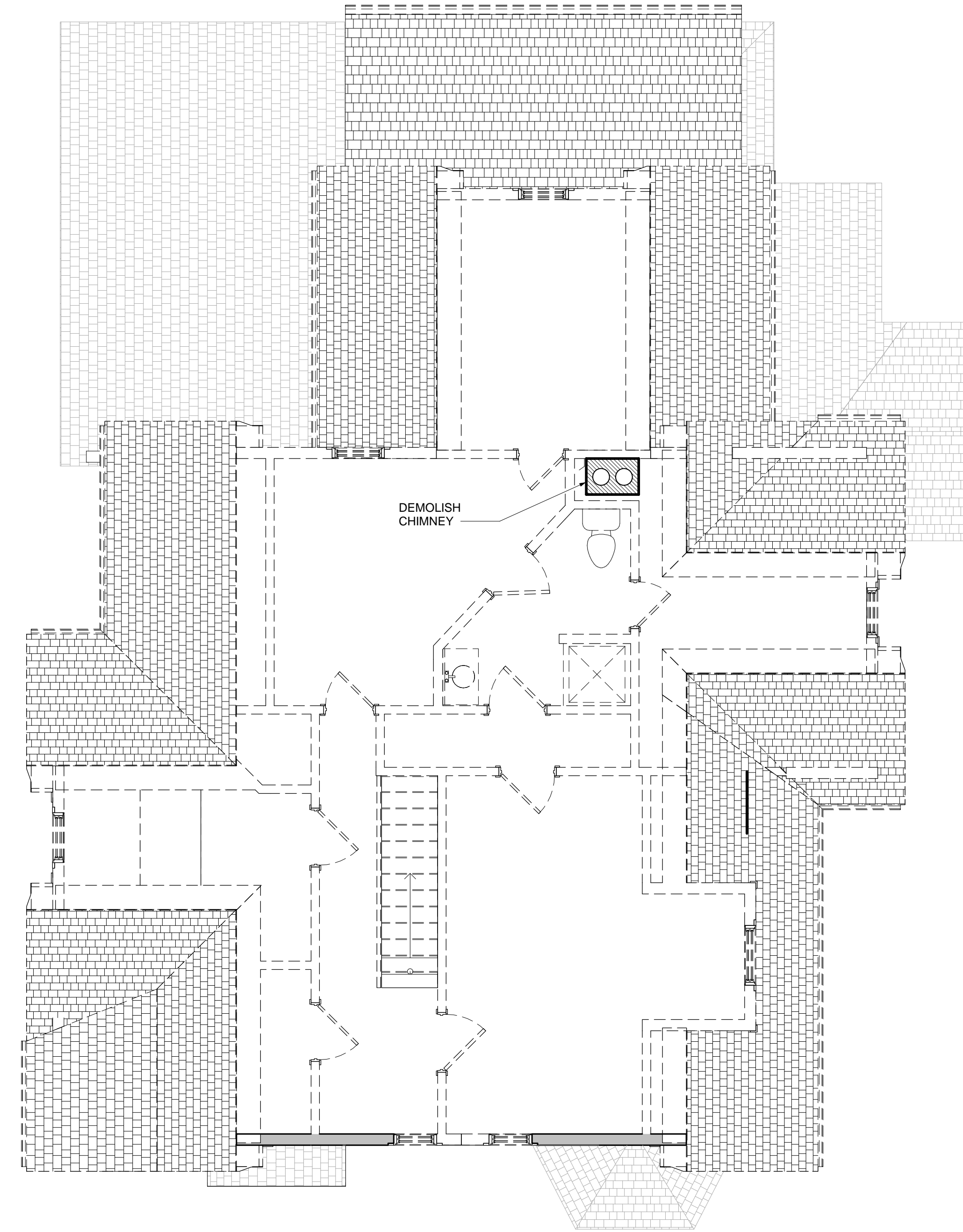
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DEMO NOTES

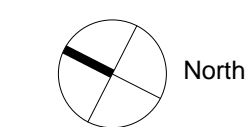
1. EXTENT OF DEMOLITION SHOWN DASHED
2. REMOVE ALL SIDING AND TRIM WORK
3. REUSE FRAMING AS FEASIBLE
4. ALL FINISHES TO BE REMOVED ON SECOND AND THIRD FLOOR



② SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



③ THIRD FLOOR DEMOLITION PLAN
1/4" = 1'-0"



ARB PACKAGE
06/26/2023

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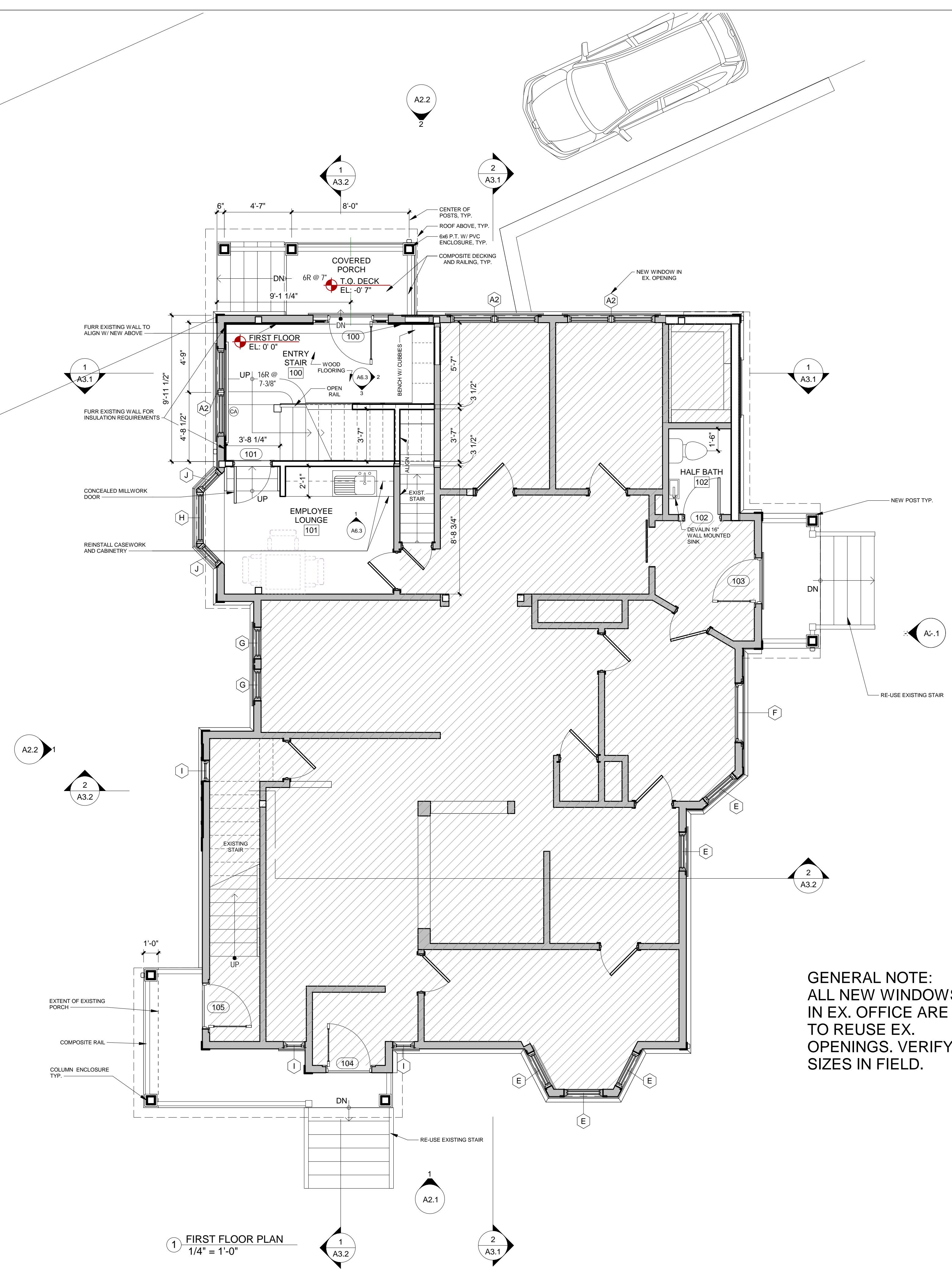
Renovation to:
355 MASSACHUSETTS AVENUE
Arlington, MA 02474

No.	Description	Date

2ND & 3RD FLOOR DEMO PLANS
21-099 Scale: 1/4" = 1'-0" Date: 06/26/2023
Drawn By: Author

AD1.2

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 8/11/23
 PM



NEW WORK LEGEND

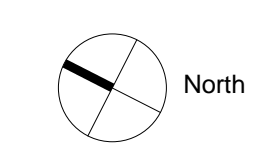
- EXISTING WALL TO REMAIN
- PROPOSED NEW WALL
- NO WORK THIS AREA

FIRE PROTECTION LEGEND

- Ⓢ SMOKE DETECTOR
- Ⓞ CARBON MONOXIDE DETECTOR
- ⓐ COMBINATION APPLIANCE

GENERAL NOTE:
 ALL NEW WINDOWS
 IN EX. OFFICE ARE
 TO REUSE EX.
 OPENINGS. VERIFY
 SIZES IN FIELD.

1 FIRST FLOOR PLAN
 1/4" = 1'-0"



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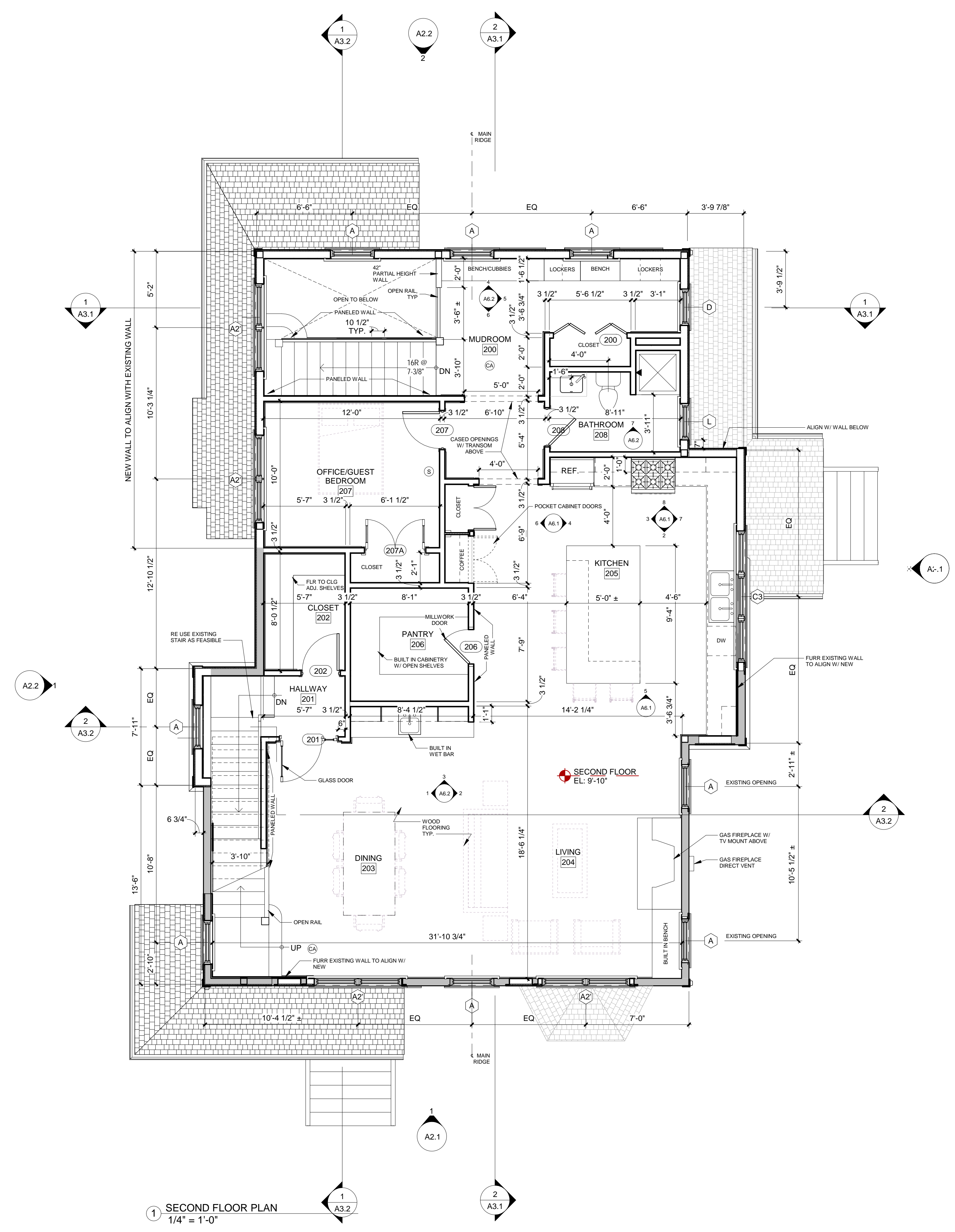
Renovation to:
355 MASSACHUSETTS AVENUE
 Arlington, MA 02474

REVISIONS	Description	Date
No.		

Job Number: 21-099 | Scale: As indicated | Drawn By: CGB | Date: 06/26/2023

FIRST FLOOR PLAN

A1.1



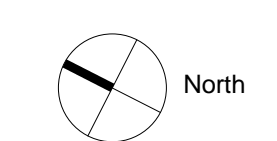
1 SECOND FLOOR PLAN
 1/4" = 1'-0"

NEW WORK LEGEND

- EXISTING WALL TO REMAIN
- PROPOSED NEW WALL
- NO WORK THIS AREA

FIRE PROTECTION LEGEND

- Ⓢ SMOKE DETECTOR
- Ⓞ CO CARBON MONOXIDE DETECTOR
- ⓐ COMBINATION APPLIANCE

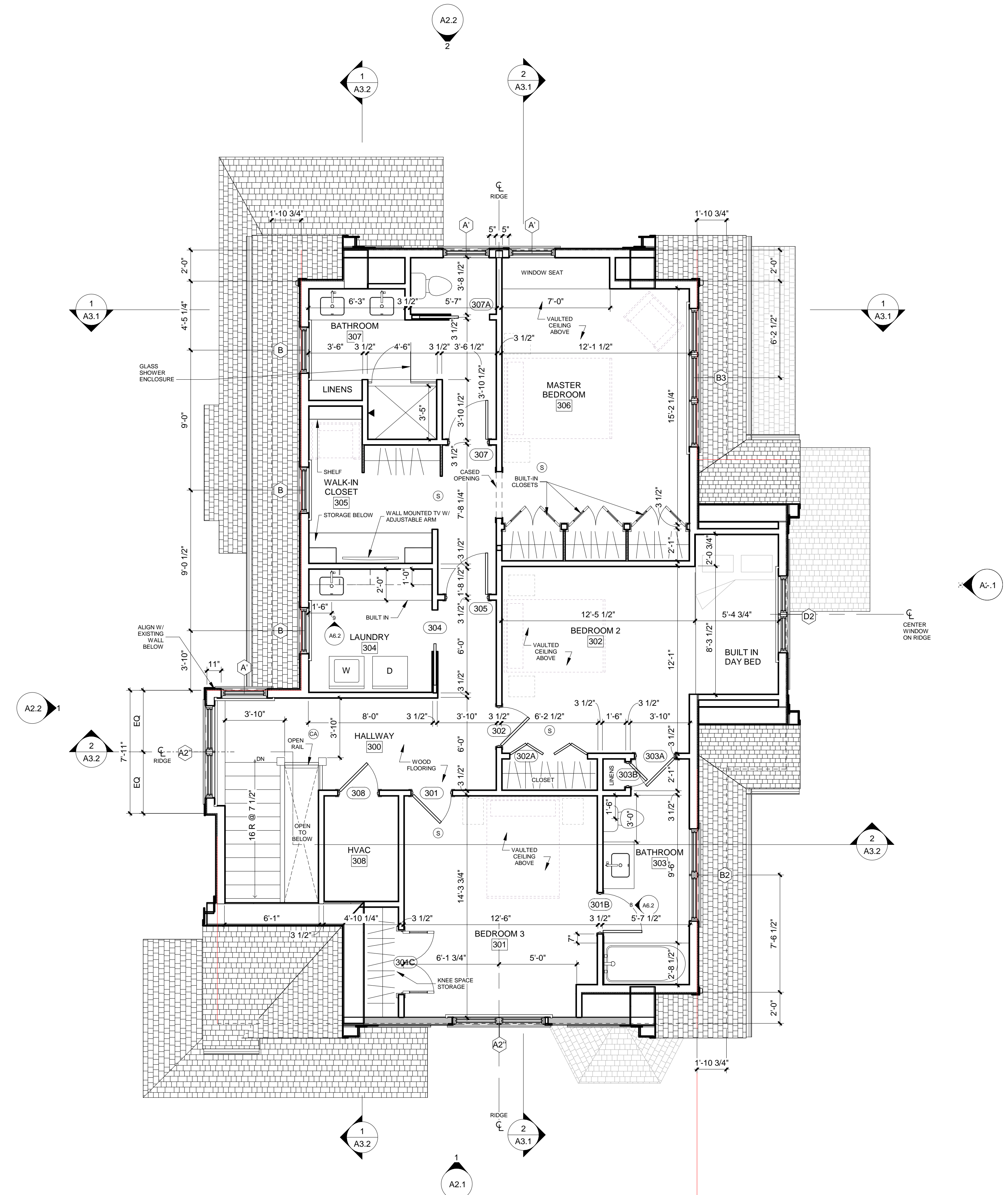


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SECOND FLOOR PLAN



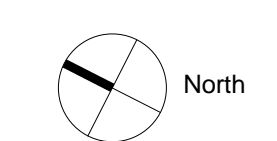
1 THIRD FLOOR PLAN
 1/4" = 1'-0"

NEW WORK LEGEND

- EXISTING WALL TO REMAIN
- PROPOSED NEW WALL
- NO WORK THIS AREA

FIRE PROTECTION LEGEND

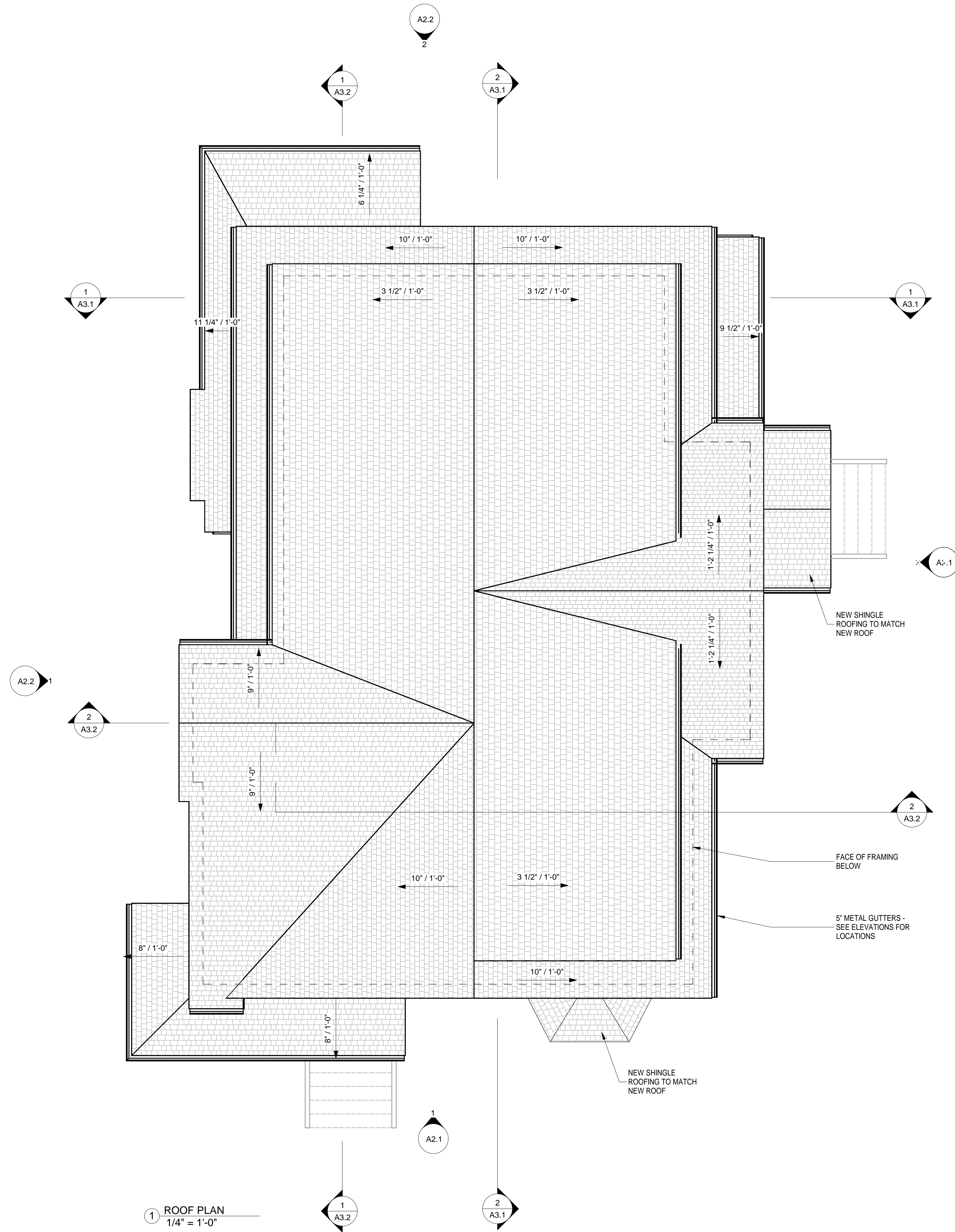
- Ⓢ SMOKE DETECTOR
- Ⓞ CO CARBON MONOXIDE DETECTOR
- ⓐ COMBINATION APPLIANCE



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**THIRD FLOOR
 PLAN**
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1 ROOF PLAN
 1/4" = 1'-0"



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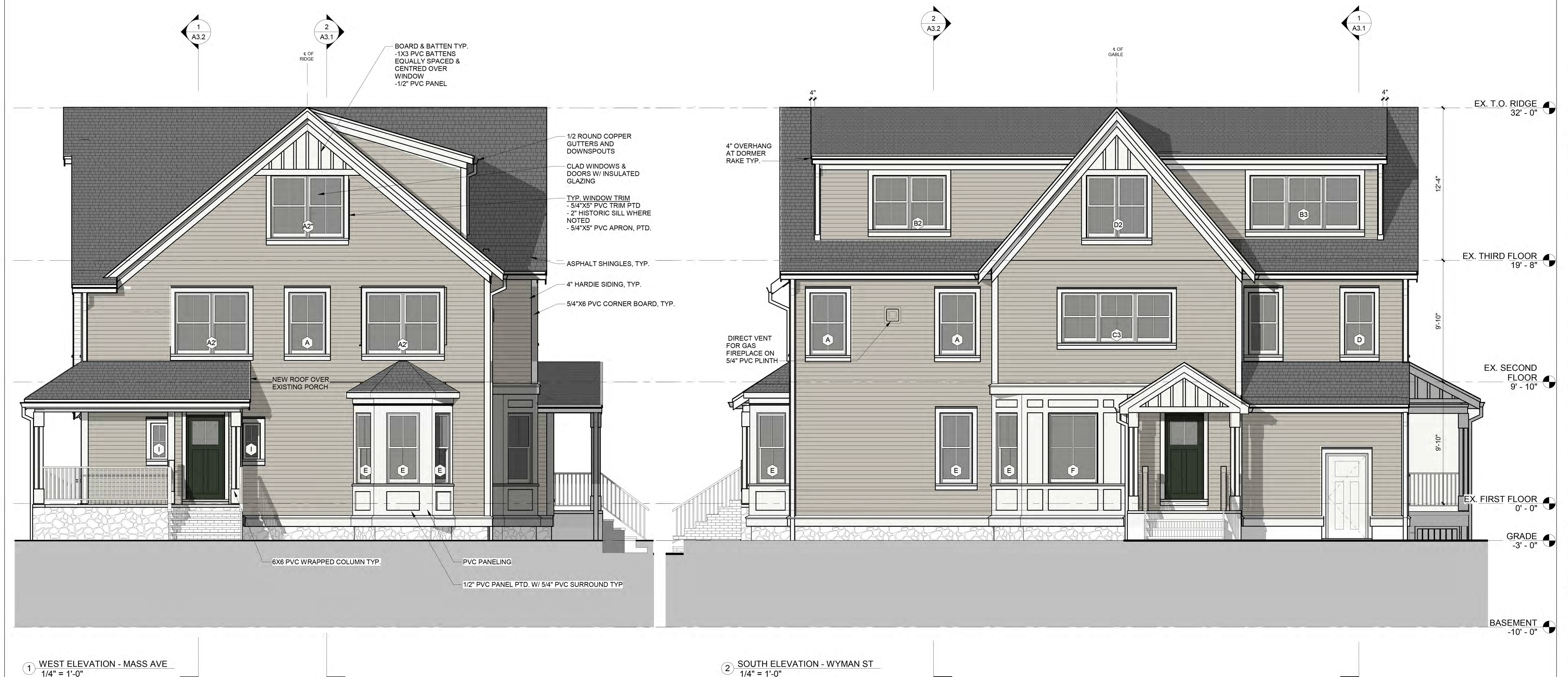
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REVISIONS	
No.	Description

Renovation to:
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REVISIONS	Description	Date
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PROPOSED ELEVATIONS
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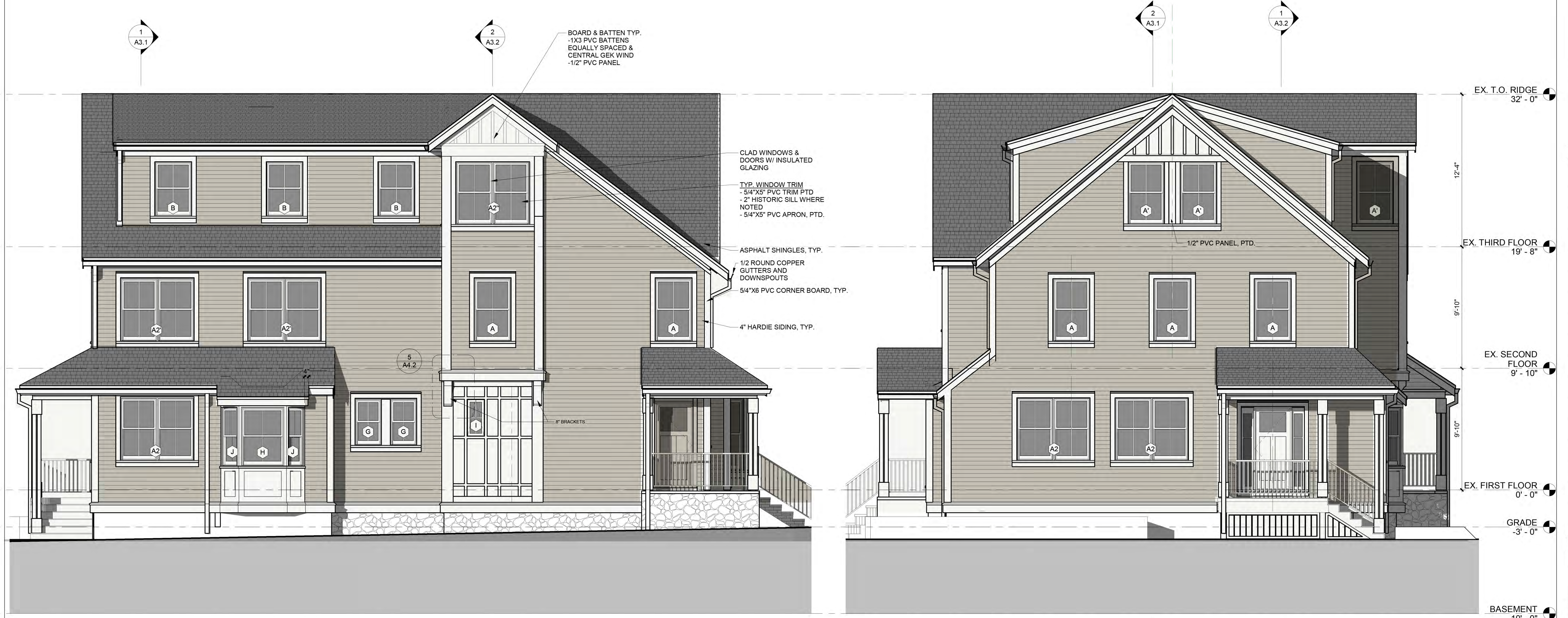


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PROPOSED ELEVATIONS
 Job Number: 21-089 | Scale: 1/4" = 1'-0" | Drawn By: CGB | Date: 06/26/2023

A2.2

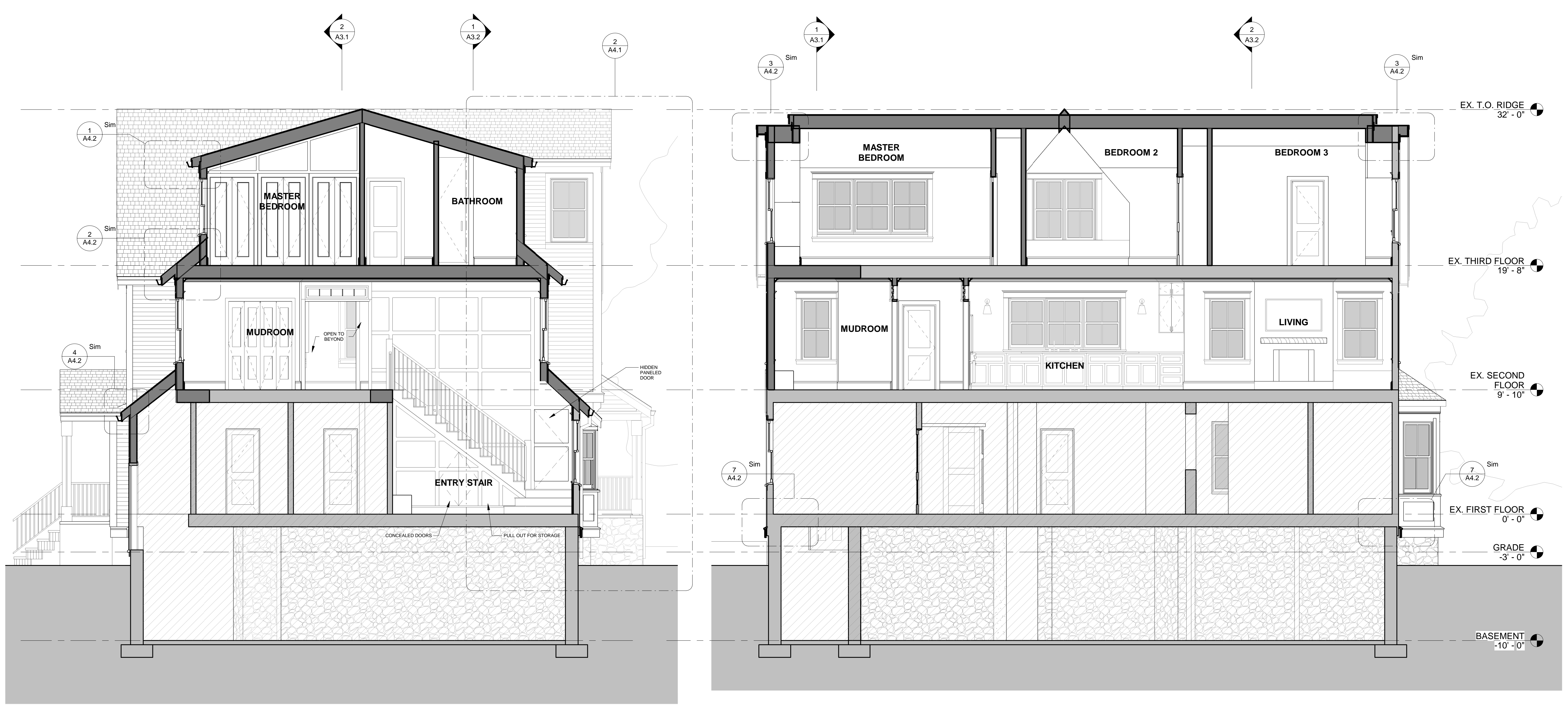


1 NORTH ELEVATION - YARD
 1/4" = 1'-0"

2 EAST ELEVATION - DRIVEWAY
 1/4" = 1'-0"

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1 SECTION THROUGH ENTRY
1/4" = 1'-0"

2 CENTER GABLE FACING WYMAN ST
1/4" = 1'-0"

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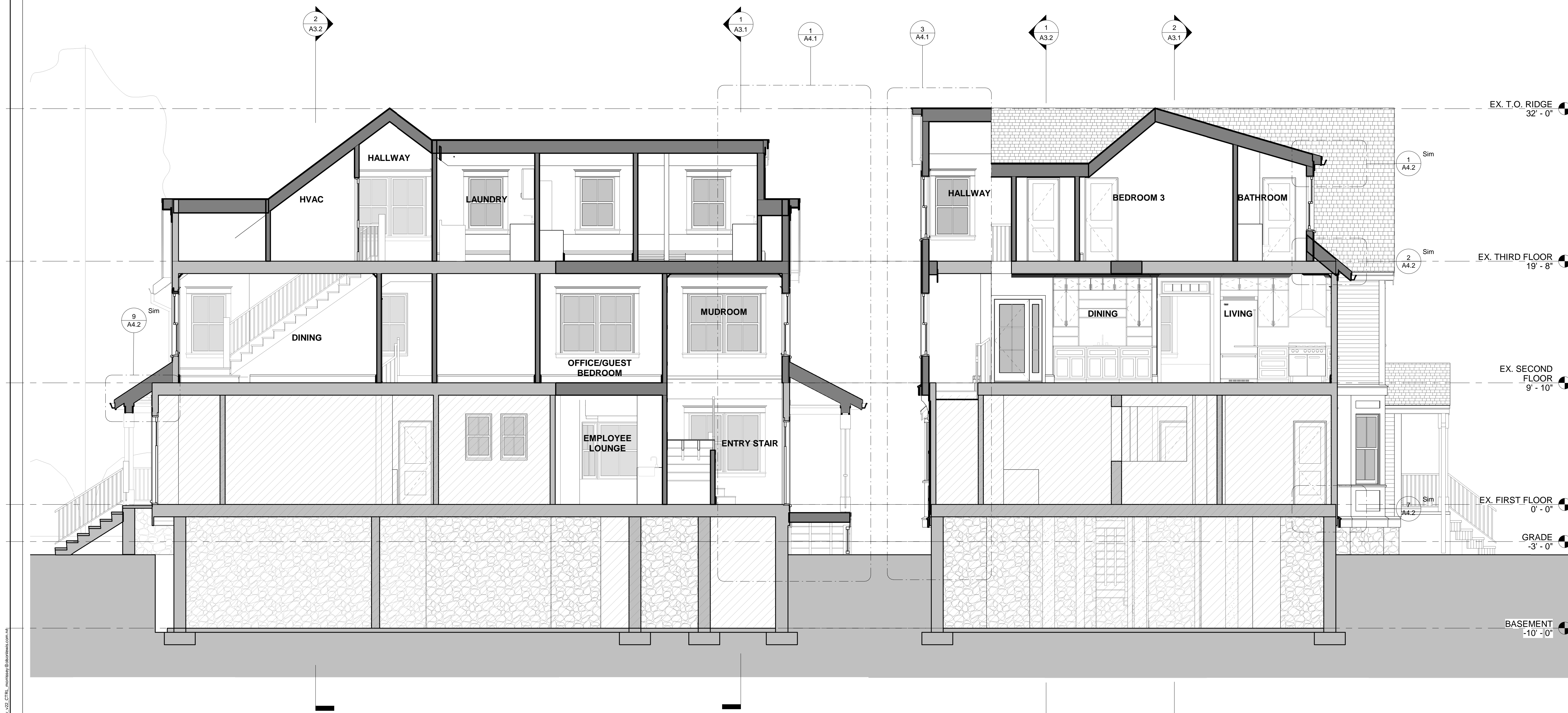


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No.	Description	Date

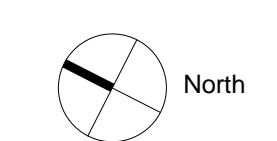
BUILDING SECTIONS
 Job Number: 21-099 | Scale: 1/4" = 1'-0" | Drawn by: CGB | Date: 06/26/2023

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① DRIVEWAY/MASS AVE
1/4" = 1'-0"

② SECTION THROUGH WEST STAIRS
1/4" = 1'-0"



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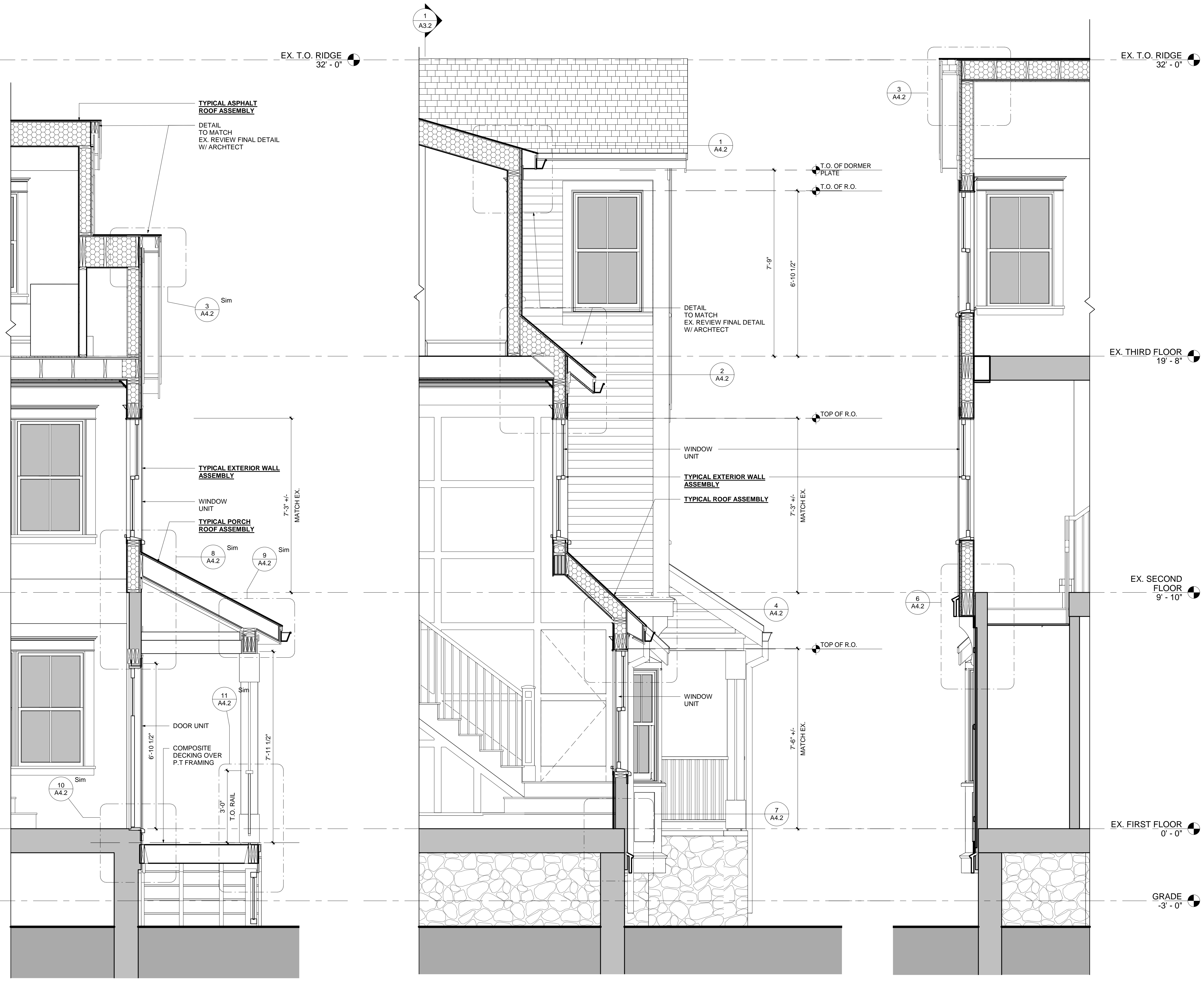
Renovation to:
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Arlington, MA 02474

No.	Description	Date

BUILDING SECTIONS
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Date: 06/26/2023
Job Number: 21-099

A3.2

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TYPICAL ASSEMBLIES

- EXTERIOR WALL ASSEMBLY:**
- CLADDING A (SEE ELEVATIONS FOR LOCATIONS) - 4" HARDIE CLAPBOARDS
 - OR CLADDING B (SEE ELEVATIONS FOR LOCATIONS) - CLAPBOARDS WITH 6" EXPOSURE
 - RAINSCREEN/WATER RESISTIVE BARRIER SYSTEM
 - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING
 - 2X6 FRAMING @ 16" O.C.
 - R-30 CLOSED-CELL SPRAY FOAM INSULATION
 - 1/2" GYPSUM VENEER BASE WITH SKIMCOAT PLASTER FINISH, PAINTED

- ASPHALT ROOF ASSEMBLY:**
- ARCHITECTURAL ASPHALT ROOFING
 - METAL DRIP EDGE AT ROOF PERIMETER
 - PVC EAVE, RAKE AND SOFFIT TRIM, PAINTED
 - ICE AND WATER SHIELD OVER BOTTOM 6'-0" OF ROOF SHEATHING
 - 5/8" CDX ROOF SHEATHING
 - ROOF FRAMING - SEE STRUCTURAL
 - R-60 CLOSED-CELL SPRAY FOAM INSULATION MIN AT NEW CONSTRUCTION
 - CEILING JOISTS PER STRUCTURAL
 - 1X3 FURRING @ 16" O.C.
 - 1/2" GYPSUM VENEER BASE WITH SKIMCOAT PLASTER FINISH, PAINTED

- PORCH ROOF ASSEMBLY:**
- ARCHITECTURAL ASPHALT ROOFING
 - METAL DRIP EDGE AT ROOF PERIMETER
 - PVC EAVE, RAKE AND SOFFIT TRIM, PAINTED
 - ICE AND WATER SHIELD OVER BOTTOM 6'-0" OF ROOF SHEATHING
 - 5/8" CDX ROOF SHEATHING
 - ROOF FRAMING - SEE STRUCTURAL
 - CEILING JOISTS PER STRUCTURAL
 - BEADED BOARD CEILING AT PORCH ROOF

- FLOOR ASSEMBLY:**
- FINISH FLOOR
 - 3/4" SUBFLOOR, GLUED AND NAILED
 - JOIST FRAMING, SEE STRUCTURAL
 - SOUND INSULATION IN JOIST SPACE
 - R-30 CLOSED CELL SPRAY FOAM INSULATION AT RIM JOISTS
 - 1X3 FURRING @ 16" O.C.

- CEILING ASSEMBLY:**
- 1/2" GYPSUM VENEER BASE WITH SKIMCOAT PLASTER FINISH, PAINTED
 - 1X3 FURRING @ 16" O.C.

- ROOF/WALL INTERSECTION FLASHING:**
- METAL FLASHING AT ALL ROOF/WALL INTERSECTIONS
 - MIN. 8" VERTICAL BEHIND CLADDING

- TYPICAL RAKE AND EAVE TRIM:**
- MATCH EX. CONTRACTOR TO EXPOSE EX. SOFFIT & REVIEW W/ ARCHITECT

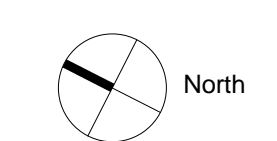
REVISIONS	Description	Date
No.		

WALL SECTIONS & EXT. DETAILS
 Scale: As Indicated
 Date: 06/26/2023
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 Checked By: [Blank]

1 WALL SECTION - ENTRY
 1/2" = 1'-0"

2 WALL SECTION - ENTRY STAIR
 1/2" = 1'-0"

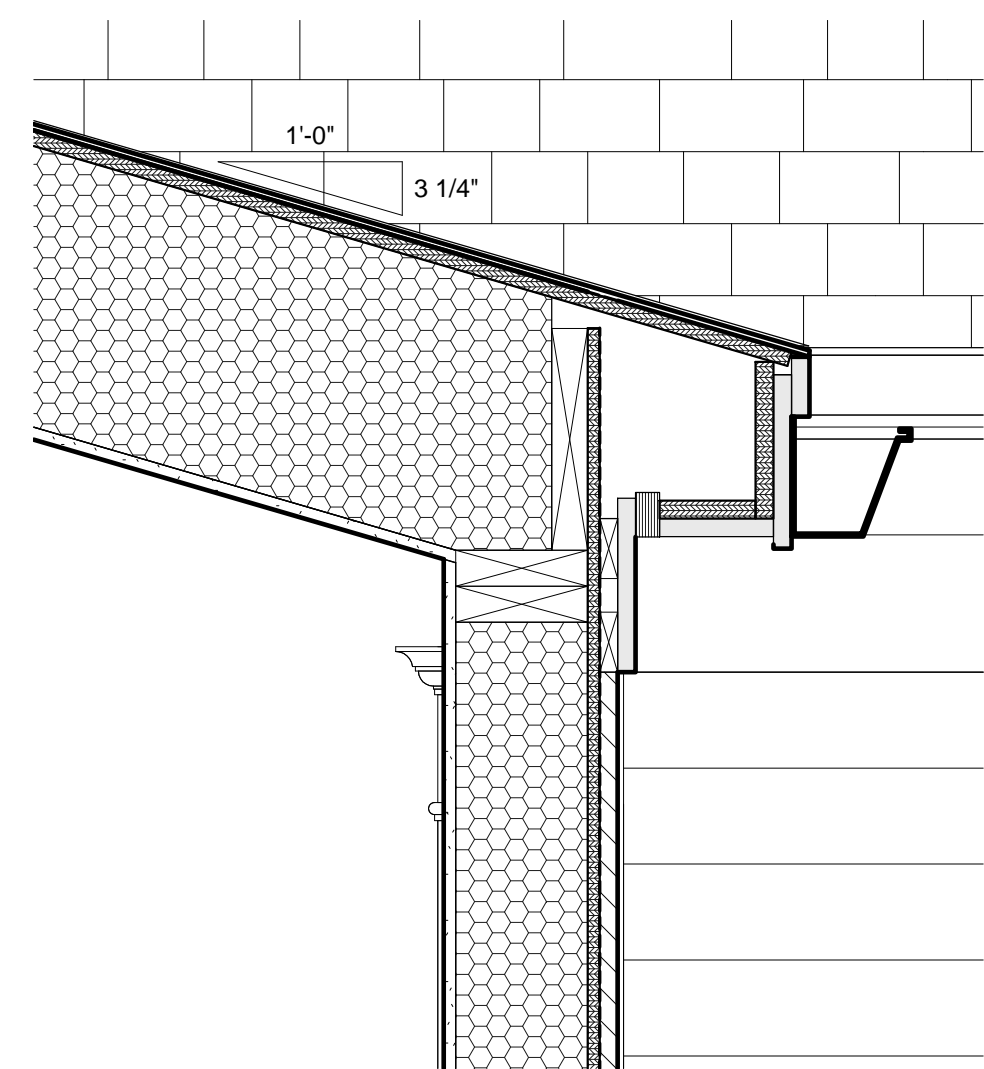
3 WALL SECTION - FRONT STAIR/WINDOW BUMPOUT
 1/2" = 1'-0"



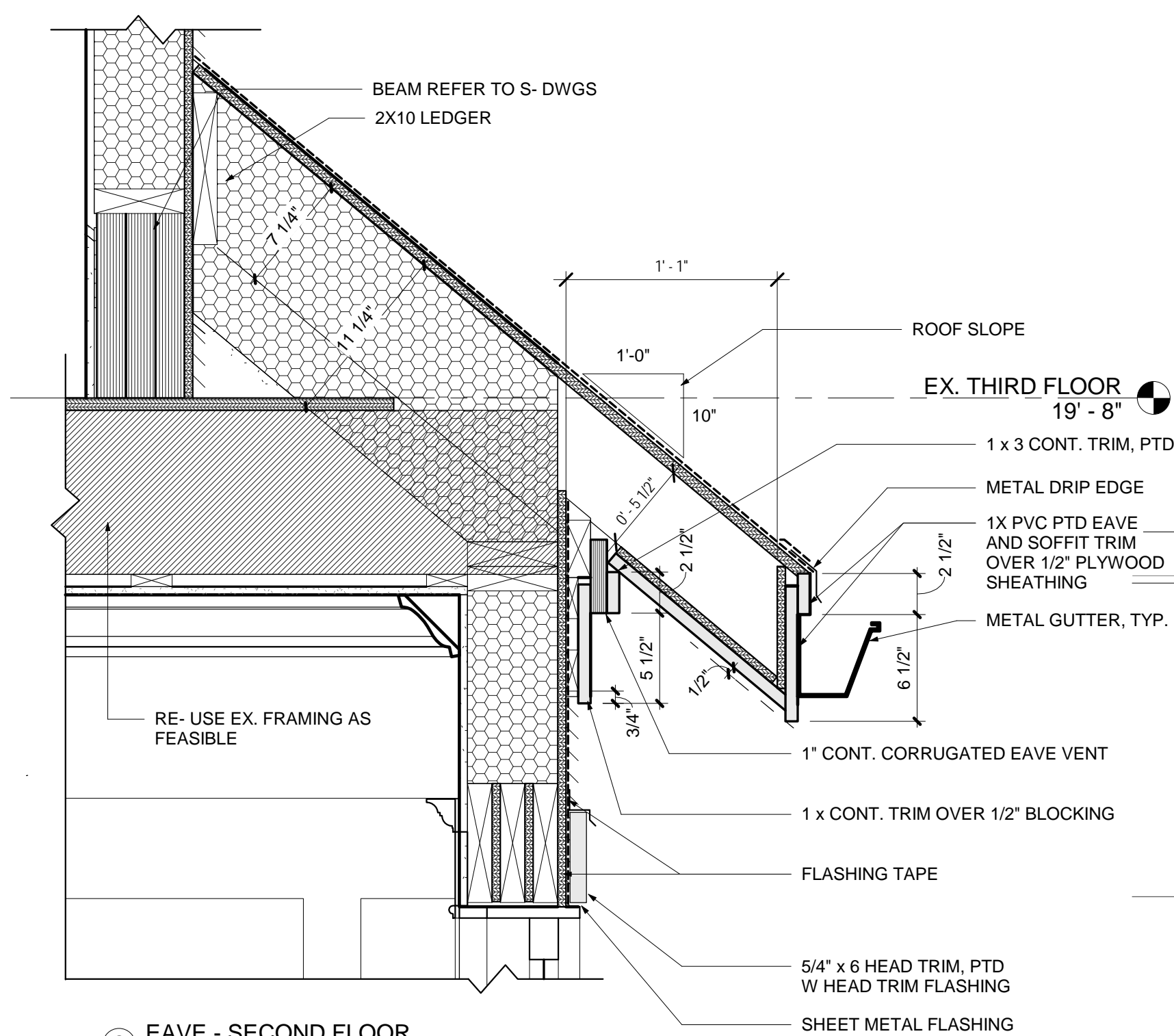
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A4.1

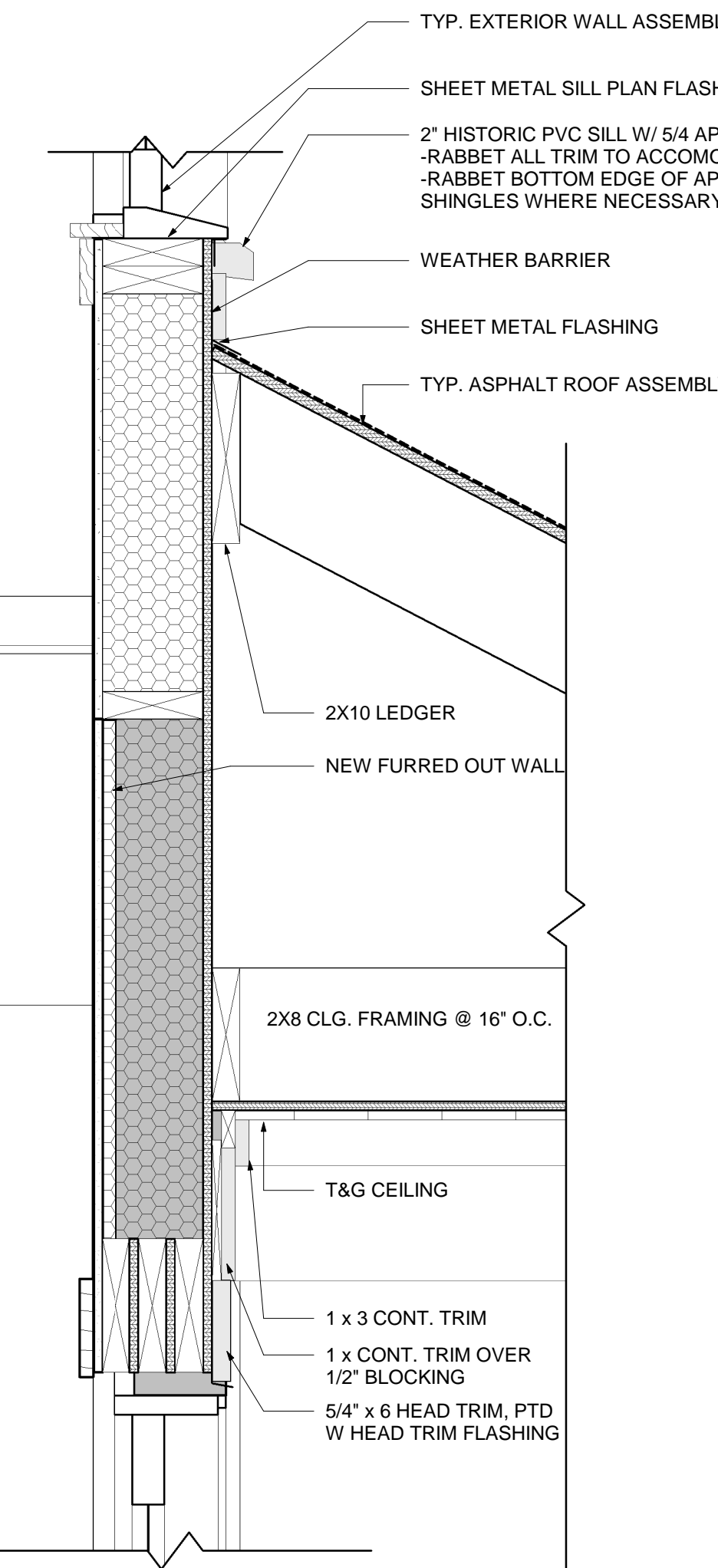
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 24 x 36



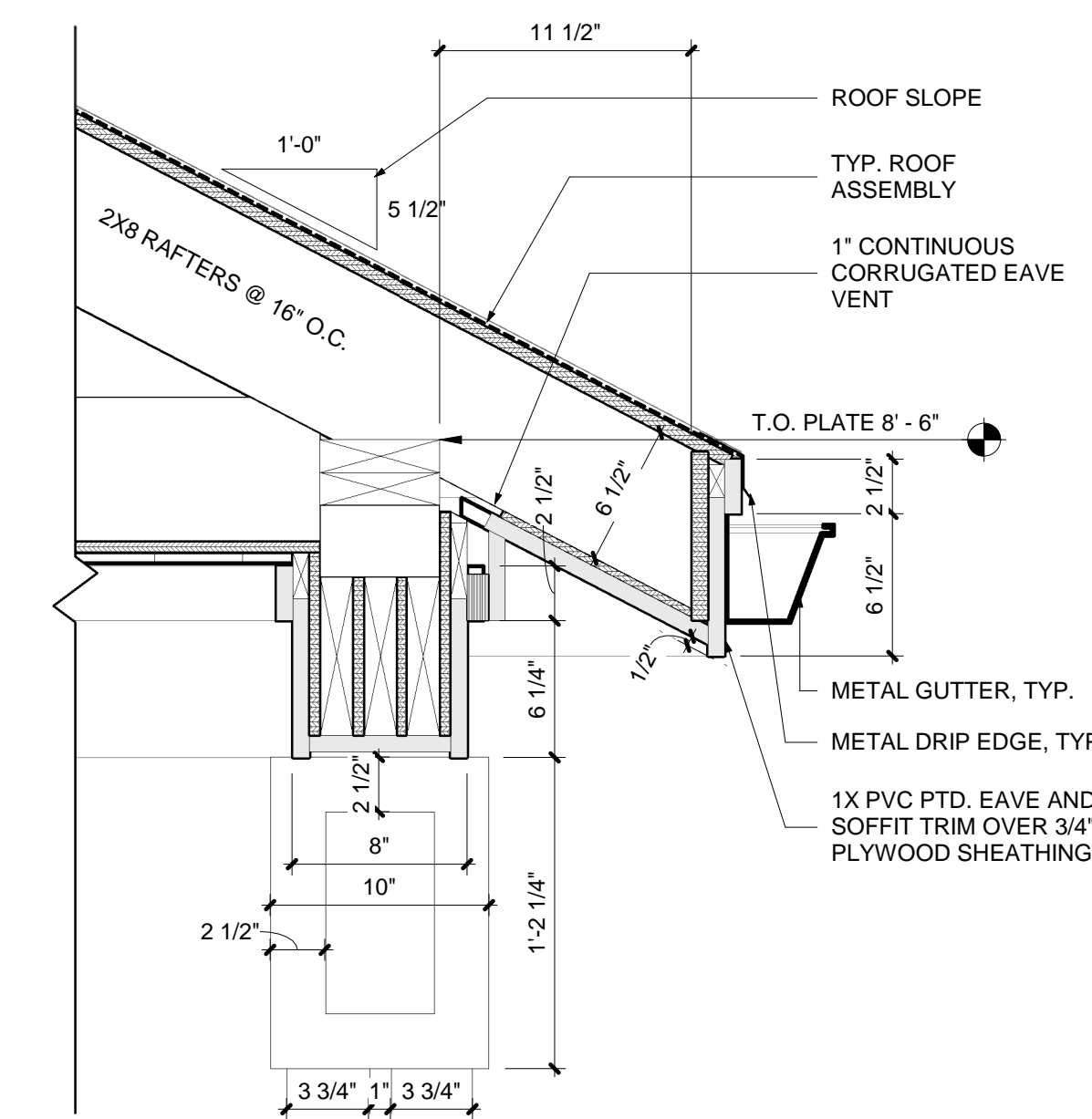
1 EAVE - DORMERS
1 1/2" = 1'-0"



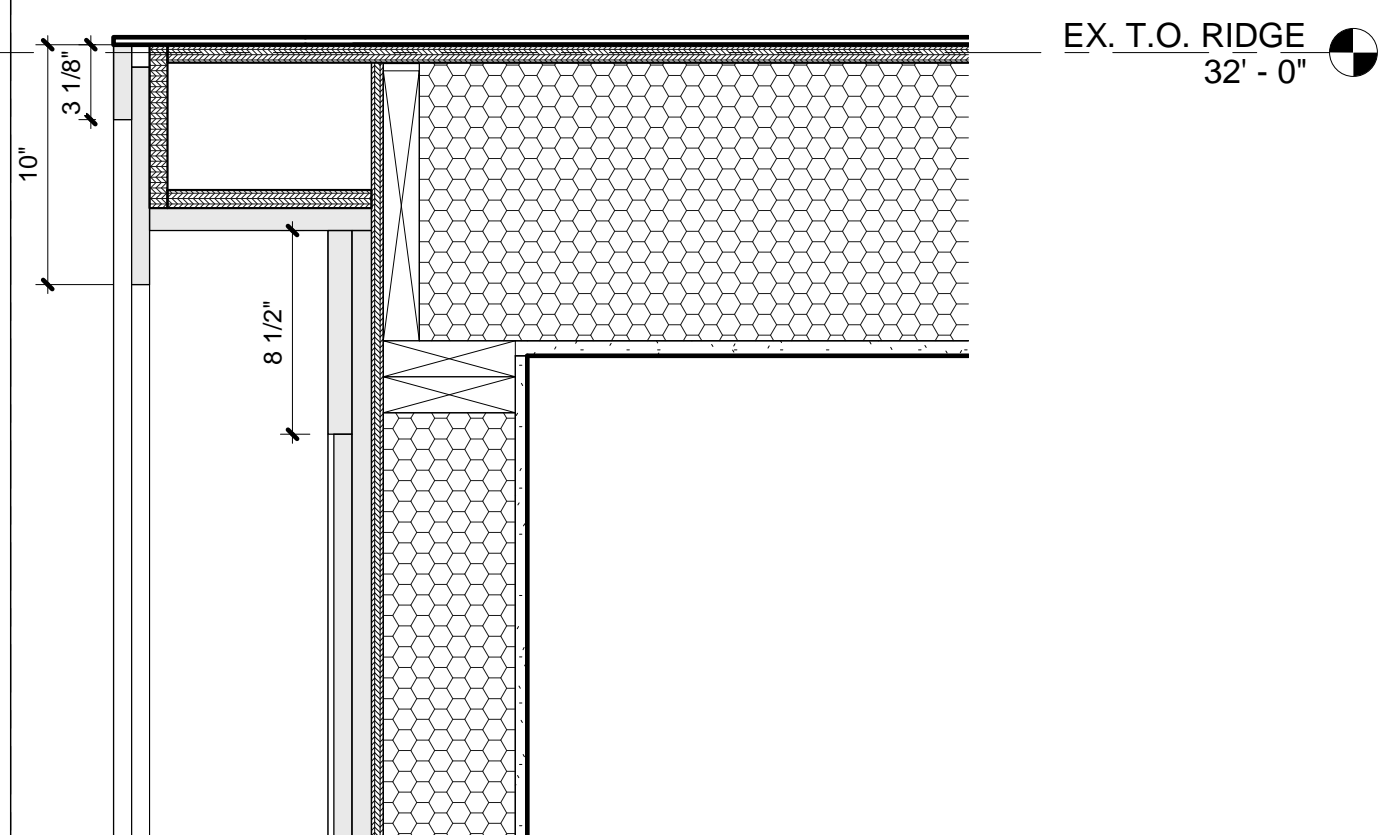
2 EAVE - SECOND FLOOR
1 1/2" = 1'-0"



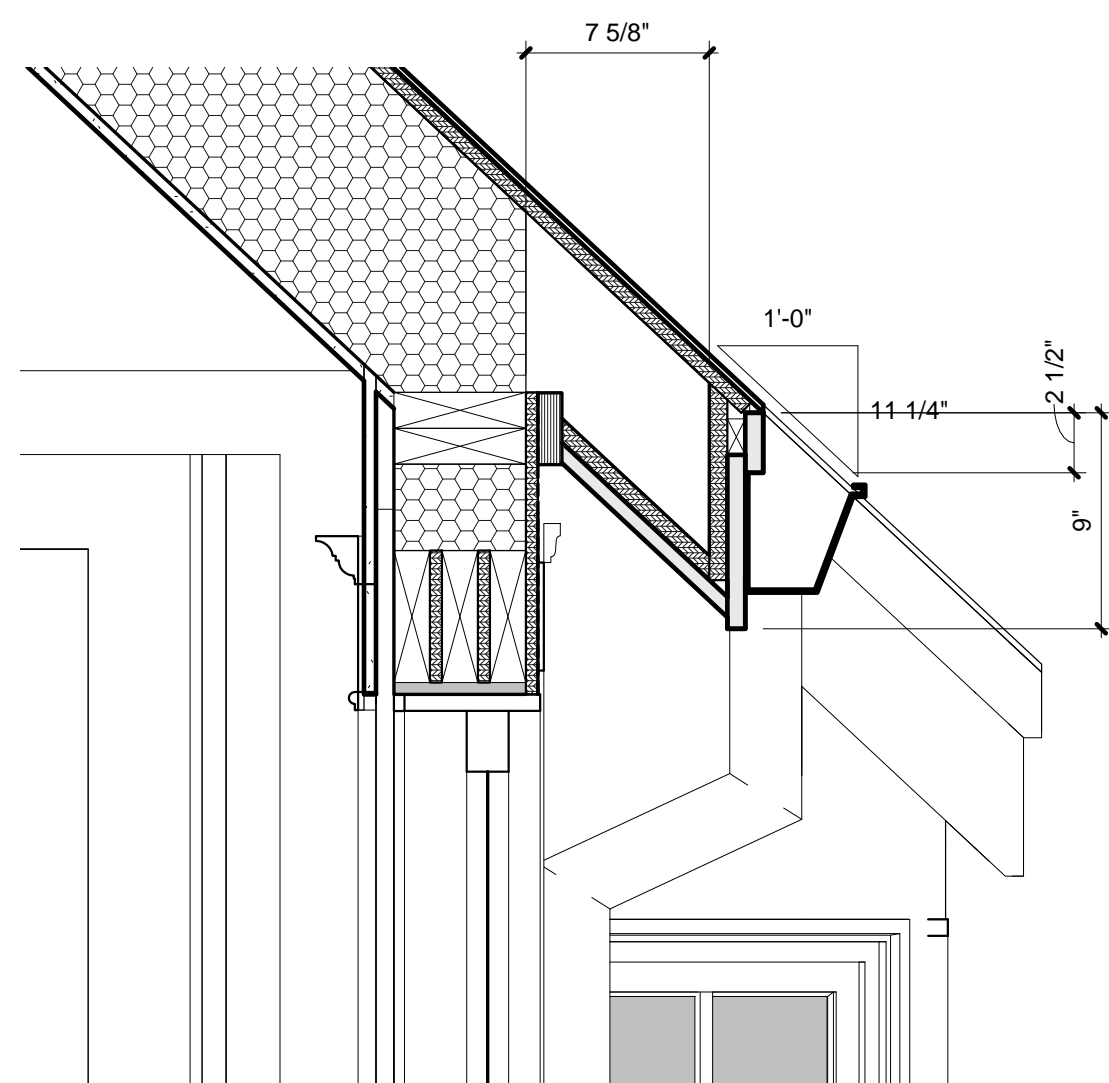
8 PORCH ROOF W/ SILL
1 1/2" = 1'-0"



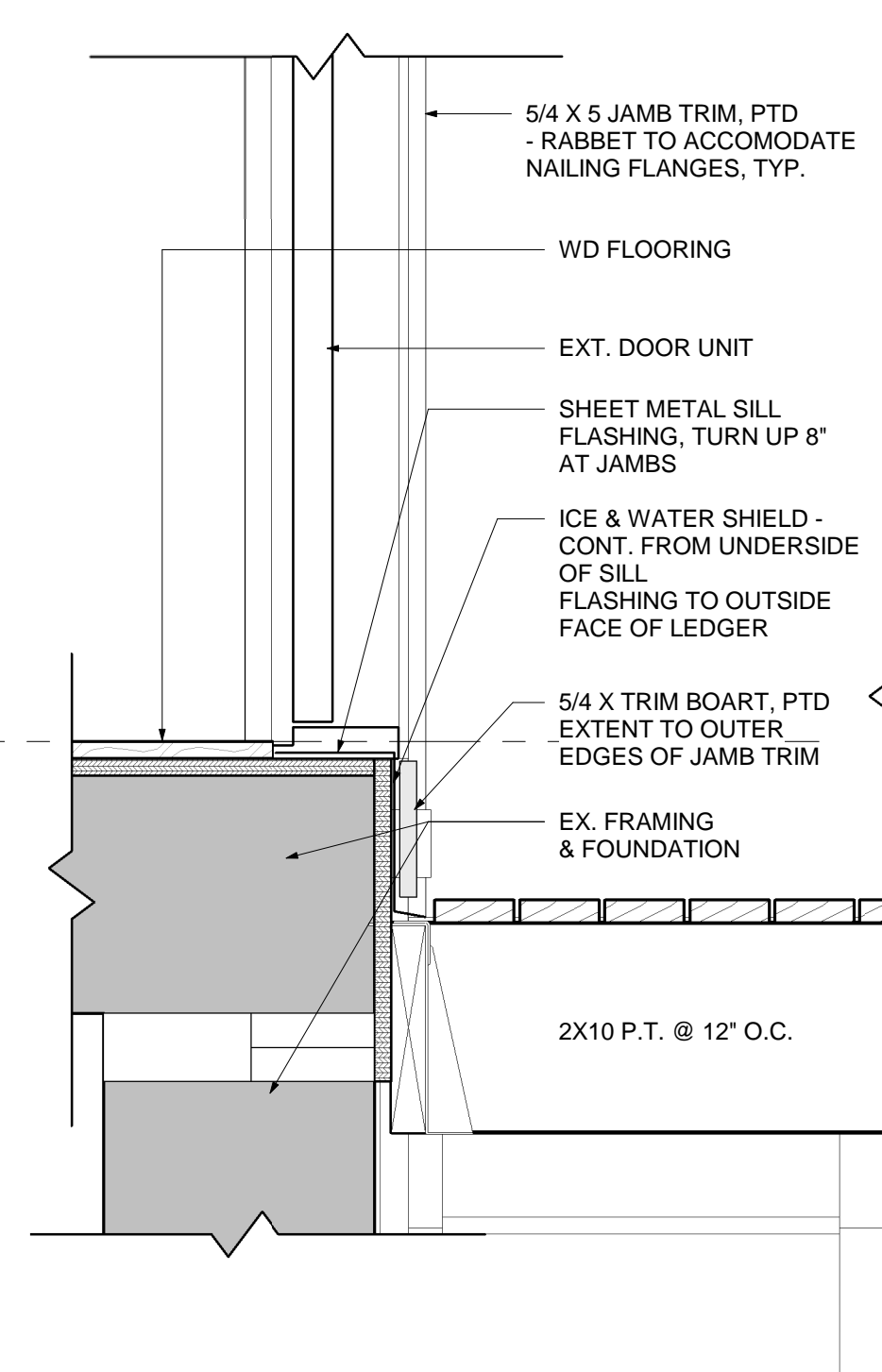
9 EAVE - PORCH
1 1/2" = 1'-0"



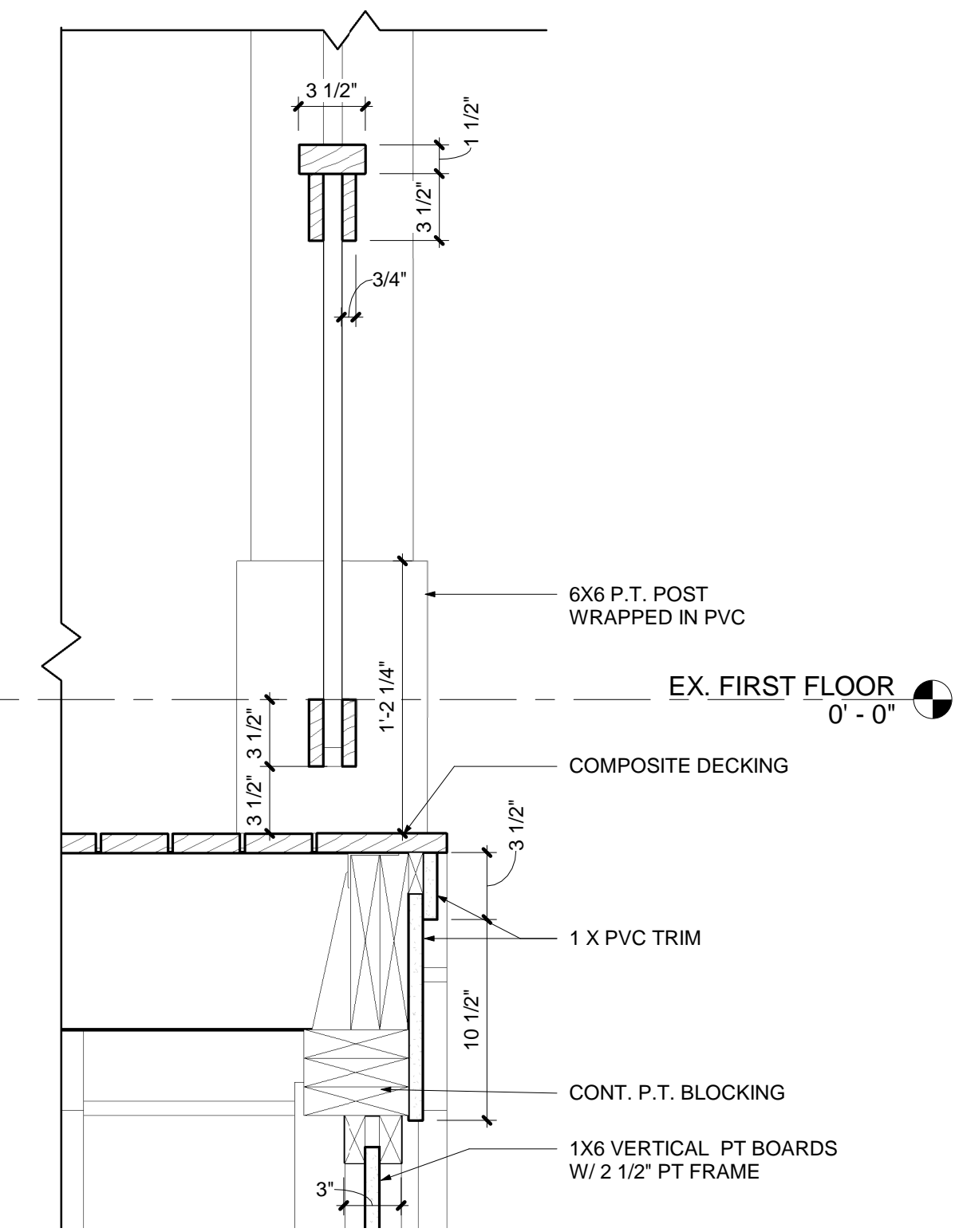
3 DETAIL AT GABLE
1 1/2" = 1'-0"



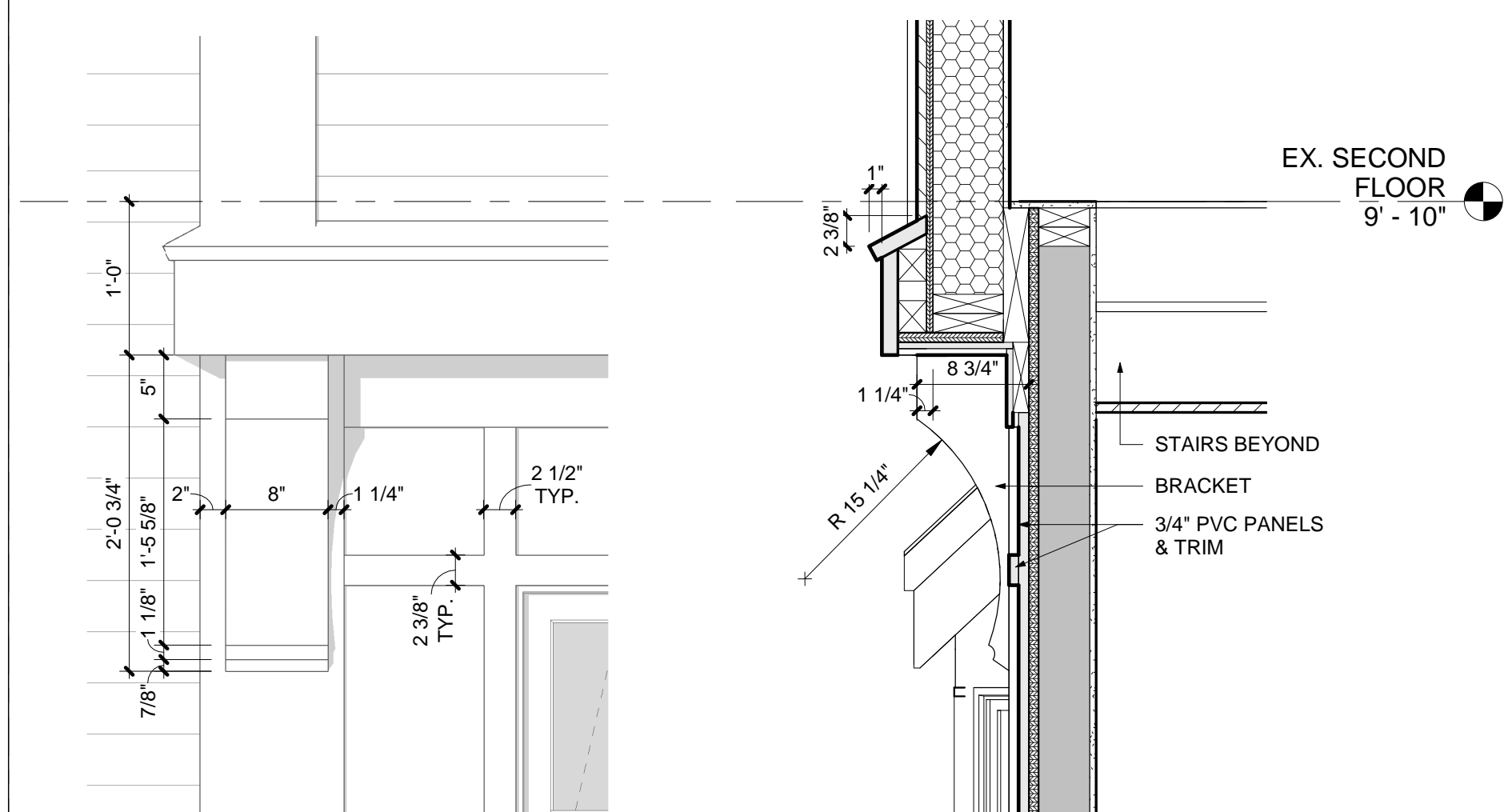
4 EAVE - LOWER EAVE DETAIL 2
1 1/2" = 1'-0"



10 DOOR SILL AT PORCH
1 1/2" = 1'-0"

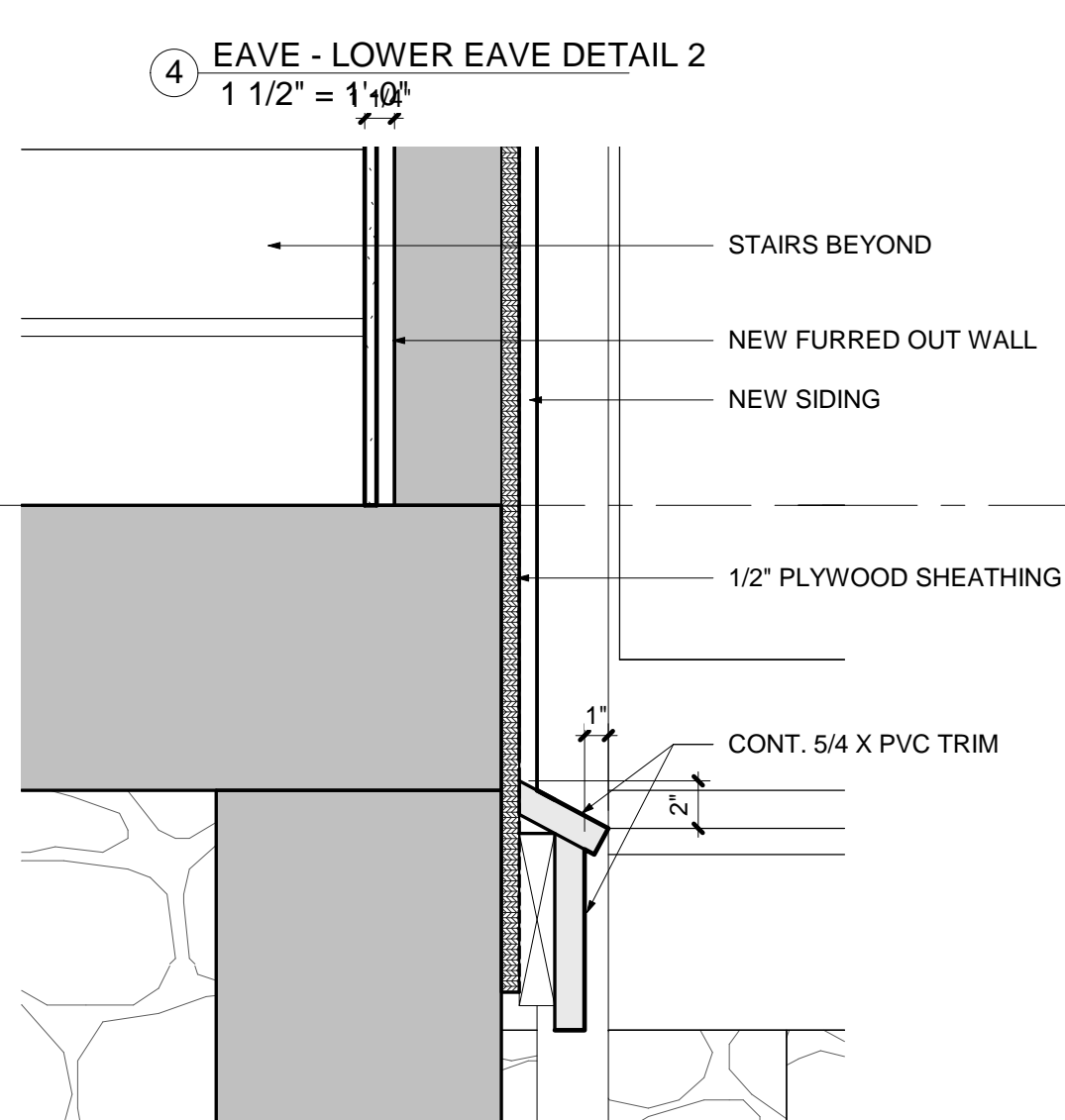


11 DETAIL AT PORCH RAILING
1 1/2" = 1'-0"



5 BRACKET ELEVATION
1" = 1'-0"

6 BRACKET DETAIL
1" = 1'-0"



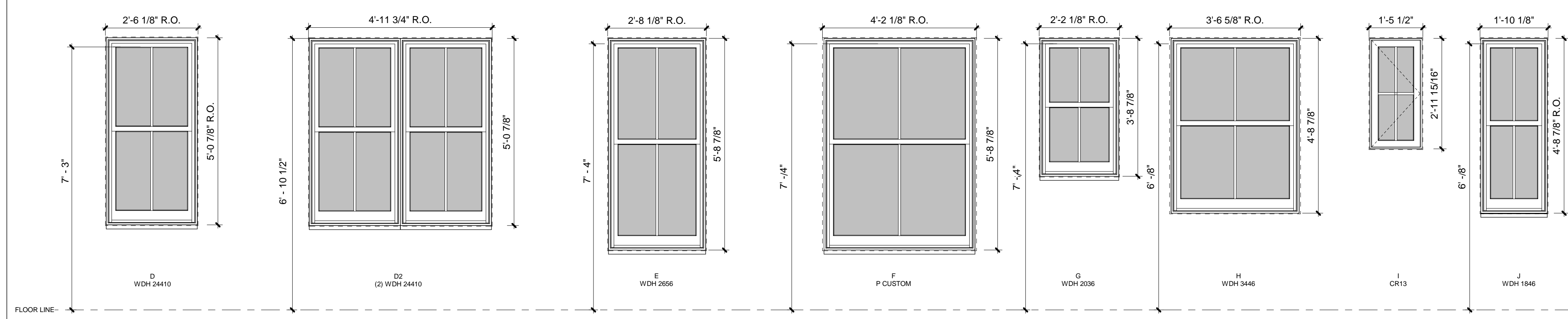
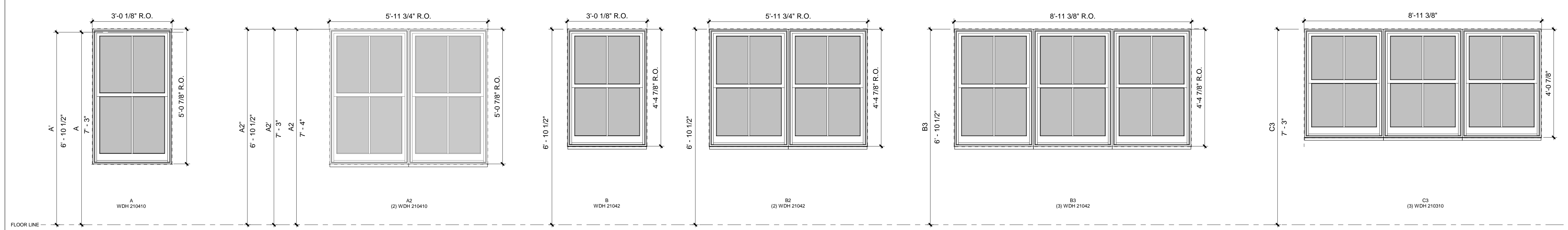
7 WATER TABLE DETAIL
1 1/2" = 1'-0"

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No.	Description	Date

EXTERIOR
DETAILS

Scale: As Indicated
Drawn By: Author
Date: 06/26/2023



WINDOW SCHEDULE - ANDERSEN 400 SERIES					
TYPE	OPERATION	R.O. DIMENSIONS		MODEL NUMBER	NOTES
		HEIGHT	WIDTH		
A	DOUBLE HUNG	5' - 0 7/8"	3' - 0 1/8"	WDH 210410	
A2	DOUBLE HUNG	5' - 0 7/8"	5' - 11 3/4"	(2) WDH 210410	TIGHT MULLED
A2'	DOUBLE HUNG	5' - 0 7/8"	5' - 11 3/4"	(3) WDH 210410	TIGHT MULLED
A2"	DOUBLE HUNG	5' - 0 7/8"	5' - 11 3/4"	(2) WDH 210410	TIGHT MULLED
A'	DOUBLE HUNG	5' - 0 7/8"	3' - 0 1/8"	WDH 210410	
B	DOUBLE HUNG	4' - 4 7/8"	3' - 0 1/8"	WDH 21042	
B2	DOUBLE HUNG	4' - 4 7/8"	5' - 11 3/4"	(2) WDH 21042	TIGHT MULLED
B3	DOUBLE HUNG	4' - 4 7/8"	8' - 11 3/8"	(3) WDH 21042	TIGHT MULLED
C3	DOUBLE HUNG	4' - 0 7/8"	8' - 11 3/8"	(3) WDH 210310	TIGHT MULLED
D	DOUBLE HUNG	5' - 0 7/8"	3' - 0 1/8"	WDH 210410	
D2	DOUBLE HUNG	5' - 0 7/8"	4' - 11 3/4"	(2) WDH 24410	TIGHT MULLED
E	DOUBLE HUNG	5' - 8 7/8"	2' - 8 1/8"	WDH 2656	V.I.F., REUSE EX. OPENINGS
F	PICTURE	5' - 8 7/8"	4' - 2 1/8"	PA CUSTOM	V.I.F., REUSE EX. OPENINGS
G	DOUBLE HUNG	3' - 8 7/8"	2' - 2 1/8"	WDH 2036	V.I.F., REUSE EX. OPENINGS
H	DOUBLE HUNG	4' - 8 7/8"	3' - 6 5/8"	WDH 3446	V.I.F., REUSE EX. OPENINGS
I	AWNING	2' - 11 15/16"	1' - 5 1/2"	AW13	V.I.F., REUSE EX. OPENINGS
J	DOUBLE HUNG	4' - 8 7/8"	1' - 10 1/8"	WDH 1846	V.I.F., REUSE EX. OPENINGS
L	DOUBLE HUNG	5' - 0 7/8"	2' - 6 1/8"	WDH 24410	V.I.F., REUSE EX. OPENINGS

DOOR SCHEDULE - EXTERIOR								
DOOR NUMBER	TYPE	OPERATION	DOOR DIMENSIONS			MODEL NUMBER	MANUFACTURER	NOTES
			WIDTH	HEIGHT	THICKNESS			
100	1	SIMPLE SWING	3' - 1 7/16"	6' - 10"	0' - 1 3/4"	PL236	Marvin Windows and Doors	WITH 2 SIDELITES
103	2	SIMPLE SWING	3' - 1 7/16"	7' - 2"	0' - 1 3/4"	PL236	Marvin Windows and Doors	
104	2	SIMPLE SWING	3' - 1 7/16"	7' - 2"	0' - 1 3/4"	PL236	Marvin Windows and Doors	
105	2	SIMPLE SWING	3' - 1 7/16"	7' - 2"	0' - 1 3/4"	PL236	Marvin Windows and Doors	

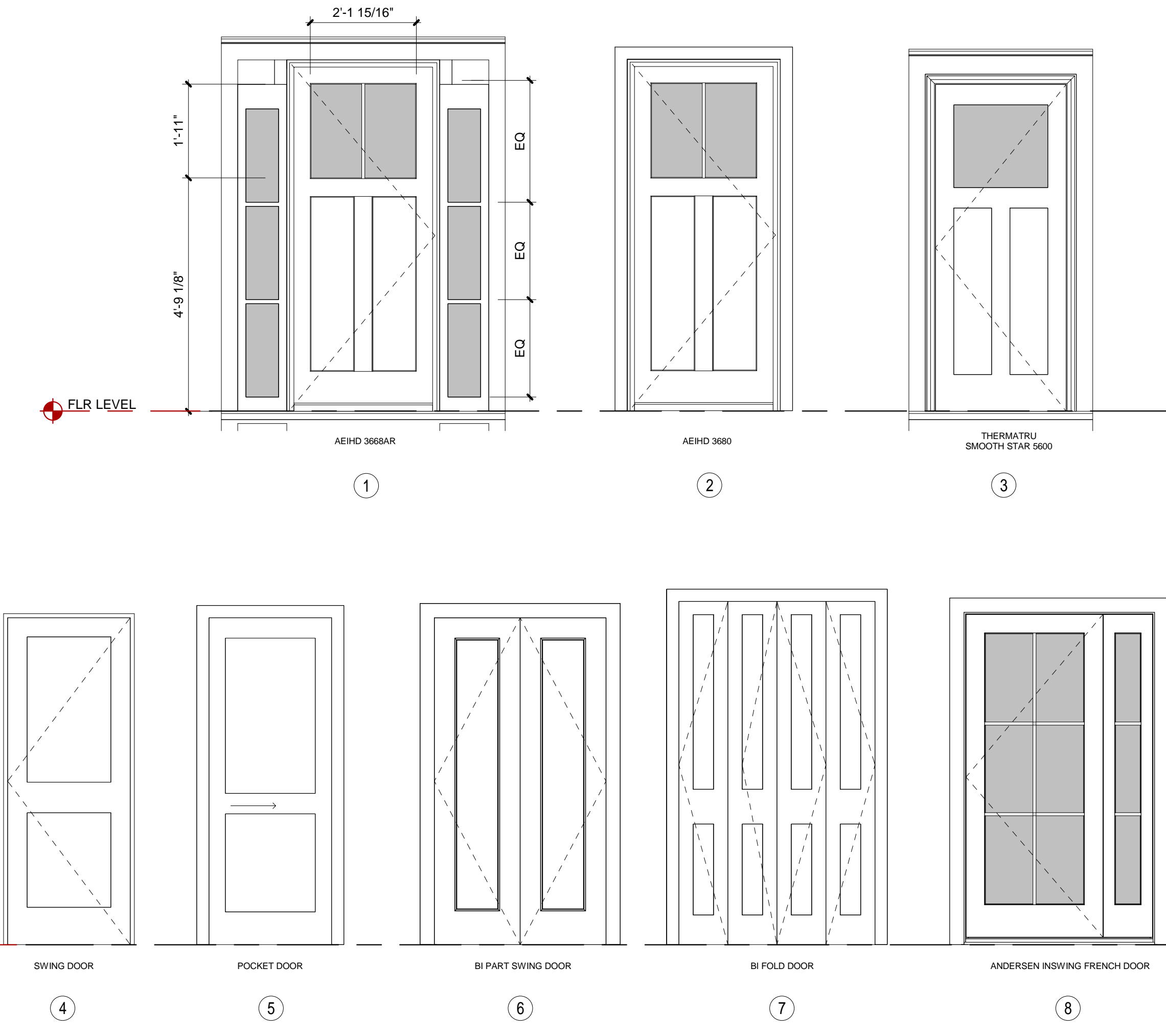
DOOR SCHEDULE - INTERIOR							
DOOR NUMBER	TYPE	OPERATION	DOOR DIMENSIONS			MANUFACTURER	REMARKS
			WIDTH	HEIGHT	THICKNESS		
001	29	HIDDEN DOOR	3' - 0"	6' - 8"	0' - 1 3/8"		
101	4	HIDDEN DOOR	2' - 6"	6' - 6"	0' - 1 3/4"		
102	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
200	7	BIFOLD	5' - 0"	7' - 0"	0' - 1 3/4"		
201	8	SIMPLE SWING	4' - 0"	6' - 10"	0' - 1 3/4"	Marvin Windows and Doors	
202	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
206	4	SIMPLE SWING	2' - 4"	6' - 8"	0' - 1 3/4"		
207	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
207A	6	BI-SWING	4' - 0"	6' - 8"	0' - 1 3/4"		
208	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
311	HH		3' - 0"	6' - 8"	0' - 1 3/8"		
301	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
301B	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
301C	6	BI PART SWING	4' - 0"	5' - 0"	0' - 1 3/4"		
302	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
302A	7	BIFOLD	5' - 0"	7' - 0"	0' - 1 3/4"		
303A	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
303B	4	SIMPLE SWING	1' - 6"	6' - 8"	0' - 1 3/4"		
304	5	POCKET SWING	2' - 8"	6' - 8"	0' - 1 3/4"		
305	4	SIMPLE SWING	2' - 8"	6' - 8"	0' - 1 3/4"		
307	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		
307A	5	POCKET	2' - 6"	6' - 8"	0' - 1 3/4"		
308	4	SIMPLE SWING	2' - 6"	6' - 8"	0' - 1 3/4"		

DOOR NOTES

- EXTERIOR DOOR SPECIFICATIONS:**
- MARVIN DOOR TO BE ELEVATE SERIES FRENCH DOOR WITH SDL MUNTINS, PRIMED INTERIOR, EXTERIOR FIBERGLASS COLOR TO BE SELECTED WITH NORTHFIELD HARDWARE, FINISH TO BE SELECTED.
 - OTHER EXTERIOR DOORS TO BE SIGNATURE DOORS, 1-3/4" THICKNESS, STYLES AS SHOWN, PAINTED.
 - LOW-E GLASS WITH 5/8" MUNTINS PATTERNS AS SHOWN
 - VERIFY SPECIFICATION SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO ORDER
 - PROVIDE SHOP DRAWINGS OF ALL PRODUCTS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING
- INTERIOR DOOR SPECIFICATIONS:**
- THICKNESS TO BE 1-3/4"
 - TRUSTILE SOLID MDF FLAT 2-PANEL WITH STICKING TO BE SELECTED, PAINTED
 - HARDWARE IS TO BE SELECTED, SEE SPECIFICATIONS.
 - PROVIDE SHOP DRAWINGS OF ALL PRODUCTS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING

WINDOW NOTES

- FIXED, AWNING AND DOUBLE-HUNG WINDOWS TO BE ANDERSEN 400 SERIES WOODWRIGHT WITH LOW E GLASS AND 5/8" SDL MUNTINS PATTERN AS SHOWN, PRIMED INTERIOR, EXTERIOR FIBERGLASS COLOR TO BE SELECTED, HARDWARE FINISH TO BE SELECTED.
- PROVIDE TEMPERED GLAZING WHERE REQUIRED BY CODE.
- VERIFY SPECIFICATION SELECTIONS WITH OWNER AND ARCHITECT PRIOR TO ORDER
- PROVIDE SHOP DRAWINGS OF ALL PRODUCTS FOR ARCHITECT REVIEW AND APPROVAL PRIOR TO ORDERING





2 LOOKING NORTHWEST ON WYMAN ST



4 LOOKING SOUTHEAST ON MASS AVE



3 LOOKING NORTH ON MASS AVE

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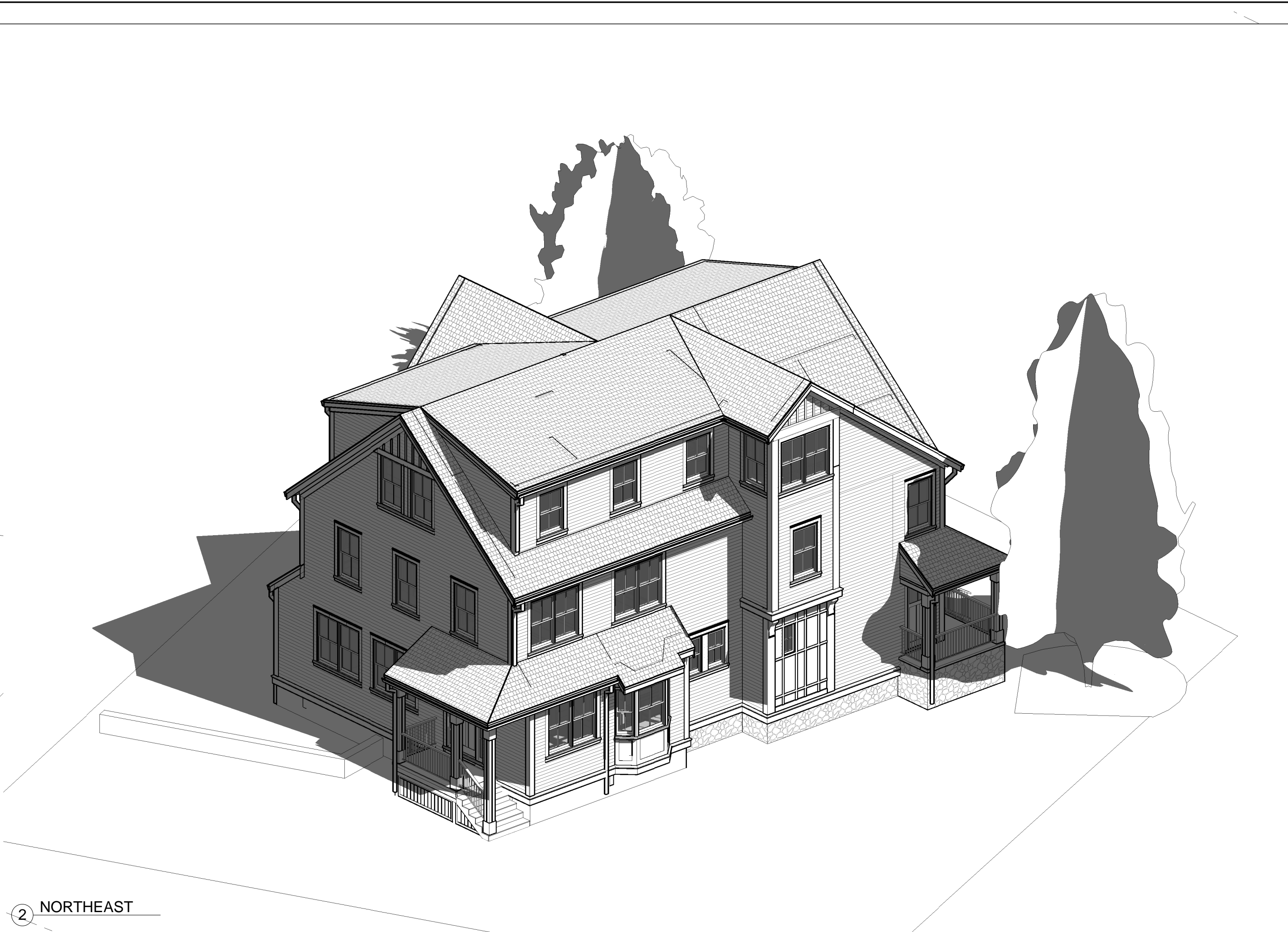
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REVIEWS	Drawn By	Author
	Scale	Date
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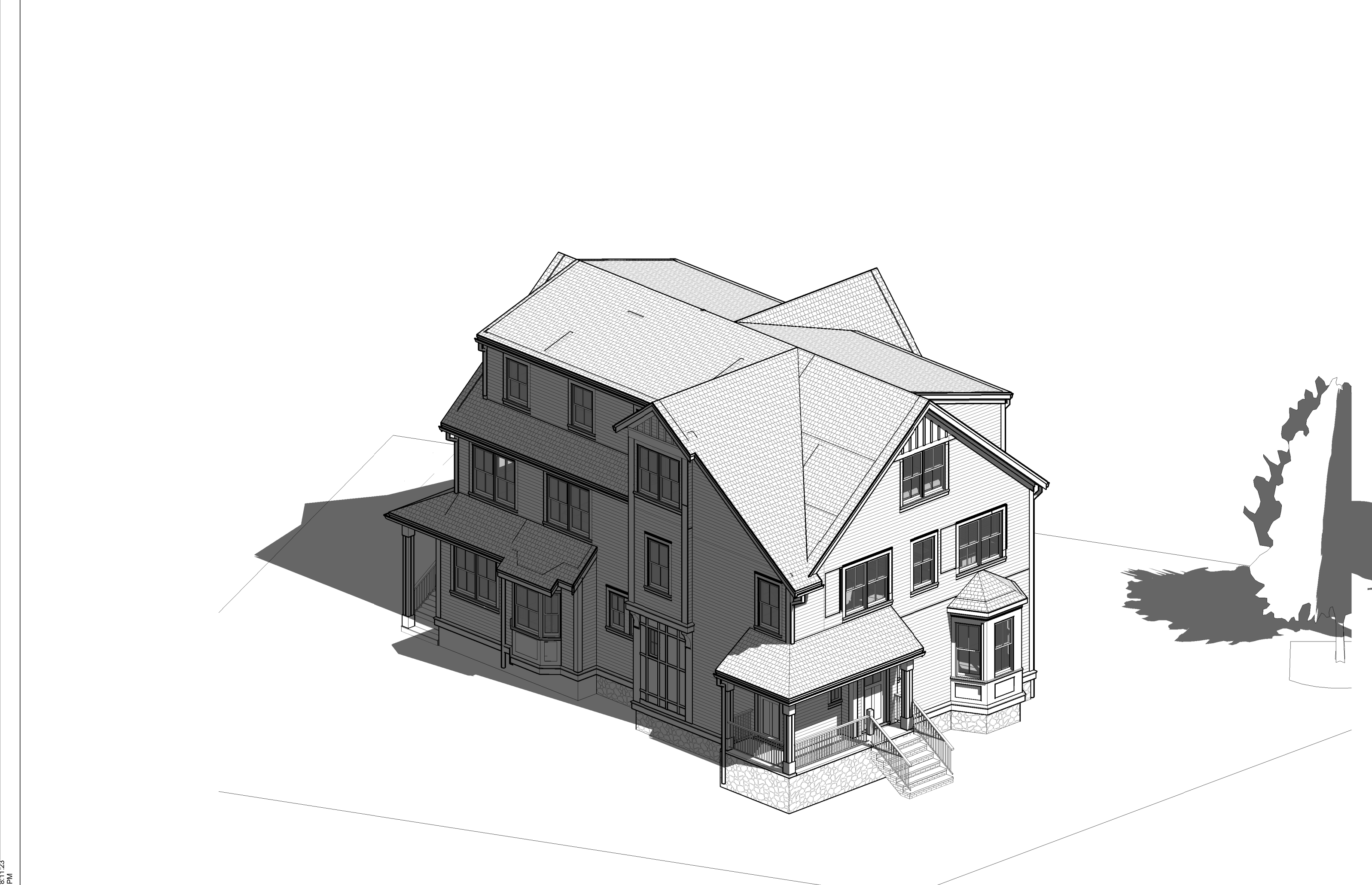
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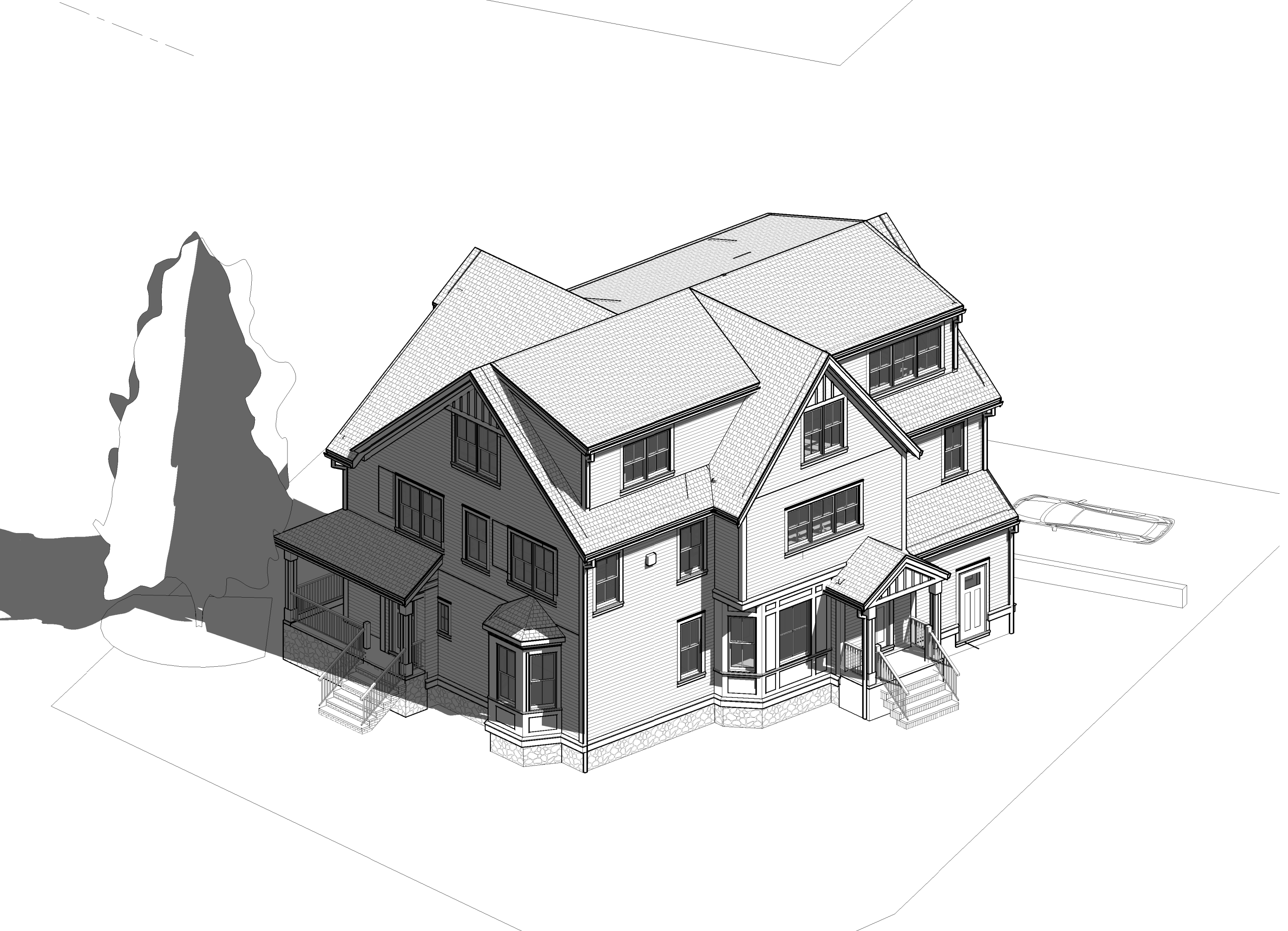
① SOUTHEAST



② NORTHEAST



③ NORTHWEST



④ SOUTHWEST

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No.	Description	Date

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